



ENGINEERING FIRM:  
**TIMMONS GROUP**  
5401 TRINITY RD, SUITE 102  
RALEIGH | NC 27607

**SKETCH PLAN SUBMITTAL**  
PREPARED FOR:  
TOWN OF KNIGHTDALE  
NOVEMBER, 2020



HAYWOOD GLEN - PHASE 3

Haywood Glen – phase 3, a residential development, will be a neighborhood that brings people together while providing connections to the broader community and Knightdale’s history. As part of an outstanding master-planned community, residents will be just minutes from great shopping, dining, and schools, with easy access to I-540 and I-440. The total of 78 residential units is comprised of 17 single family detached homes, and 61 attached dwellings.

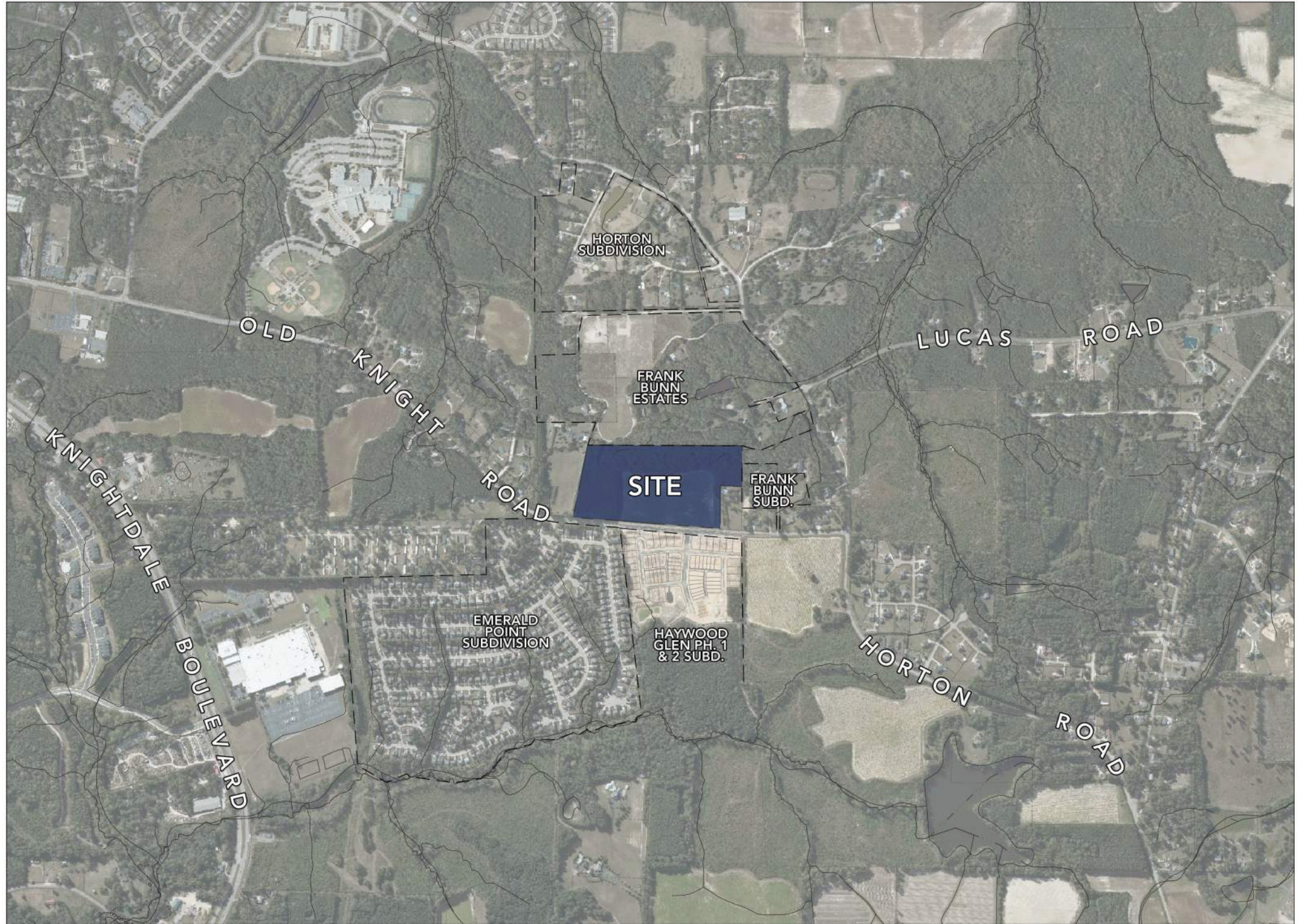
Affordability is a goal, but it will not be at the expense of aesthetics, interior features, or energy efficiency. Architecture will acknowledge Knightdale’s growth and desire for more density while paying homage to the town’s rural roots. Most garages will be located in the rear of homes, making the people and the land, not the automobile, the focus of the neighborhood. Single family detached homes surrounding an active open space will promote a sense of community.

The layout is based on a principals of infill development with an emphasis on common gathering spaces rather than private individual yards. Amenities will be extensive. Being part of the Haywood Glen master-planned community provides access to a resort-style pool, water playground and clubhouse. Amenities are planned as part of phase 3 to bring people together and stimulate communication and personal interaction including playground equipment, dog park, and improved play field.



**SITE DATA TABLE**

PROJECT:	HAYWOOD GLEN - PHASE 3
ENGINEER:	TIMMONS GROUP BETH BLACKMON, PE 5410 TRINITY ROAD, STE. 102 RALEIGH, NC 27607 PHONE: (919) 856-4509 FAX: (919) 859-5663 EMAIL: BETH.BLACKMON@TIMMONS.COM
DEVELOPER:	OLD EAST PROPERTIES 410 N BOYLAN AVE RALEIGH, NC 27603 PHONE: (919) 825-1135 EMAIL: MARK@OLDEASTPROPERTIES.COM
LAND OWNER:	WAYNE & EUGENE HARPER 4113 BREWSTER DR RALEIGH, NC 27606-1711
PIN:	1755-73-7189
DEED REFERENCE:	DB 6075 PG. 0508
TOWNSHIP:	ST. MATTHEWS
ZONING:	RT
CURRENT USE:	AGRICULTURE
PROPOSED USE:	SINGLE-FAMILY RESIDENTIAL
PROPOSED ZONING:	GR-3 PUD, GENERAL RESIDENTIAL-3 PLANNED UNIT DEVELOPMENT
TOTAL PROJECT AREA:	22.9 ACRES
PROPOSED DENSITY:	3.41 DU/IA
RIVER BASIN:	NEUSE
WATERSHED:	NONE
FIRM PANEL #:	3720175500J



**SITE DATA:**

TOTAL AREA: 22.9 +/- AC  
 POTENTIAL R/W RESERVATION: 1.0 +/- AC  
 NET DEVELOPMENT AREA: 21.9 +/- AC  
 PROPOSED LAND USE: SINGLE FAMILY  
 RESIDENTIAL UNITS: 78  
 - 60' X 120' SINGLE FAMILY LOTS: 17  
 - 35' X 110' SINGLE FAMILY LOTS: 61  
 OPEN SPACE REQUIRED: 3.3 +/- AC  
 ACTIVE OPEN SPACE REQUIRED: 1.7 +/- AC  
 OPEN SPACE PROVIDED: 4.9 +/- AC  
 ACTIVE OPEN SPACE PROVIDED: 2.5 +/- AC  
 CONNECTIVITY RATIO: 2.0  
 STORMWATER MANAGEMENT: 1.6 +/- AC

**LEGEND:**

60 X 130' S/F  
 35 X 120' S/F

**TREE COVERAGE REQUIREMENT:**

4,431 LF X 20 = 88,620 SF REQUIRED  
 AREA PROVIDED = 102,202 SF



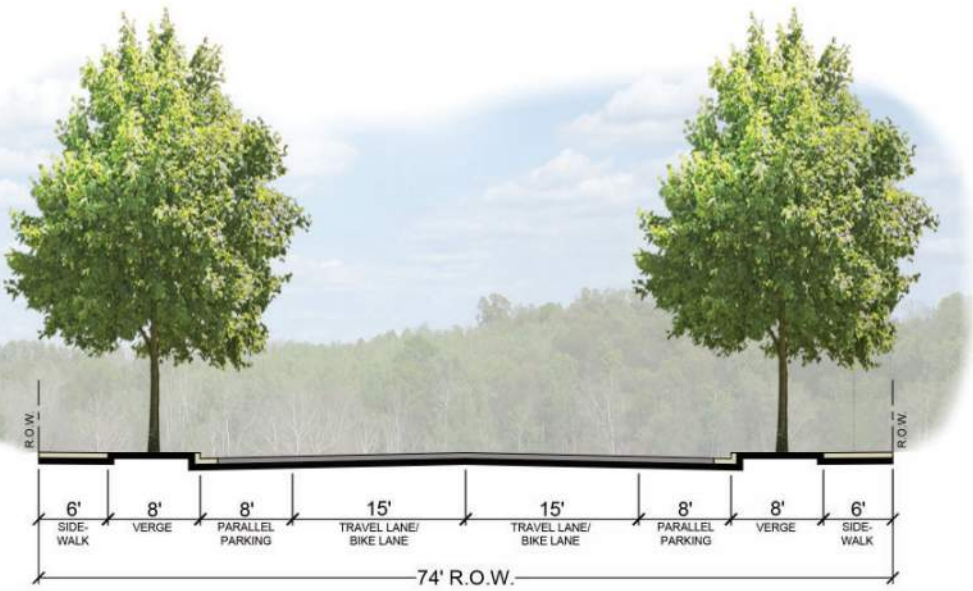
**HAYWOOD GLEN PHASE 3 - KNIGHTDALE, NC**

Conceptual Development Plan - November 5, 2020

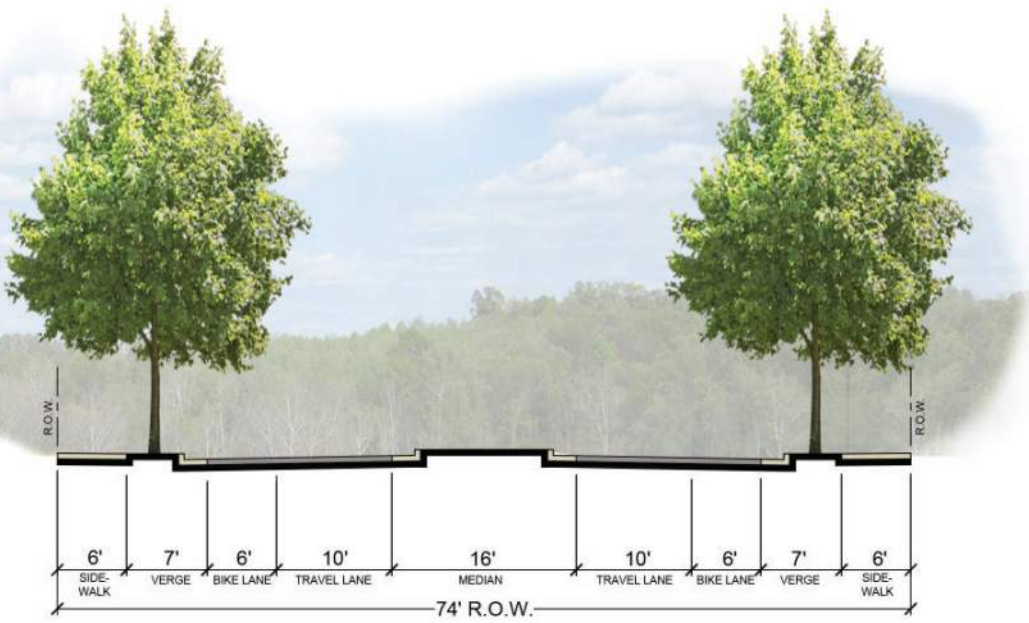




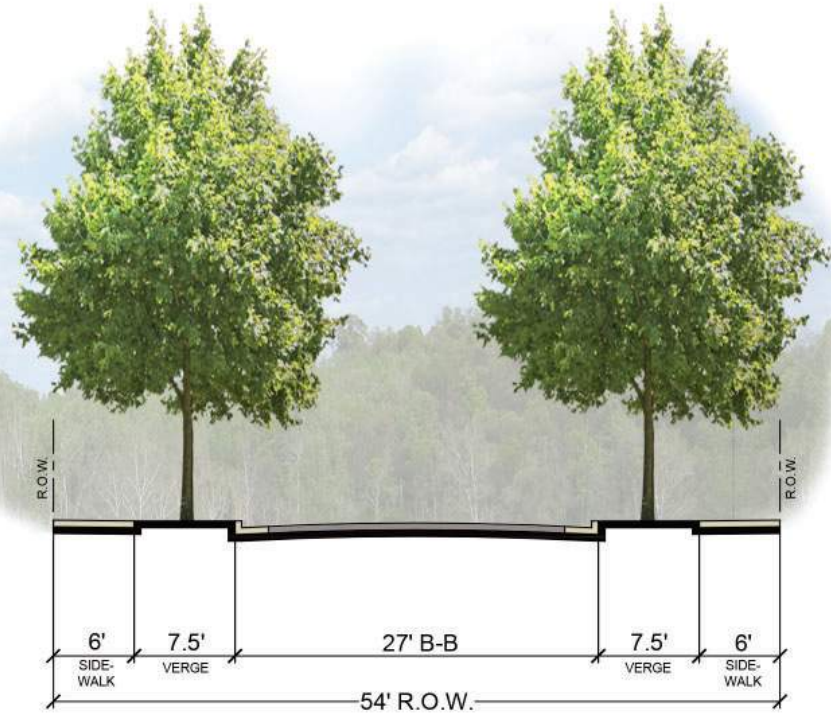
**SECTION B**



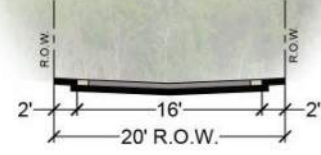
**SECTION C**

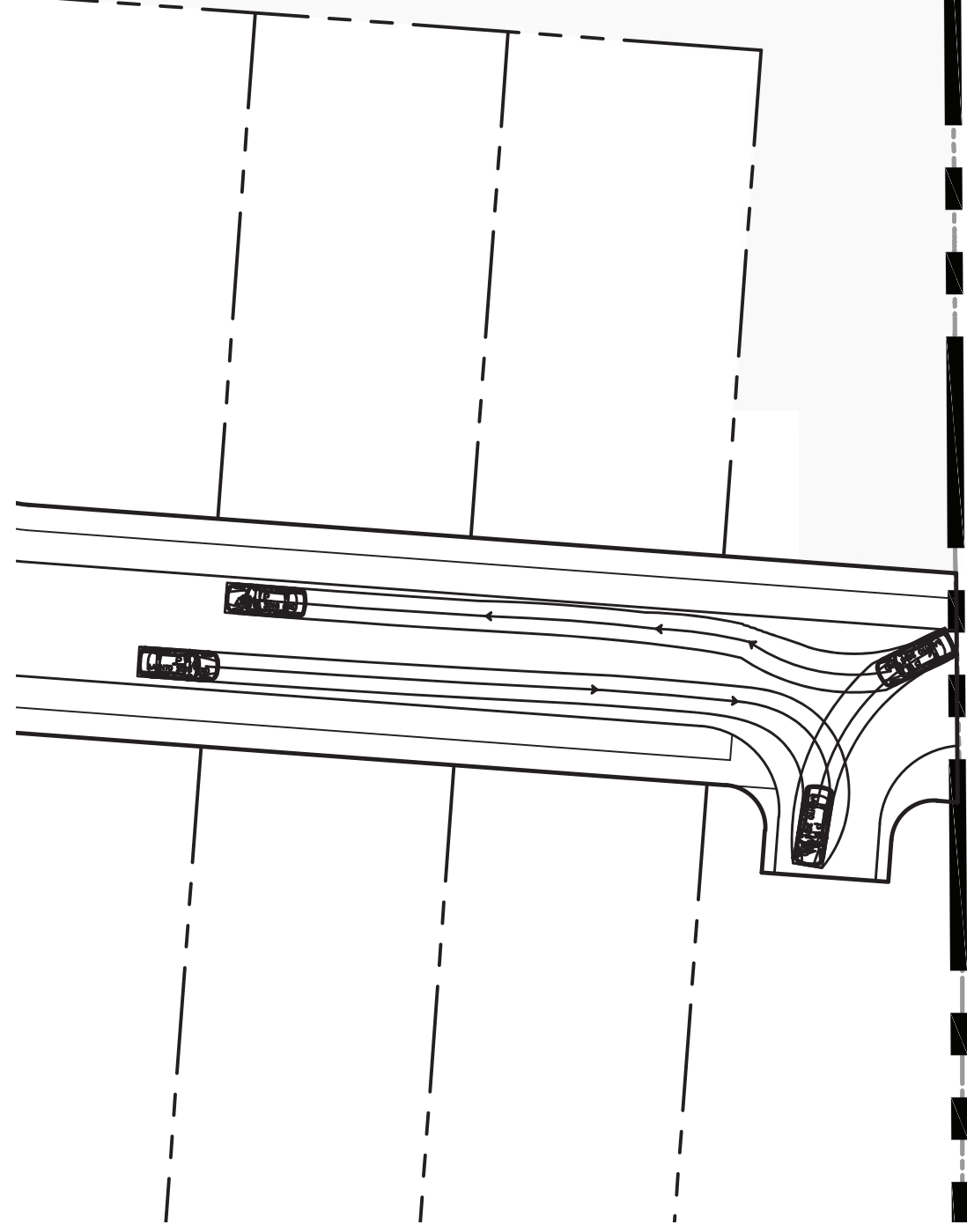
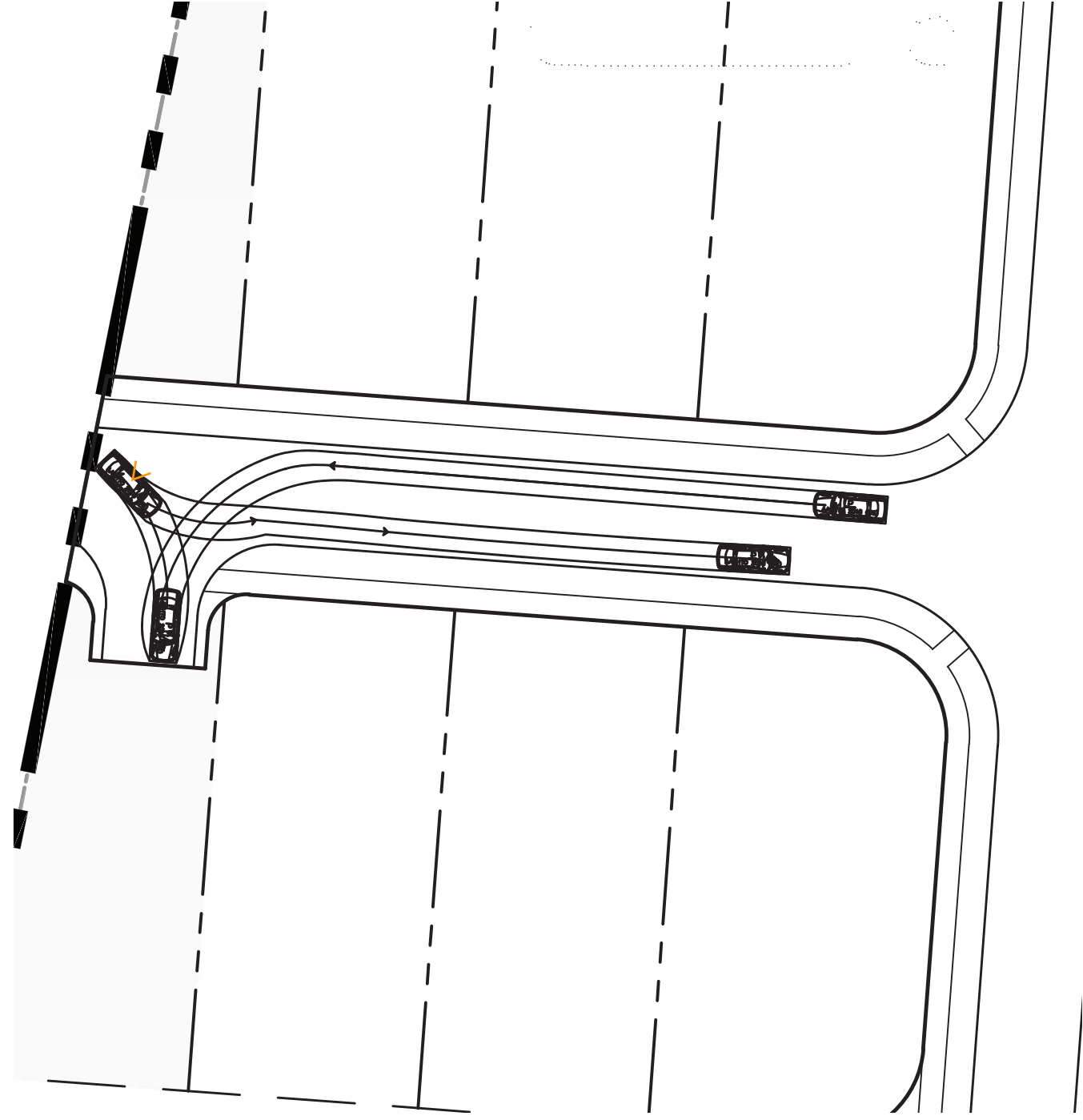


**SECTION A**



**TYP. RESIDENTIAL ALLEY**





# TURNAROUND MOVEMENT EXHIBITS

**SINGLE FAMILY HOMES - 35' X 110' LOTS**



**HAYWOOD**



**SPENCER**



**BECKETT**



**BECKETT**

RESIDENTIAL PRODUCT

**SINGLE FAMILY HOMES - 60' X 120' LOTS**



**CARSON**



**ANNIE**



**SOPHIE**



**LUCAS**



**OLIVIA**



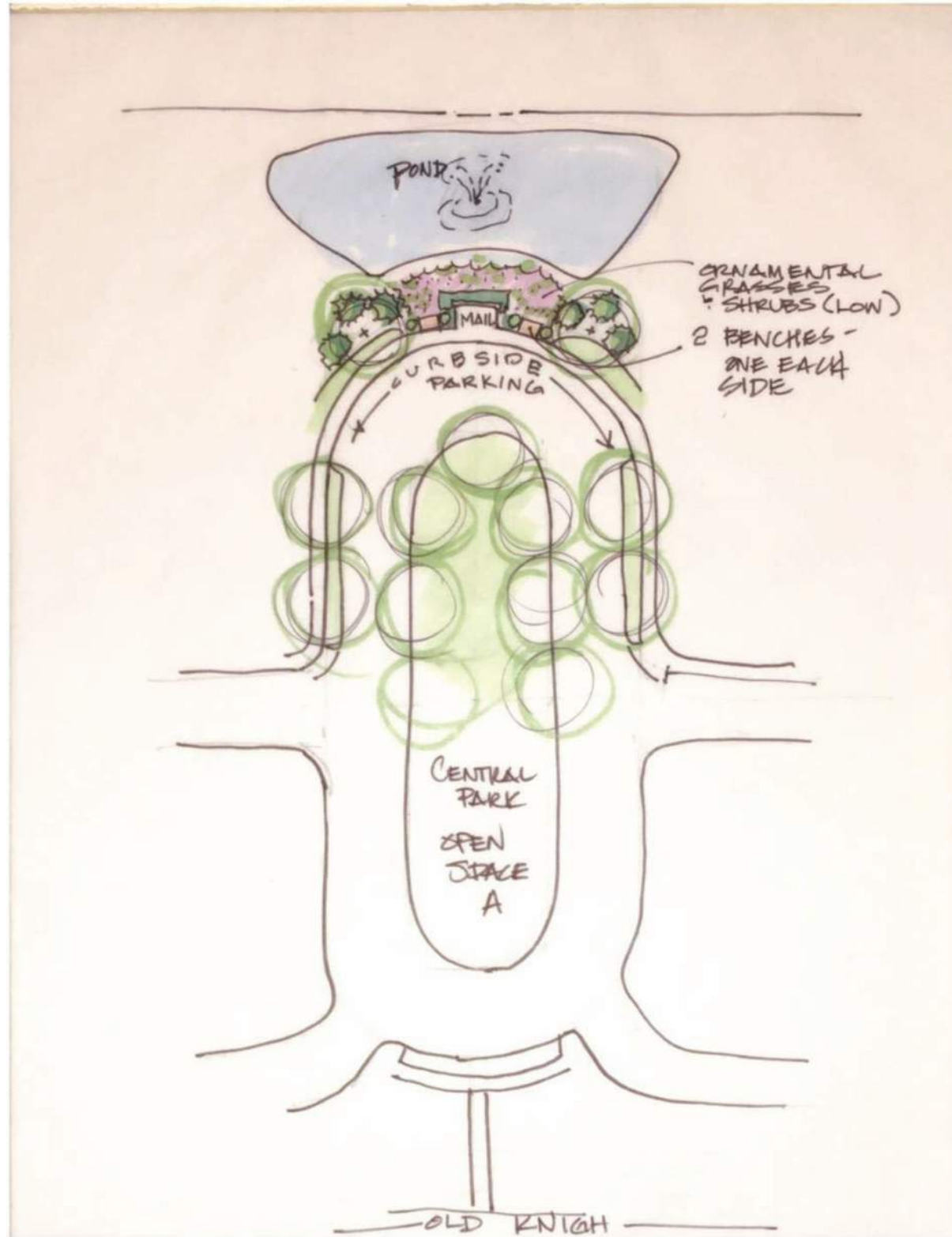
**MILLIE**

RESIDENTIAL PRODUCT



1. Single-family 2 story homes built on lots at least 60-feet wide will have a minimum heated area of 2,000 square feet.
2. Single-family 1 or 1.5 story homes built on lots at least 60-feet wide will have a minimum heated area of 1,600 square feet.
3. Single-family homes built on lots less than 60-feet wide will have a minimum heated area of 1,600 square feet.
4. Ninety percent (90%) of the single-family homes built on lots at least 60-feet wide will have a minimum house width of 40-feet. Ten percent (10%) of the single-family homes built on lots at least 60-feet wide will have a minimum house width of 35-feet.
5. All single-family homes with crawl spaces will be wrapped in brick or stone on all sides.
6. All single-family homes with stem wall or slab foundations will contain a minimum of 2 stair risers (14 inches) up to the front porch and will be wrapped in either brick or stone on all sides.
7. All single-family homes will have a combination of two or more of the following materials on the front façade (not counting foundation): stone, brick, lap siding, fiber cement siding, shakes or board and batten unless the home is only stone or brick. The exterior siding material on the side and rear facades will be fiber cement. When two materials are used, the materials shall be different but complementary colors. Vinyl may be used only for soffits, fascia and corner boards.
8. All single-family homes will have a front porch with a minimum depth of five feet. Front porch posts will be at least 6"x6".
9. Main roof pitches (excluding porches) fronting the street for 2-story homes will be at least 8:12.
10. Main roof pitches (excluding porches) fronting the street for 1-story and 1.5-story homes will be at least 6:12 unless an alternate is approved by staff.
11. Garages will not protrude more than 6 feet from the front porch or stoop, and all garage doors shall contain window inserts.
12. For every 30 feet (or fraction) of continuous side elevation (calculated on a per floor basis), there shall be one window or door added to the side elevations. Any siding break on the side of the home such as a fireplace, side porch, wall offsets could be used as an alternate to windows.
13. There shall be a minimum 12" overhang on every gable end for every single-family home.

MAIL AREA SKETCH



BACKLESS BENCH  
to see both ways



POND FOUNTAIN OPTIONS



CLIENT : TERRAMOR  
PROJECT: HAYWOOD GLEN ph 3  
MAIL AREA SKETCH

*Miramonte Studio*  
ART & DESIGN WORKS  
MARGOT@MIRAMONTESTUDIO.COM  
V.919.625.9801

DATE : 11/19/20

REV :

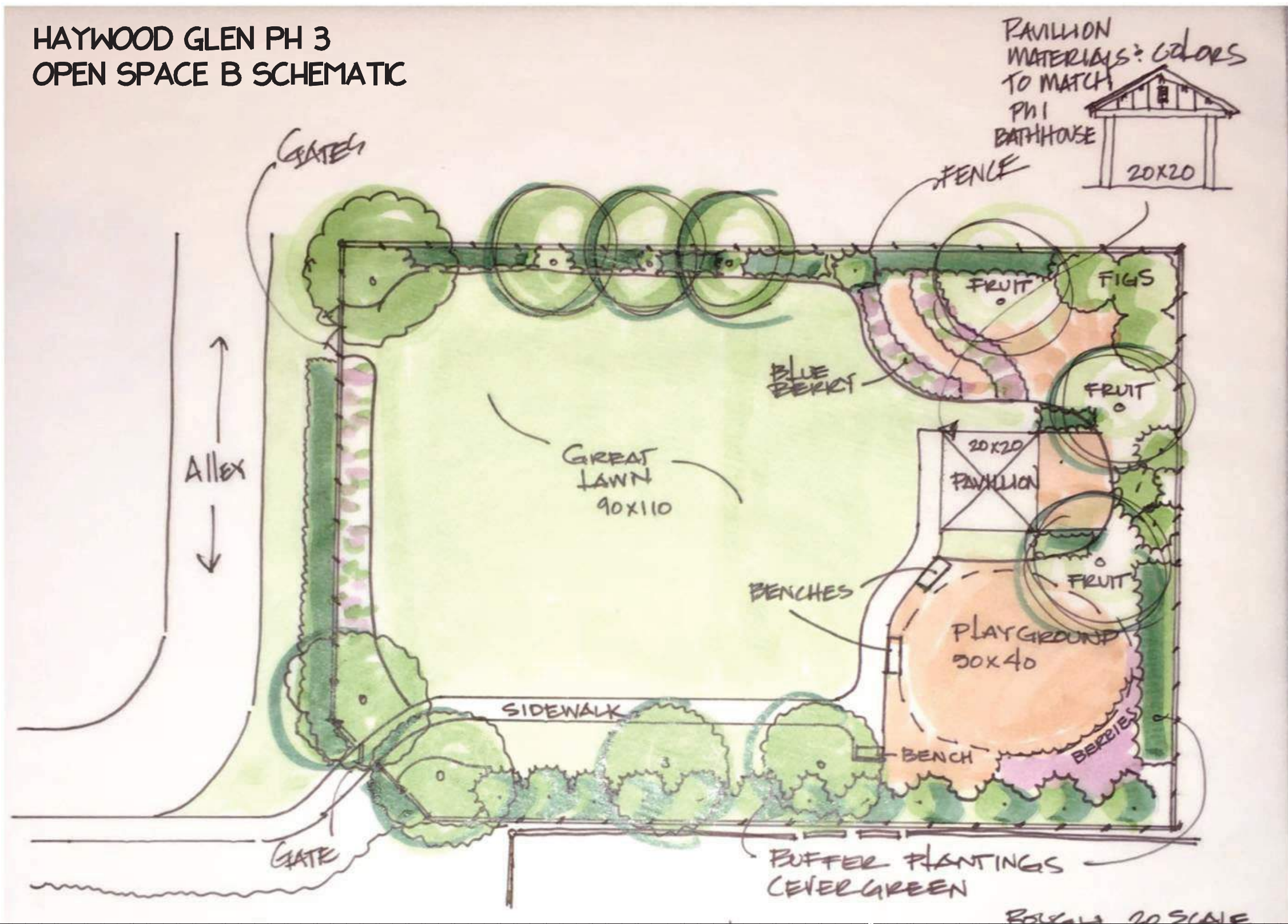
NTS

NORTH : SHEET :



1

HAYWOOD GLEN PH 3  
OPEN SPACE B SCHEMATIC



CLIENT: TERRAMOR  
PROJECT: HAYWOOD GLEN PH 3  
OPEN SPACE B  
SCHEMATIC

*Miramonte Studio*  
ART & DESIGN WORKS  
MARGOT@MIRAMONTESTUDIO.COM  
V.919.625.9801

DATE: 11/18/20  
REV: 11/18/20  
SCALE: 1" = 20'  
NORTH: SHEET:  
○ |

## WATER ALLOCATION POLICY

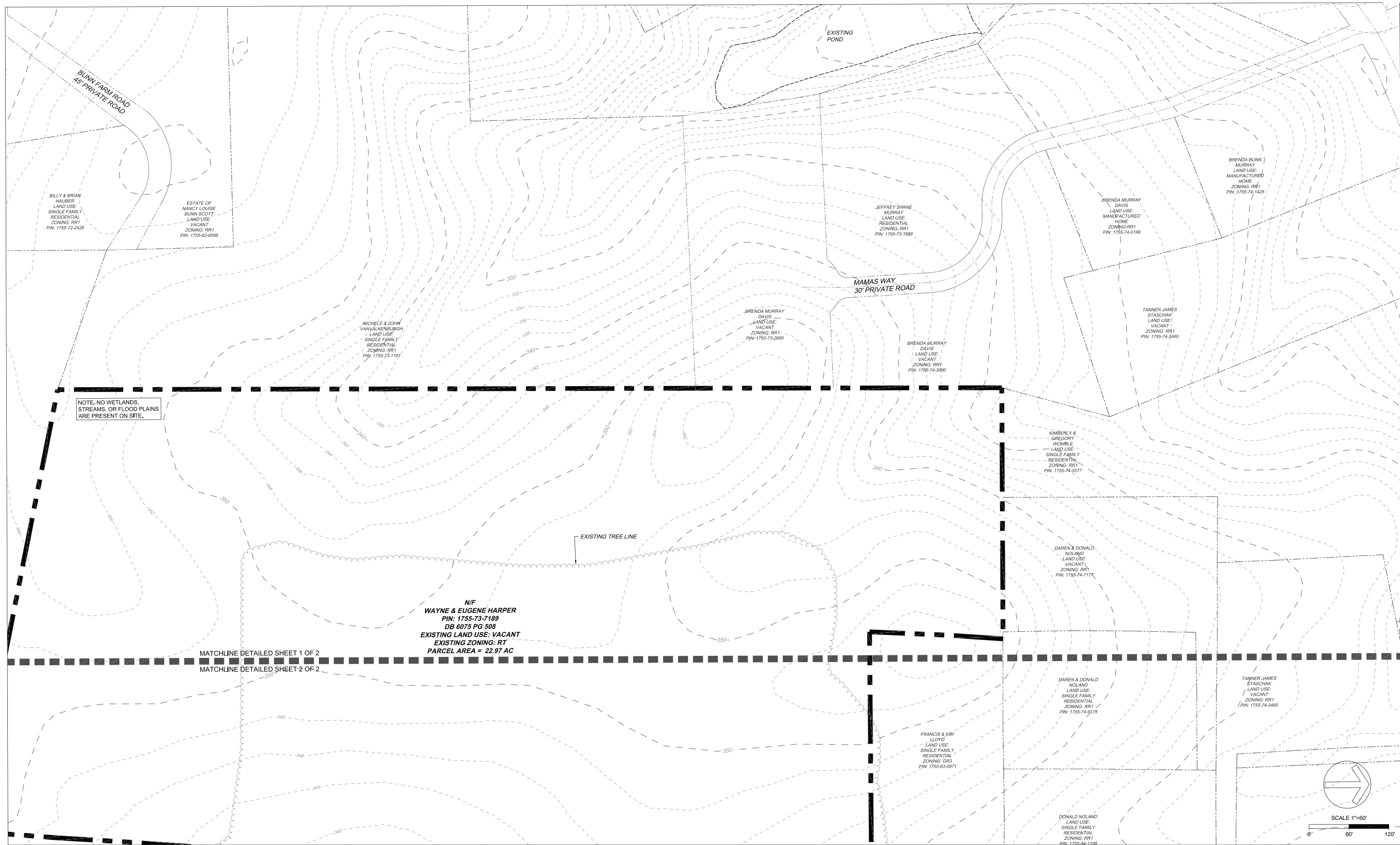
### Haywood Glen – Phase 3 Water Allocation Points:

<u>ITEM</u>	<u>POINTS</u>
4 On-Street Parking Spaces	4
Resort-Style Pool (phase 1 & 2)	2
Deck/Patio Greater than 3,000 SF (phase 1 & 2)	3
Water Playground with Apparatus (phase 1 & 2)	2
Clubhouse with Bathrooms Only (phase 1 & 2)	3
IPEMA Certified Playground Equipment	4
Fountain	4
<b>Total</b>	<b>22</b>

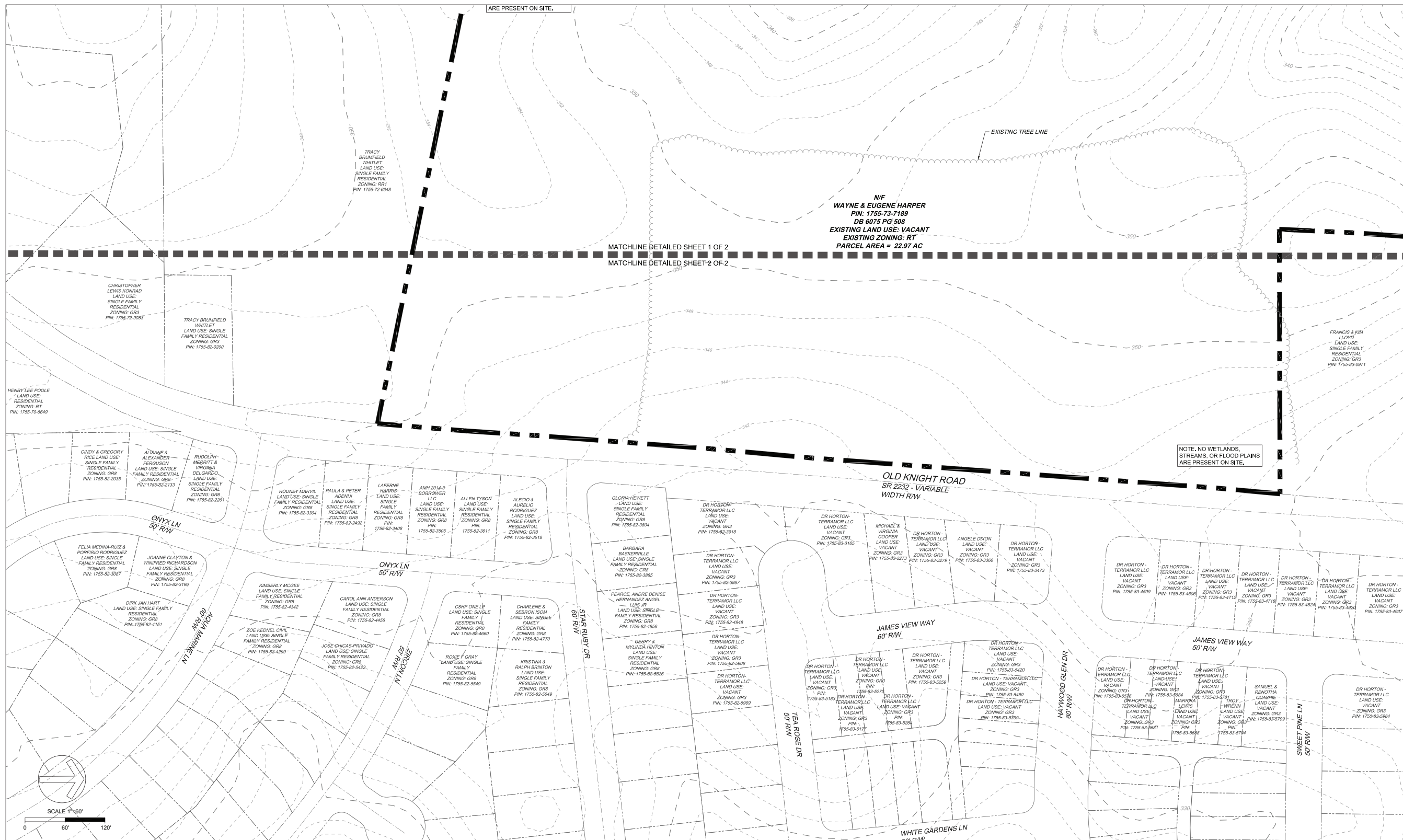
### Haywood Glen – Phase 1&2 Water Allocation Points:

<u>ITEM</u>	<u>POINTS</u>
3 Acres of Conservation of Natural Habitat	3
4 On-Street Parking Spaces	4
Exclusive Use of Xeriscaping Techniques	3
More than 2,000 LF of Paths	2
Resort-Style Pool	2
Deck/Patio Greater than 3,000 SF	3
Water Playground with Apparatus	2
Clubhouse with Bathrooms Only	3
IPEMA Certified Playground Equipment	4
Dog Park	4
Improved Play Field	5
<b>Total</b>	<b>35</b>





**EXISTING CONDITIONS**



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