

DEMOLITION LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	DEMOLITION NOTES
---	PROPERTY LINE	
---	ADJACENT LOT LINE	
---	CONCRETE CURB & GUTTER	---
---	SOIL ROAD	---
X	WIRE FENCE	X-X-X
---	100-YR FLOODPLAIN	---
---	FLOODWAY	---
---	UNDERGROUND WATER LINE	---
---	OVERHEAD WIRE	---
---	FIBER OPTIC	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	---
⊕	HYDRANT	⊕
⊕	UTILITY POLE/LIGHT	⊕
⊕	SANITARY MANHOLE	⊕
⊕	WATER MANHOLE	⊕
---	GUY WIRE	---
---	TREELINE	---
---	WETLANDS	---
⊠	LIGHT	⊠

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PROJECT No.: NCR194000
DRAWN BY: CMJ
CHECKED BY: SJK
DATE: 03/17/2020
CAD ID:

PROJECT:

SKETCH PLANS

FOR
LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
CASE# / TR#:

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NORTH CAROLINA
PROFESSIONAL
SEAL
BOHLER ENGINEERING NC, PLLC
JAVEN J. KELTNER
4-17-20

SHEET TITLE:
OVERALL EXISTING CONDITIONS & DEMO PLAN

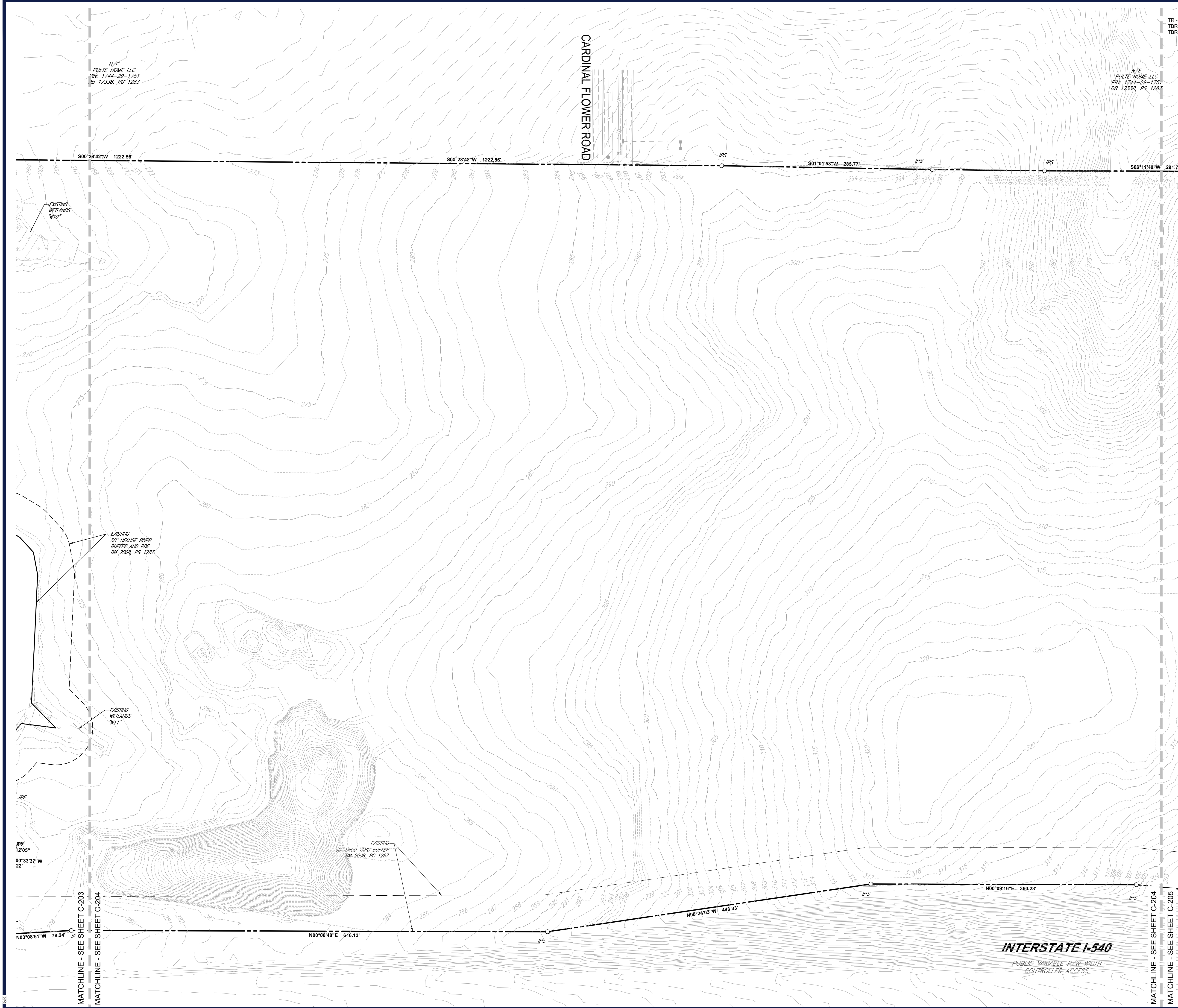
SHEET NUMBER:
C-201

ORG. DATE - 3-17-2020

- GENERAL NOTES**
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
 - ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ACTUAL IN PLACE SUB-SURFACE UTILITY INFORMATION INCLUDING HORIZONTAL AND VERTICAL LOCATION. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
 - EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT OR TOWN OF CARY REQUIREMENTS ARE OBTAINED.
 - IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFORE SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY INFRASTRUCTURE REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF ASSOCIATED WORK.
 - THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

- DEMOLITION NOTES**
- REFER TO GENERAL NOTES ON SHEET C-102.
 - ALL EXISTING SITE FEATURES, INCLUDING BUT NOT LIMITED TO FENCINGS, UTILITIES, BUILDINGS, SEPTIC TANKS, WELLS, SIGNS, PAVING, SHALL BE REMOVED EVEN IF NOT SHOWN ON THIS PLAN.
 - ANY MATERIALS REMOVED AS PART OF DEMOLITION FOR THIS PROJECT SHALL BE PROPERLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS.
 - ANY MATERIALS REMOVED AS PART OF DEMOLITION FOR THIS PROJECT SHALL BE REMOVED COMPLETELY. THE EXCAVATED AREA SHALL BE BACKFILLED WITH CLEAN FILL MATERIAL AND COMPACTED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING TREES AND OTHER VEGETATION, ONLY AS NECESSARY FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
 - WITH ANY CONCRETE SHOWN TO BE REMOVED, THE CONTRACTOR SHALL REMOVE THE CONCRETE TO THE NEAREST JOINT OR SAW CUT TO PROVIDE A CLEAN EDGE.
 - WITH ANY ASPHALT SHOWN TO BE REMOVED, THE CONTRACTOR SHALL SAW CUT TO PROVIDE A CLEAN EDGE.
 - ALL UTILITIES TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER PRIOR TO CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL NECESSARY MEASURES ARE TAKEN, WHETHER TEMPORARY OR PERMANENT, TO ALLOW FOR PROPER FUNCTIONING OF EXISTING UTILITIES.
 - ANY EXISTING WELL HEADS SHALL BE REMOVED TO A MINIMUM OF FIVE (5) FEET BELOW PROPOSED FINAL GRADE AND ABANDONED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS. CONTRACTOR SHALL VERIFY THAT WELL HEADS ARE REMOVED TO A DEPTH SUITABLE FOR THE INSTALLATION OF INFRASTRUCTURE AND UTILITIES IN GRADE ABOVE, INCLUDING BUT NOT LIMITED TO STORM DRAINAGE, SANITARY SEWER, WATER, AND ASSOCIATED SERVICES. ALL SERVICE LINES FROM THE WELL SHALL BE COMPLETELY REMOVED. ANY WORK PERFORMED ON THE WELL MUST BE DONE BY A LICENSED UTILITY CONTRACTOR.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING THE LOCATION & EXTENTS OF ANY SEPTIC SYSTEM AND REMOVING COMPLETELY. ANY REMOVAL MUST BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS.
 - ALL EXISTING DRAINAGE PIPES AND FENCES WITHIN DEVELOPED AREA SHALL BE REMOVED COMPLETELY.

Mar 17, 2020
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TR - TO REMAIN
 TBR - TO BE REMOVED
 TBLR - TO BE RELOCATED

DEMOLITION LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	DEMOLITION NOTES
	PROPERTY LINE	
	ADJACENT LOT LINE	
	CONCRETE CURB & GUTTER	
	SOIL ROAD	
	WIRE FENCE	
	LIMITS OF DISTURBANCE	
	100-YR FLOODPLAIN	
	FLOODWAY	
	UNDERGROUND WATER LINE	
	OVERHEAD WIRE	
	FIBER OPTIC	
	STORM SEWER	
	SANITARY SEWER MAIN	
	HYDRANT	
	UTILITY POLE/LIGHT	
	SANITARY MANHOLE	
	WATER MANHOLE	
	GUY WIRE	
	TREELINE	
	WETLANDS	
	LIGHT	

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 CHECKED BY: SJK
 DATE: 03/17/2020
 CAD ID:

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FOR
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SHENANDOAH HOMES

0 HODGE RD
 KNIGHTDALE, NC 27604
 WAKE COUNTY
 CASE# / TR#:

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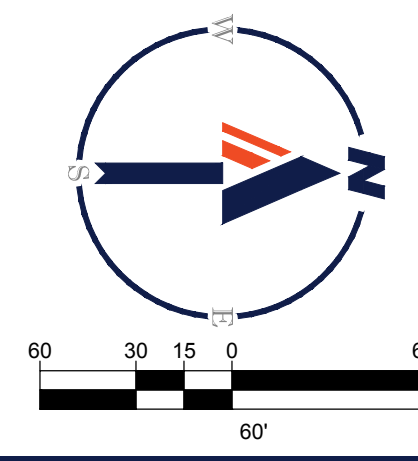
NORTH CAROLINA PROFESSIONAL SEAL

SEAL NUMBER: 15403
 ENGINEER
 SEVEN J. KEITH
 4-17-20

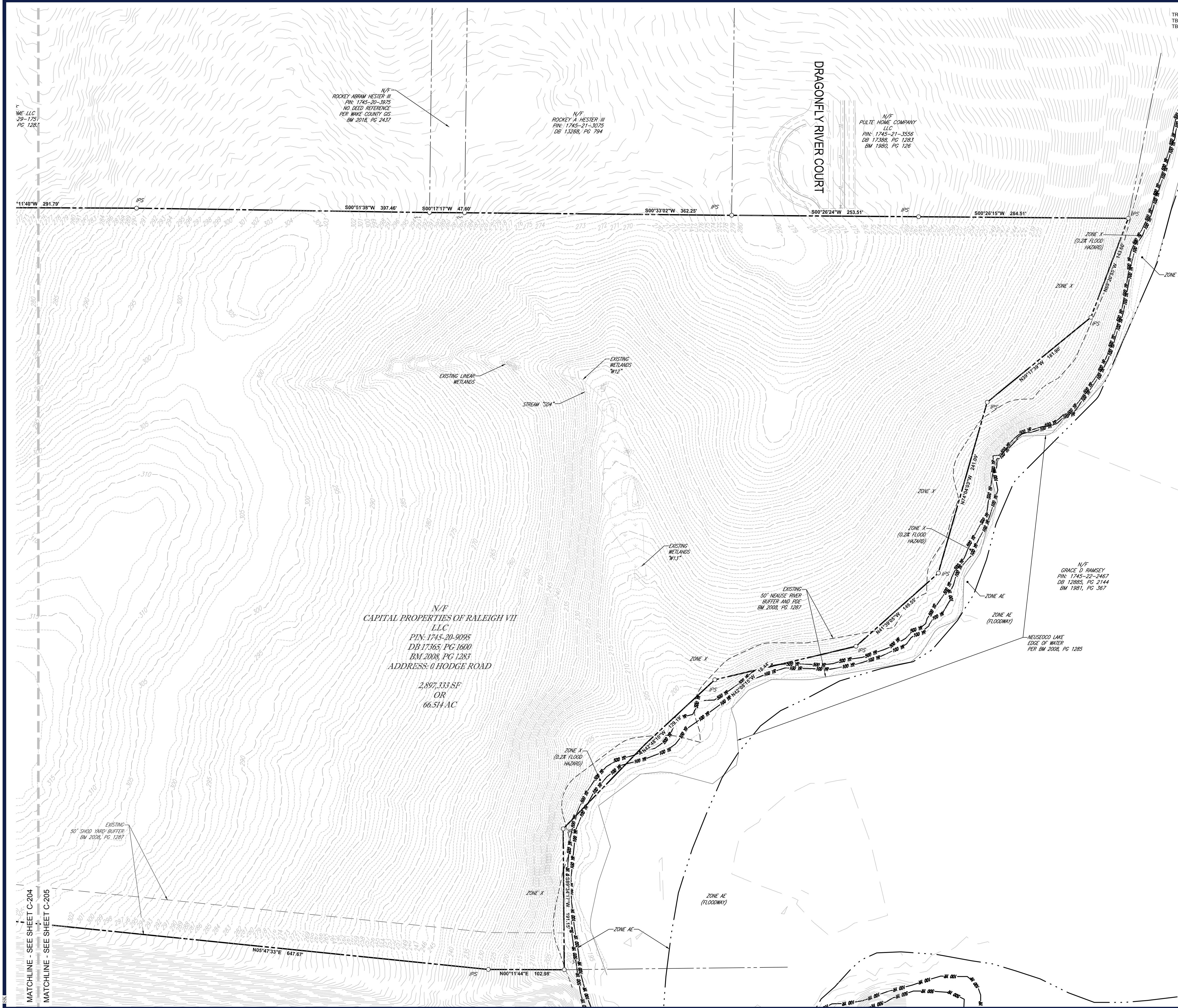
SHEET TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN AREA C

SHEET NUMBER:
C-204

ORG. DATE - 3-17-2020



Mar 17, 2020
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TR - TO REMAIN
TBR - TO BE REMOVED
TBLR - TO BE RELOCATED

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---	PROPERTY LINE	
---	ADJACENT LOT LINE	
---	CONCRETE CURB & GUTTER	
---	SOIL ROAD	----
---	WIRE FENCE	X-X-X-X
---	LIMITS OF DISTURBANCE	
---	100-YR FLOODPLAIN	
---	FLOODWAY	
---	UNDERGROUND WATER LINE	
---	OVERHEAD WIRE	---O---O---
---	FIBER OPTIC	
---	STORM SEWER	-----
---	SANITARY SEWER MAIN	-----
---	HYDRANT	⊙
---	UTILITY POLE/LIGHT	⊙
---	SANITARY MANHOLE	⊙
---	WATER MANHOLE	⊙
---	GUY WIRE	---
---	TREELINE	~~~~~
---	WETLANDS	▨
---	LIGHT	⊞

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DRAWN BY: CMJ
CHECKED BY: SJK
DATE: 03/17/2020
CAD ID:

SKETCH PLANS

FOR
LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
CASE# / TR#:

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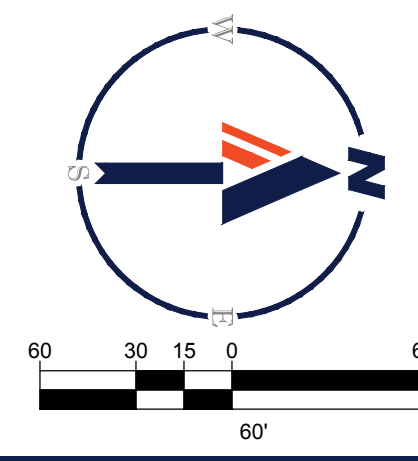
NORTH CAROLINA PROFESSIONAL SEAL

SEAL
NO. 54383
ENGINEER
SEVEN J. KEIDEL
4-17-20

SHEET TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN AREA D

SHEET NUMBER:
C-205

ORG. DATE - 3-17-2020



Mar 17, 2020
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GRAPHIC LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY/LEASE LINE	---
---	ADJACENT LOT LINE	---
---	BUILDING OR PARKING SETBACK	---
---	CURB & GUTTER	---
---	FLUSH CURB	---
---	PAVEMENT STRIPING - 4" SSYL	---
---	STOP SIGN	---
---	ADA ACCESSIBLE PARKING SIGN	---
---	PAINTED STOP BAR	---

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CAD ID:

SKETCH PLANS

FOR
LEGACY OAKS
SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
CASE# / TR#:

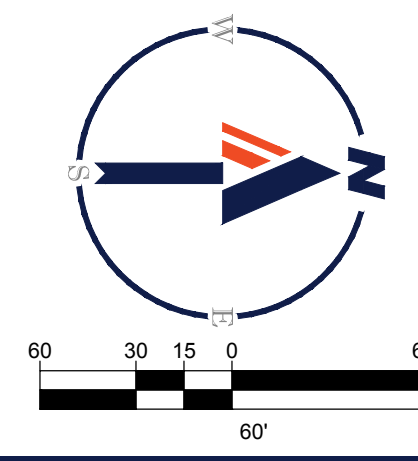
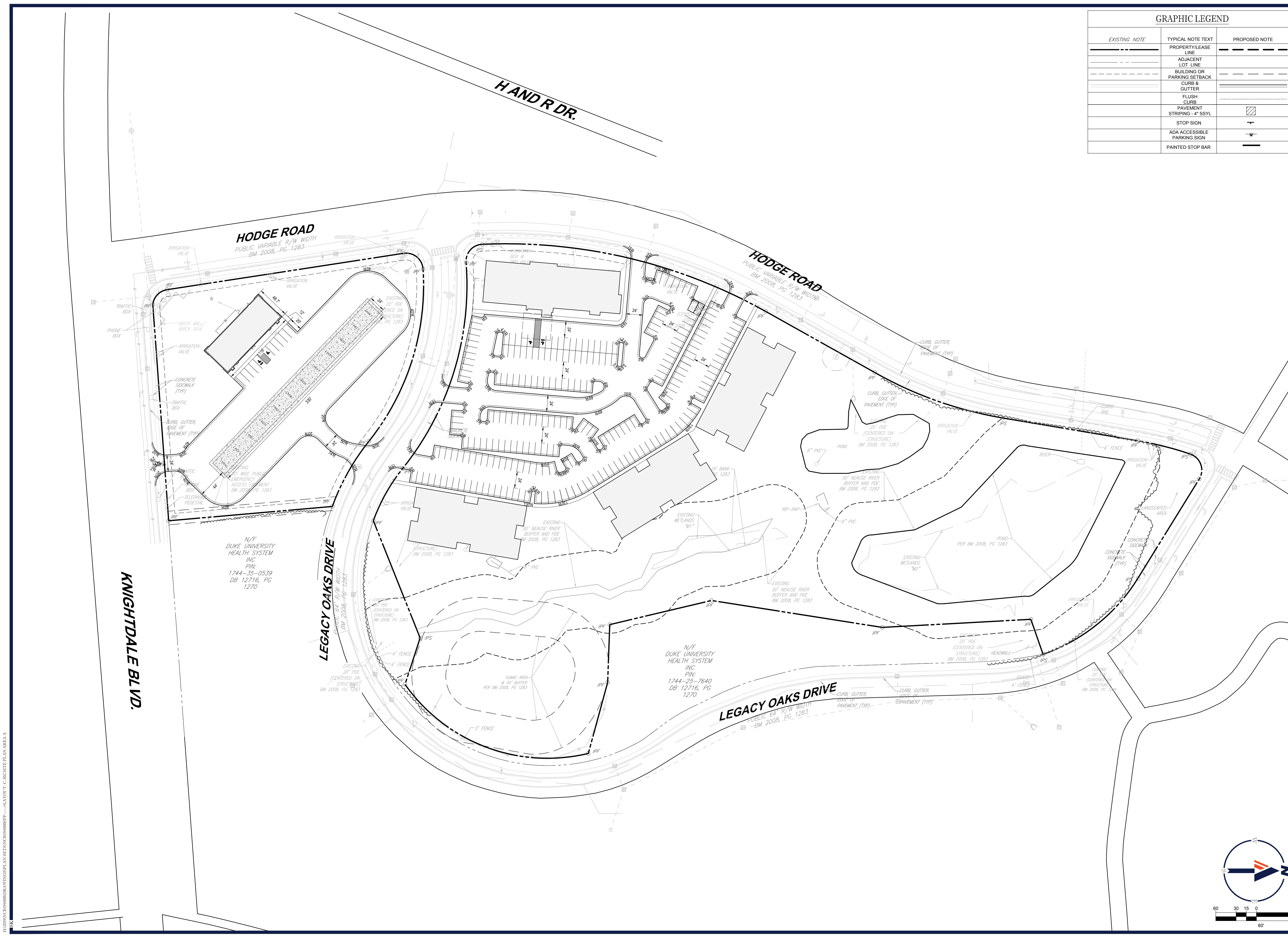
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RALEIGH, NC 27612
Phone: (919) 578-9000
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SHEET TITLE:
SITE PLAN AREA A

SHEET NUMBER:
C-302

ORG. DATE - 3-17-2020



Mar 17, 2020 H:\00\NCR194000\DRAWINGS\PLAN SETS\NCR194000R01P1.dwg - LAYOUT C-302 SITE PLAN AREA A

N/F
TRIANGLE PALISADES
AT LEGACY OAKS, LLC
PIN: 1744-27-3116
DB 16992, PG 1672
BM 2008, PG 1283

N/F
LEGACY OAKS OWNERS
ASSN INC
PIN: 1744-37-3236
DB 13543, PG 2184
BM 2008, PG 1283

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
	PROPERTY/LEASE LINE	
	ADJACENT LOT LINE	
	BUILDING OR PARKING SETBACK	
	CURB & GUTTER	
	FLUSH CURB	
	PAVEMENT STRIPING - 4" SSYL	
	STOP SIGN	
	ADA ACCESSIBLE PARKING SIGN	
	PAINTED STOP BAR	

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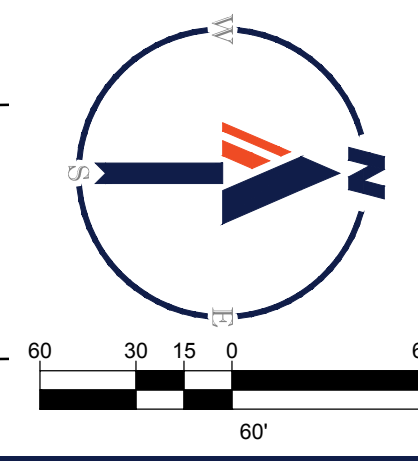
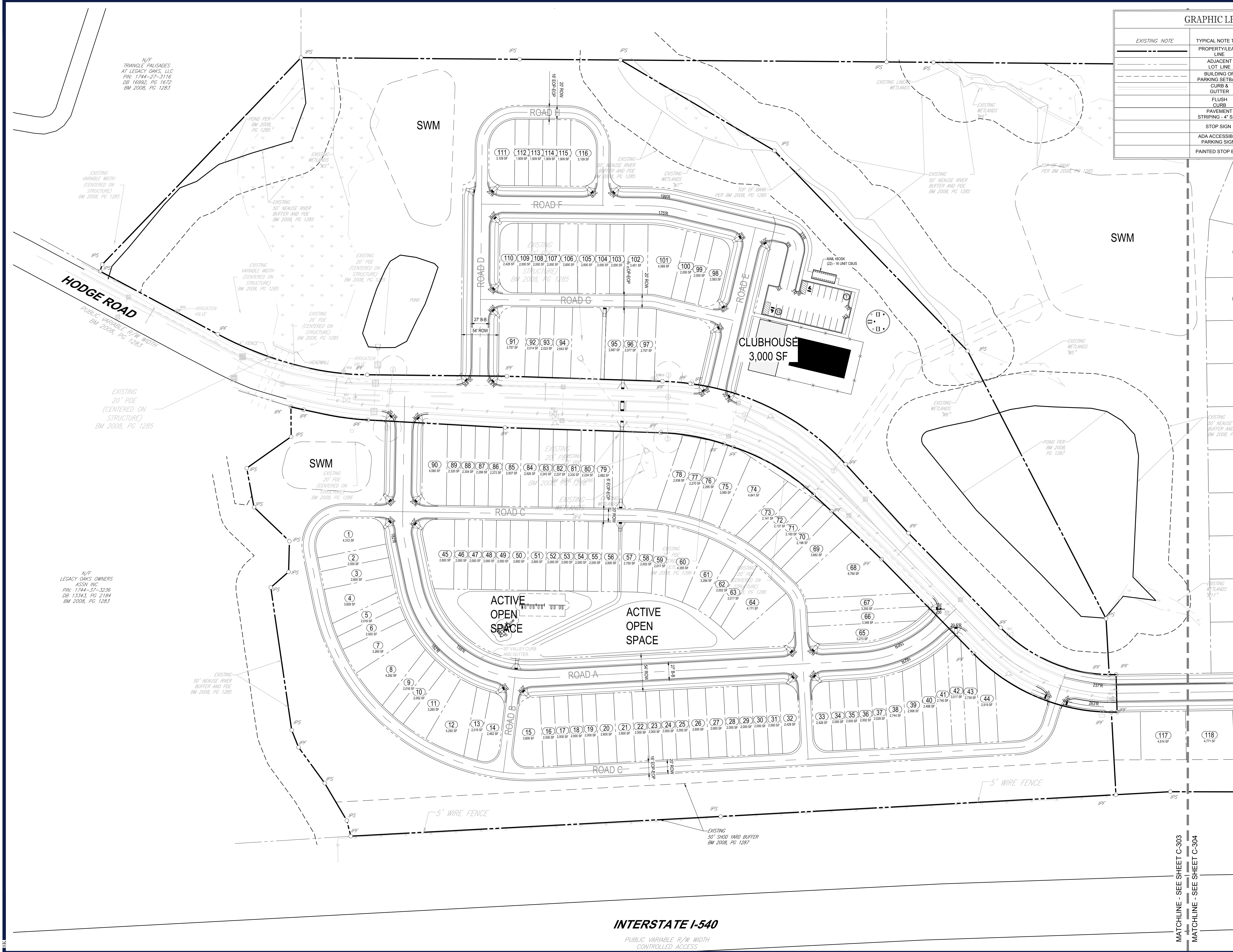
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NORTH CAROLINA PROFESSIONAL SEAL
SEAL NUMBER: 15183
ENGINEER: *Steven J. Keidinger*
DATE: 4-17-20

SHEET TITLE:
SITE PLAN AREA B

SHEET NUMBER:
C-303

ORG. DATE - 3-17-2020



INTERSTATE I-540
PUBLIC VARIABLE R/W WIDTH
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Mar 17, 2020
H:\DWG\PROJECTS\DRAWINGS\PLAN SETS\NCR194000\PP-01-LAYOUT-C-303 SITE PLAN AREA B

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY/LEASE LINE	---
---	ADJACENT LOT LINE	---
---	BUILDING OR PARKING SETBACK	---
---	CURB & GUTTER	---
---	FLUSH CURB	---
---	PAVEMENT STRIPING - 4" SSYL	▨
---	STOP SIGN	+
---	ADA ACCESSIBLE PARKING SIGN	+
---	PAINTED STOP BAR	— —

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SHEET TITLE:
SITE PLAN AREA C

SHEET NUMBER:
C-304

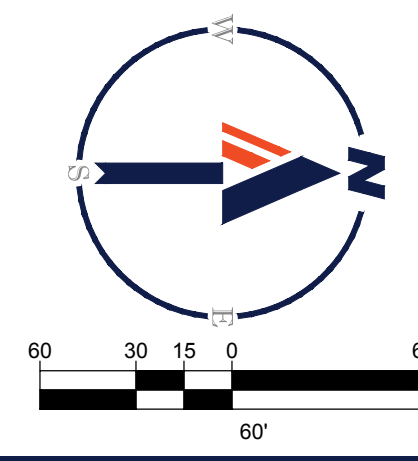
ORG. DATE - 3-17-2020



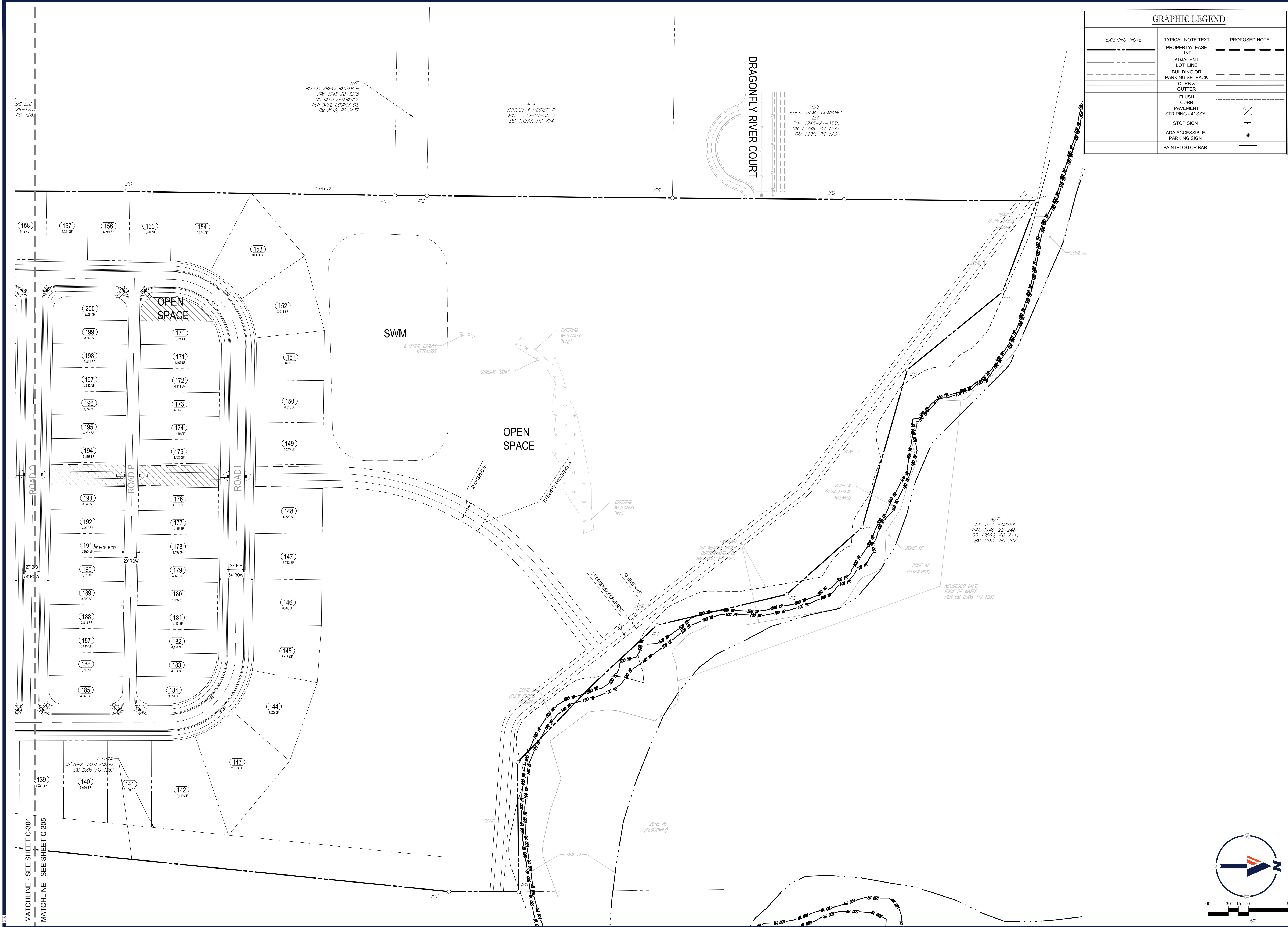
MATCHLINE - SEE SHEET C-303
MATCHLINE - SEE SHEET C-304

MATCHLINE - SEE SHEET C-304
MATCHLINE - SEE SHEET C-305

INTERSTATE I-540
PUBLIC VARIABLE R/W WIDTH
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Mar 17, 2020
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EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY/LEASE LINE	---
---	ADJACENT LOT LINE	---
---	BUILDING OR PARKING SETBACK	---
---	CURB & GUTTER	---
---	FLUSH CURB	---
---	PAVEMENT STRIPING - 4" SSYL	---
---	STOP SIGN	---
---	ADA ACCESSIBLE PARKING SIGN	---
---	PAINTED STOP BAR	---

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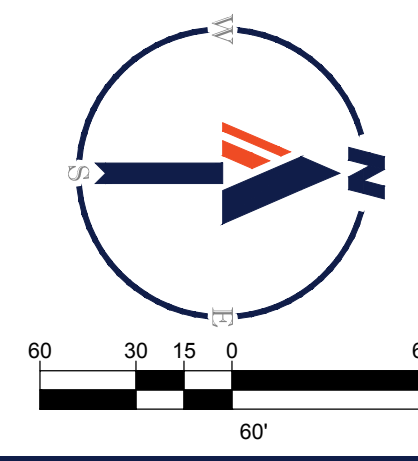
NORTH CAROLINA PROFESSIONAL SEAL

SEAL NUMBER: 15830
ENGINEER: SEVEN J. KEIDLER
4-17-20

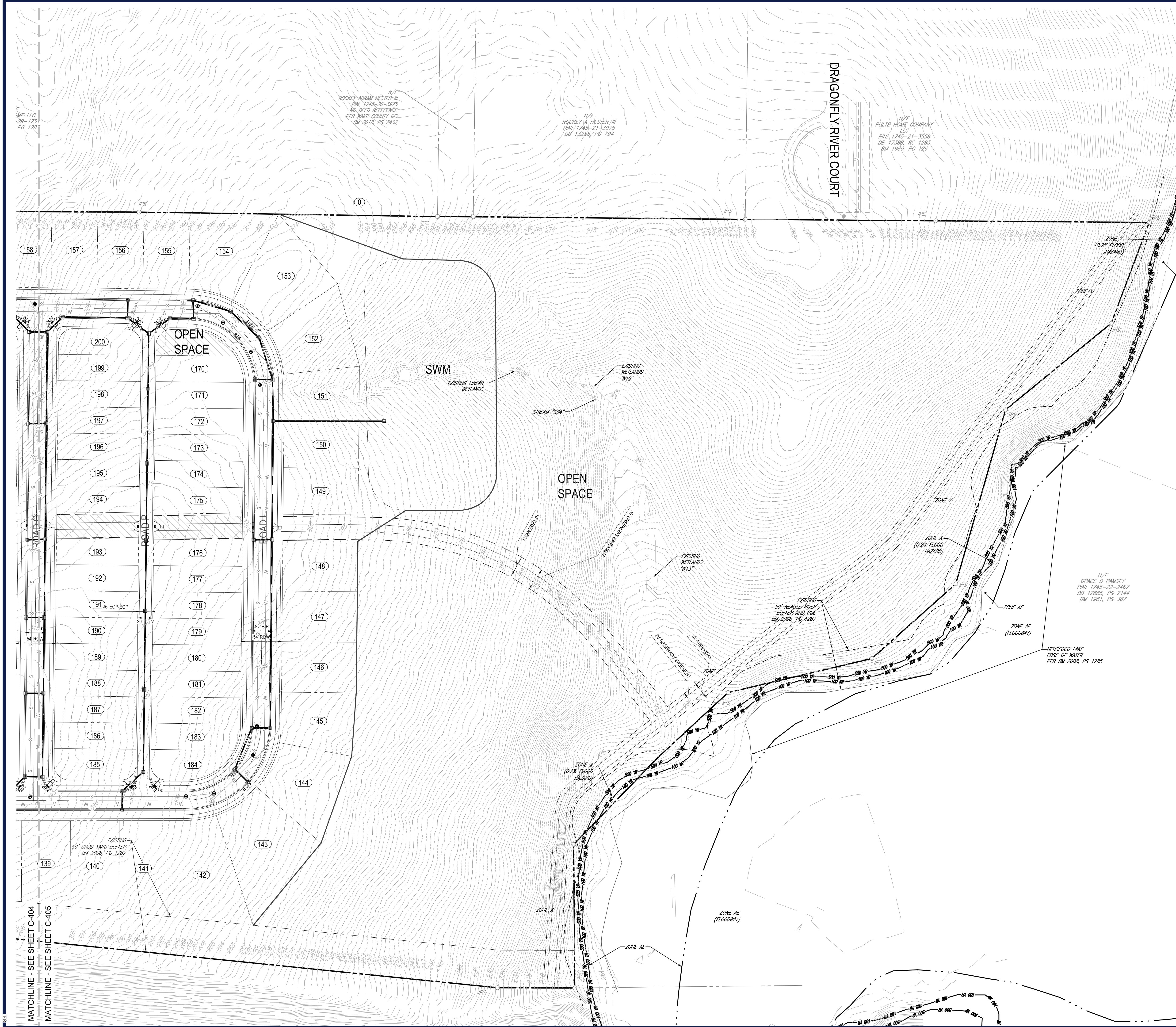
SHEET TITLE:
SITE PLAN AREA D

SHEET NUMBER:
C-305

ORG. DATE - 3-17-2020



Mar 17, 2020
 H:\00\NCR194000\DRAWINGS\PLAN SETS\NCR194000R1P1 - LAYOUT C-305 SITE PLAN AREA D



GRADING LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
120 125	CONTOUR LINE	120 125
516.00 515.50	SPOT ELEVATIONS	516.00 515.50
SAN #	SANITARY LABEL	SAN #
STM #	STORM LABEL	STM #
---	STORM SEWER	---
⊙	STORM MANHOLE	⊙
▽	TYPICAL END SECTION	▽
⊥	HEADWALL OR ENDWALL	⊥
⊕	YARD INLET	⊕
⊖	CURB INLET	⊖
⊗	MONITORING WELL	⊗
⊙	BORING	⊙
⊕	BENCHMARK	⊕
⊖	TEST PIT	⊖

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FOR
LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
CASE# / TR#:

BOHLER
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NORTH CAROLINA PROFESSIONAL SEAL

SEAL NUMBER: 15893
ENGINEER: SEVEN J. KEIDLER
4-17-20

SHEET TITLE:
STORMWATER MANAGEMENT PLAN AREA D

SHEET NUMBER:
C-405

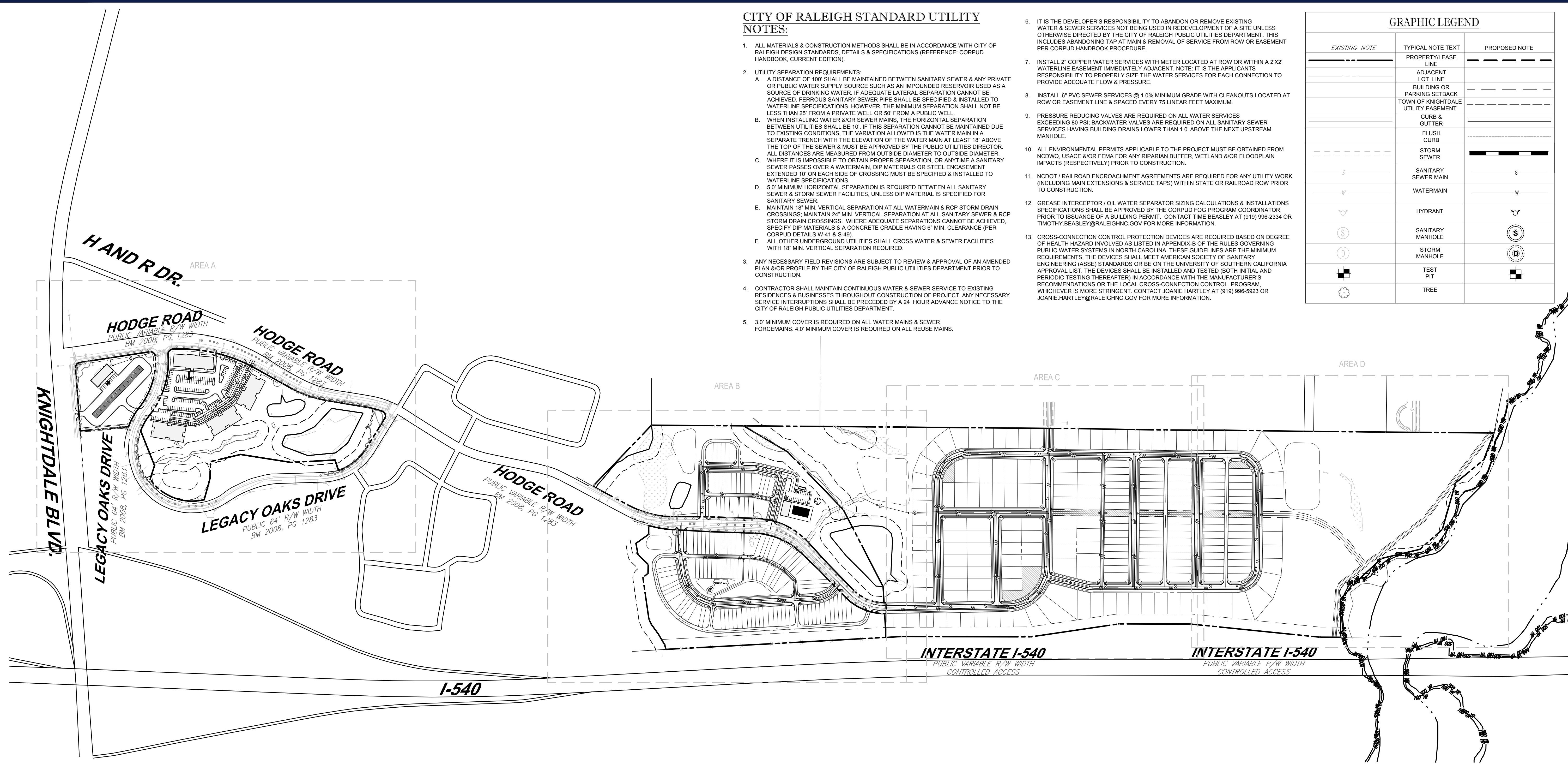
ORG. DATE - 3-17-2020

CITY OF RALEIGH STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & RCP SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METER LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANTS RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICES FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATIONS SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIME BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

GRAPHIC LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY/LEASE LINE	---
---	ADJACENT LOT LINE	---
---	BUILDING OR PARKING SETBACK TOWN OF KNIGHTDALE UTILITY EASEMENT	---
---	CURB & GUTTER	---
---	FLUSH CURB	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	---
---	WATERMAIN	---
---	HYDRANT	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	TEST PIT	---
---	TREE	---



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PROJECT No.:	NCR194000
DRAWN BY:	CMJ
CHECKED BY:	SJK
DATE:	03/17/2020
CAD ID.:	

SKETCH PLANS

FOR
LEGACY OAKS

SHENANDOAH HOMES

0 HODGE RD
KNIGHTDALE, NC 27604
WAKE COUNTY
CASE# / TR#:

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NORTH CAROLINA PROFESSIONAL SEAL

SEAL
No. 15893
BOHLER ENGINEERING NC, PLLC
SEVEN J. KELLEY
4-17-20

SHEET TITLE:
OVERALL UTILITY PLAN

SHEET NUMBER:
C-501

ORG. DATE - 3-17-2020

Town of Knightdale Water Allocation Project Base Points

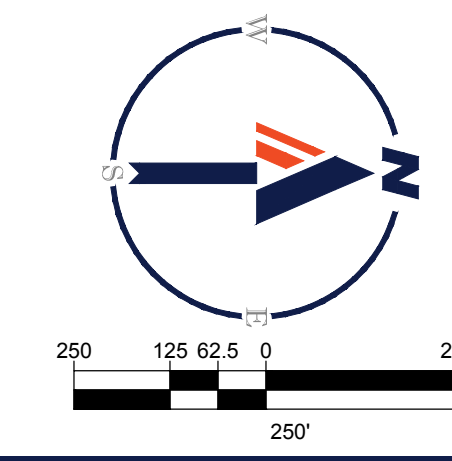
Choose Proposed Use	Mixture of Use Development (Retail/Office/Residential)	41
Residential Only Subdivisions	Total Number of Dwelling Units Proposed within Entire Project	348
	Total Number of SFD	208
	Total Number of TH	116
	Total Number of Apartments	24
	Total	41.00

Town of Knightdale Water Allocation Policy BONUS POINTS

CATEGORY 1: Non-Conformity Abatement & Public Infrastructure Improvements	Construct More Than 1000 Linear Feet Of 10-Foot Wide Path	4
CATEGORY 2: Green Development Standards	Residential Architectural Standards to include the Building Types: House & Townhouse (respectively)	15
	Exclusive Use Of Xeriscaping Techniques And Drought-Tolerant Species	3
CATEGORY 4: Amenities (Only for Projects with Residential Components)	Lap Pool (Four Lane Minimum)	3
	IPEMA Certified Playground Equipment	4
	Total Bonus Points	29

Town of Knightdale Water Allocation Project Totals

Total BASE POINTS scored	41.00	
Total BONUS POINTS scored	29.00	
Total PROJECT POINTS	70.00	Points Attained



UTILITY LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY LINE	---
---	CONTOUR & ELEVATION	---
---	UNDERGROUND WATER LINE	---
---	UNDERGROUND FIRE LINE	---
---	UNDERGROUND FIBER OPTIC	---
---	OVERHEAD WIRE	---
---	UNDERGROUND ELECTRIC SERVICE	---
---	UNDERGROUND TELEPHONE	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	---
---	LIMITS OF DISTURBANCE	---
---	DRAINAGE FLOW ARROW	---
---	UTILITY POLE/LIGHT	---
---	CLEAN OUT	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	STORM CURB INLET	---
---	STORM INLET	---
---	WATER VALVE	---
---	WATER METER	---
---	SANITARY LABEL	---

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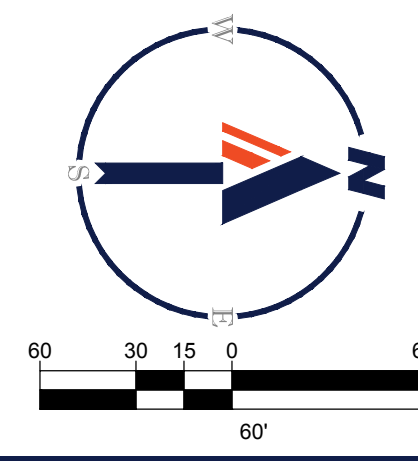
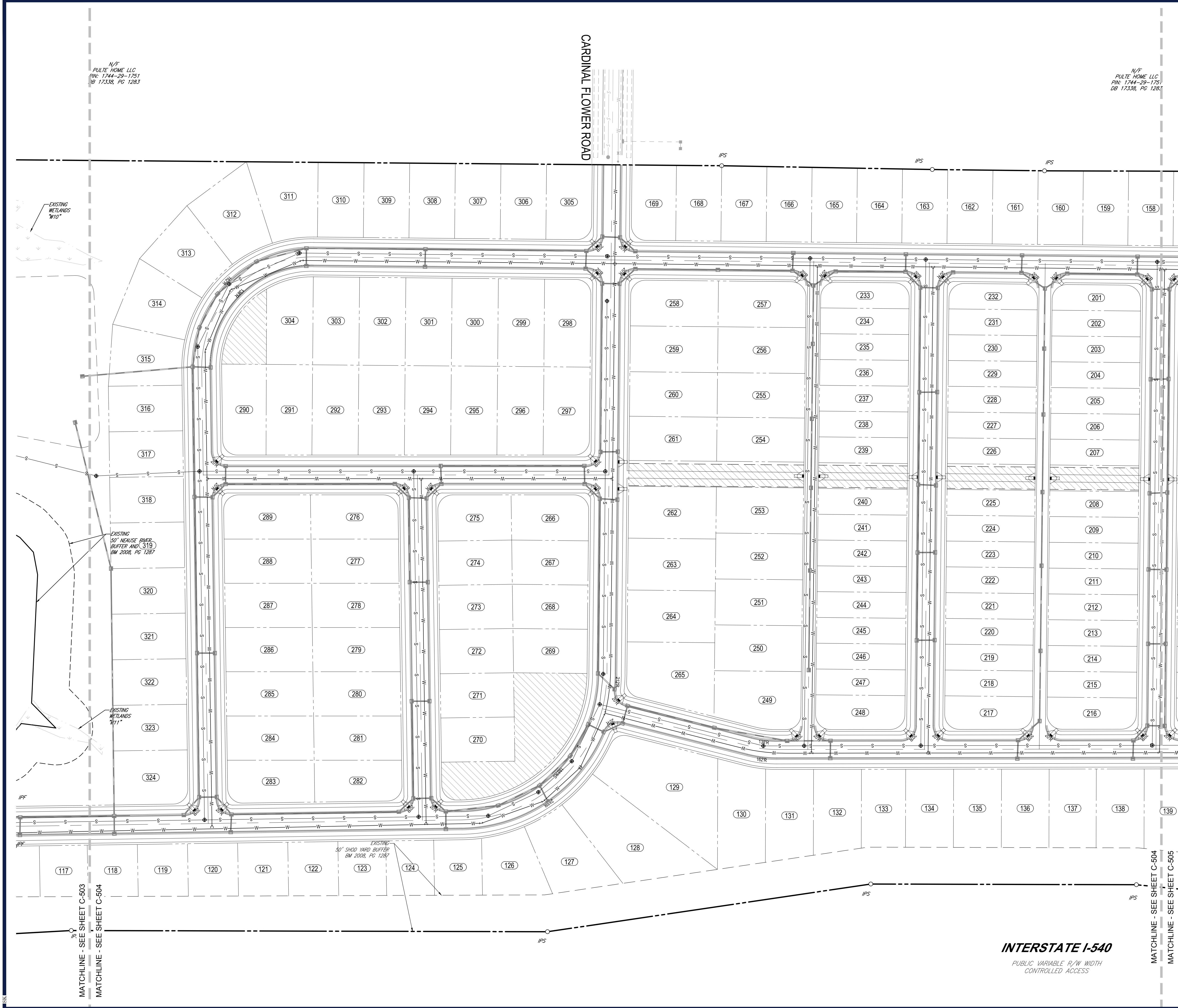
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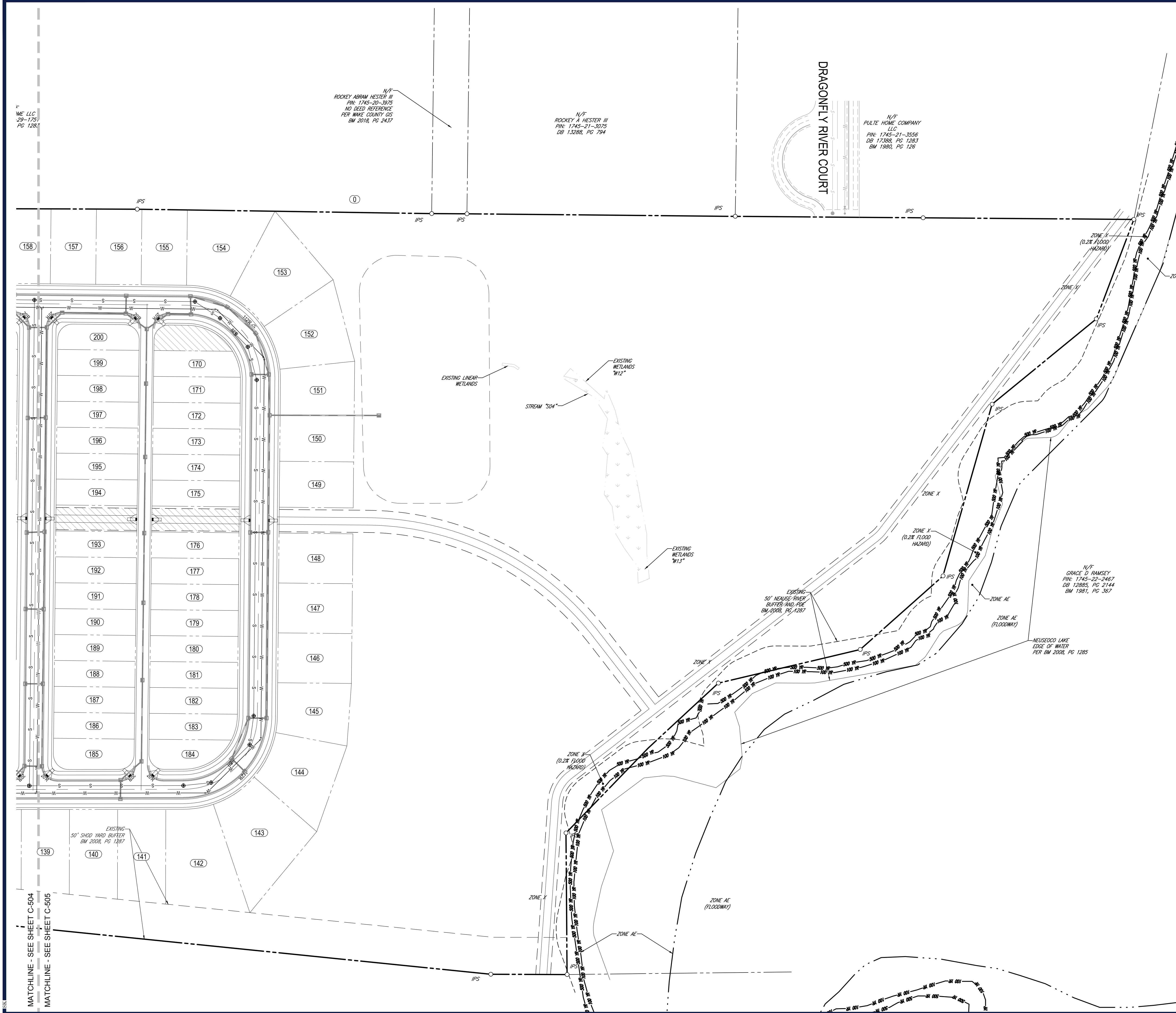
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NORTH CAROLINA PROFESSIONAL SEAL
SEVEN J. KEIDEL
4-17-20

SHEET TITLE:
UTILITY PLAN AREA C
SHEET NUMBER:
C-504
ORG. DATE - 3-17-2020



Mar 17, 2020
H:\00\PROJECTS\DRAWINGS\PLAN SETS\NCR194000\TP...LAYOUT\C-500 UTILITY PLAN AREA C



UTILITY LEGEND		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
---	PROPERTY LINE	---
~	CONTOUR & ELEVATION	601
---	UNDERGROUND WATER LINE	W-W
---	UNDERGROUND FIRE LINE	---
---	UNDERGROUND FIBER OPTIC	---
---	OVERHEAD WIRE	---
---	UNDERGROUND ELECTRIC SERVICE	---
---	UNDERGROUND TELEPHONE	---
---	STORM SEWER	---
---	SANITARY SEWER MAIN	S-S
---	LIMITS OF DISTURBANCE	LOD-LOD
---	DRAINAGE FLOW ARROW	---
○	UTILITY POLE/LIGHT	○
○	CLEAN OUT	○
○	SANITARY MANHOLE	○
○	STORM MANHOLE	○
○	STORM CURB INLET	○
○	STORM INLET	○
○	WATER VALVE	⊞
○	WATER METER	○
○	SANITARY LABEL	○

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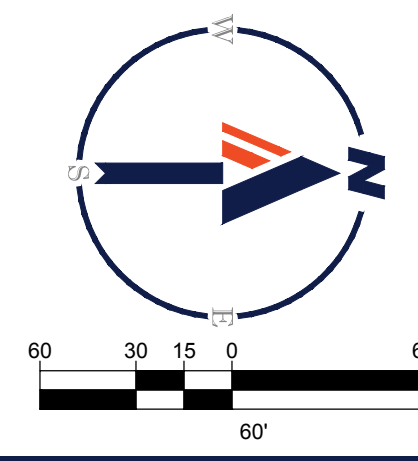
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NORTH CAROLINA PROFESSIONAL SEAL
SEAL NUMBER: 15833
ENGINEER: *Steven J. Keil*
DATE: 4-17-20

SHEET TITLE:
UTILITY PLAN AREA D
SHEET NUMBER:
C-505
ORG. DATE - 3-17-2020



Mar 17, 2020
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 SK

MATCHLINE - SEE SHEET C-504
MATCHLINE - SEE SHEET C-505