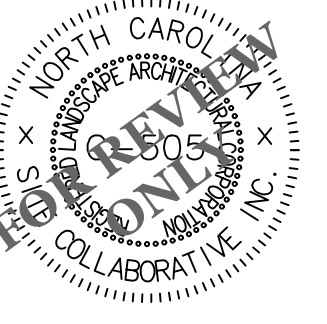


BETHEL MOLDOVIAN BAPTIST CHURCH

SKETCH PLAN

CITY OF KNIGHTDALE



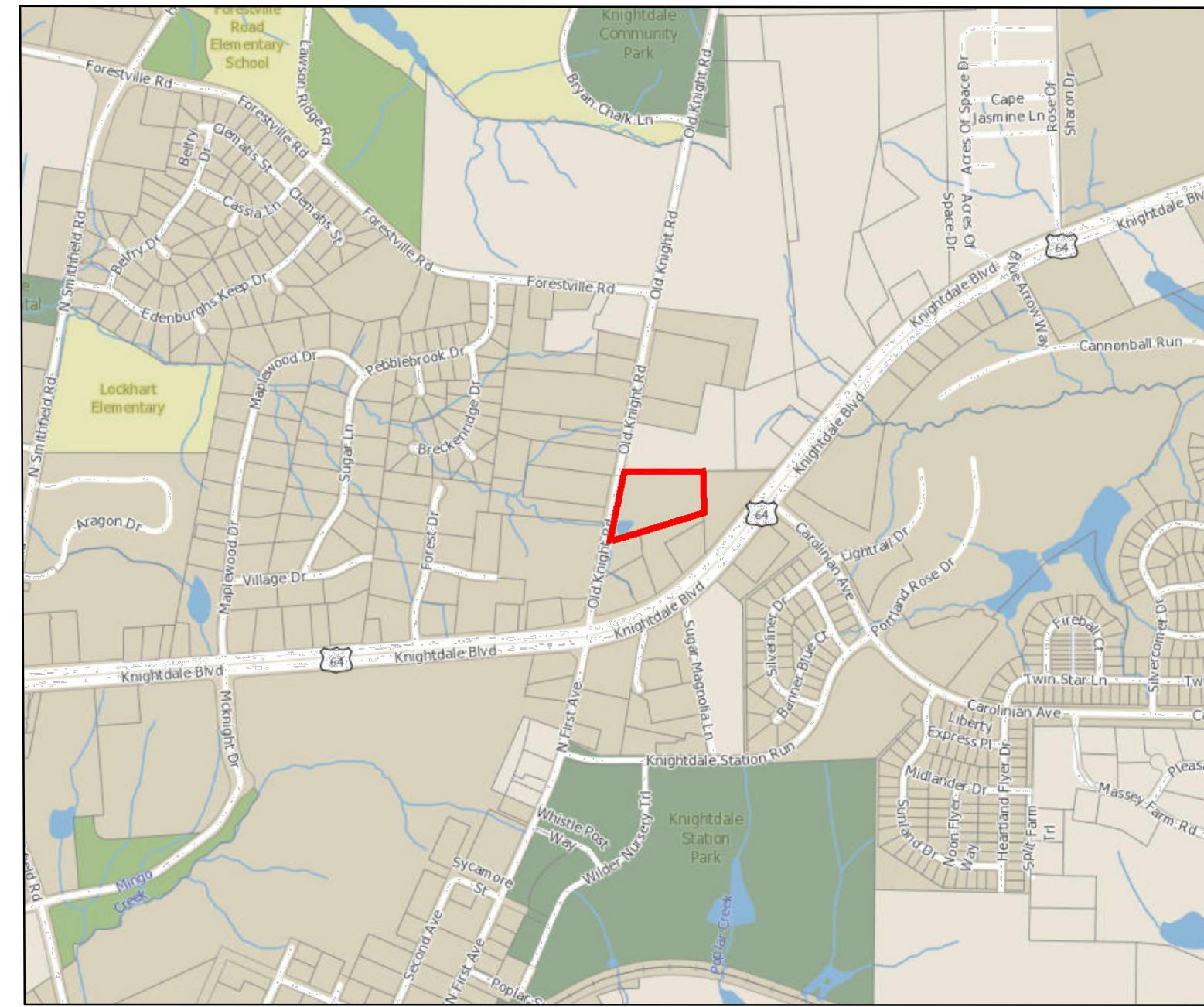
REUSE OF DOCUMENT
This document is the property of Site Collaborative Inc. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of Site Collaborative Inc.

Bethel Moldovian Baptist Church
Bethel Moldovian Baptist Church
704 Old Knight Road, Knightdale, NC

PROJECT NUMBER:
20066
PROJECT PHASE:
Sketch Plan
DATE:
10.8.2021
REV 1: 12.15.2021
REV 2: 01.31.2022

SHEET TITLE:
COV

SHEET NUMBER:
COVER SHEET



VICINITY MAP

SCALE: 1" = 1,000'

SHEET INDEX	
COV	COVER
A101	ARCHITECTURAL FLOORPLAN
A201	ARCHITECTURAL ELEVATION
L100	EXISTING CONDITIONS
L200	LAYOUT PLAN
L201	MATERIALS PLAN
L202	SITE DETAILS
L300	GRADING PLAN
L400	PLANTING PLAN
L401	PLANTING NOTES & DETAILS
C700	UTILITY PLAN
	SITE LIGHTING PLAN

SITE DATA SUMMARY	
PROJECT NAME	BETHEL MOLDOVIAN BAPTIST CHURCH
EXISTING STREET ADDRESS	704 OLD KNIGHT ROAD, KNIGHTDALE, NC
LOT AREA (CURRENT)	191,083 SF (4.4 AC)
CURRENT ZONE	HB, HIGHWAY BUSINESS
OVERLAY DISTRICT(S)	NONE
PARCEL NUMBER	1754672015
REAL ID NUMBER	0090213
DEED BOOK / DEED PAGE	BM 017672 / PG 01024
EXISTING GROSS BUILDING AREA	0 SF
PRIMARY STREET DESIGNATION	AVENUE 4-LANE, DIVIDED
PROPOSED GROSS BUILDING AREA	12,400 SF
PROPOSED BUILDINGS USES	CHURCH
PROPOSED IMPERVIOUS AREA	67,917 SF
NET CHANGE IN IMPERVIOUS AREA	+ 67,917 SF
RIGHT-OF-WAY DEDICATION	

WATER ALLOCATION POLICY

BASE:	41 POINTS
BIORETENTION:	5 POINTS
FOUNTAIN:	4 POINTS
TOTAL	50 POINTS

CONTACT INFORMATION

PROPERTY OWNER
BETHEL MOLDOVIAN BAPTIST CHURCH
731 SHEFFORD TOWN DR.
ROLESVILLE, NC 2757
PHONE: 919.266.2486
EMAIL: DSINIGUR@GMAIL.COM

CIVIL ENGINEER
GROUNDED ENGINEERING
4909 LILES RD
RALEIGH, NC 27606
PHONE: 919.621.3671
EMAIL:
SEAN@GROUNDED-ENGINEERING.COM

LANDSCAPE ARCHITECT
SITE COLLABORATIVE, INC.
821 WAKE FOREST RD
RALEIGH, NC 27604
CONTACT: GRAHAM H. SMITH
PHONE: 919.805.3586
EMAIL:
GRAHAM@SITECOLLABORATIVE.COM

ARCHITECT
MAURER ARCHITECTURE
115.5 EAST HARGETT ST #300
RALEIGH, NC 27601
PHONE: 919.829.4969
EMAIL: MIKE@MAURERARCHITECTURE.COM

REQUIRED PUBLIC GATHERING SPACE		
PROPOSED BUILDING AREA	REQUIRED GATHERING SPACE (1 SF PER 25 GSF)	PROVIDED GATHERING SPACE
12,400	496	

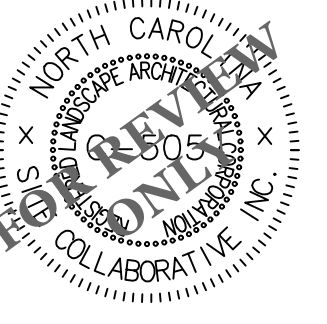
PARKING REQUIREMENTS		
TOTAL # OF SEATS	MINIMUM SPACES PERMITTED (5 PER SEAT)	MINIMUM SPACES REQUIRED (5 PER SEAT)
299	150	75

VEHICLE PARKING		
	REQUIRED	PROVIDED
STANDARD	75	106
ADA		5
ELECTRIC (1/2)		3
TOTAL		114

REQUIRED CANOPY	
REQUIRED 10% of site	19,108 SF
PROVIDED (Area in Treeed Buffers)	
Perimeter Buffers (less OHE buffer)	23,173 SF
Neuse River Buffer	11,474 SF
Parking Lot Buffer	11,202 SF
TOTAL AREA	45,849 SF

LAND USE		
SITE	USE	ZONING
Existing:	Vacant	HB
Proposed:	Church	HB
ADJACENT		
Southeast: 17546626606	Commercial	HB
Southwest: 1754569791	Vacant	HB
North: 1754673325	Vacant	NMX
East: 1754676046	Residential (single family)	HB
West:	NCDOT Maintained Rd	

COMBINED FACTOR
0.99990709



REUSE OF DOCUMENT
This document is the property of Site Collaborative Inc. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of Site Collaborative Inc.

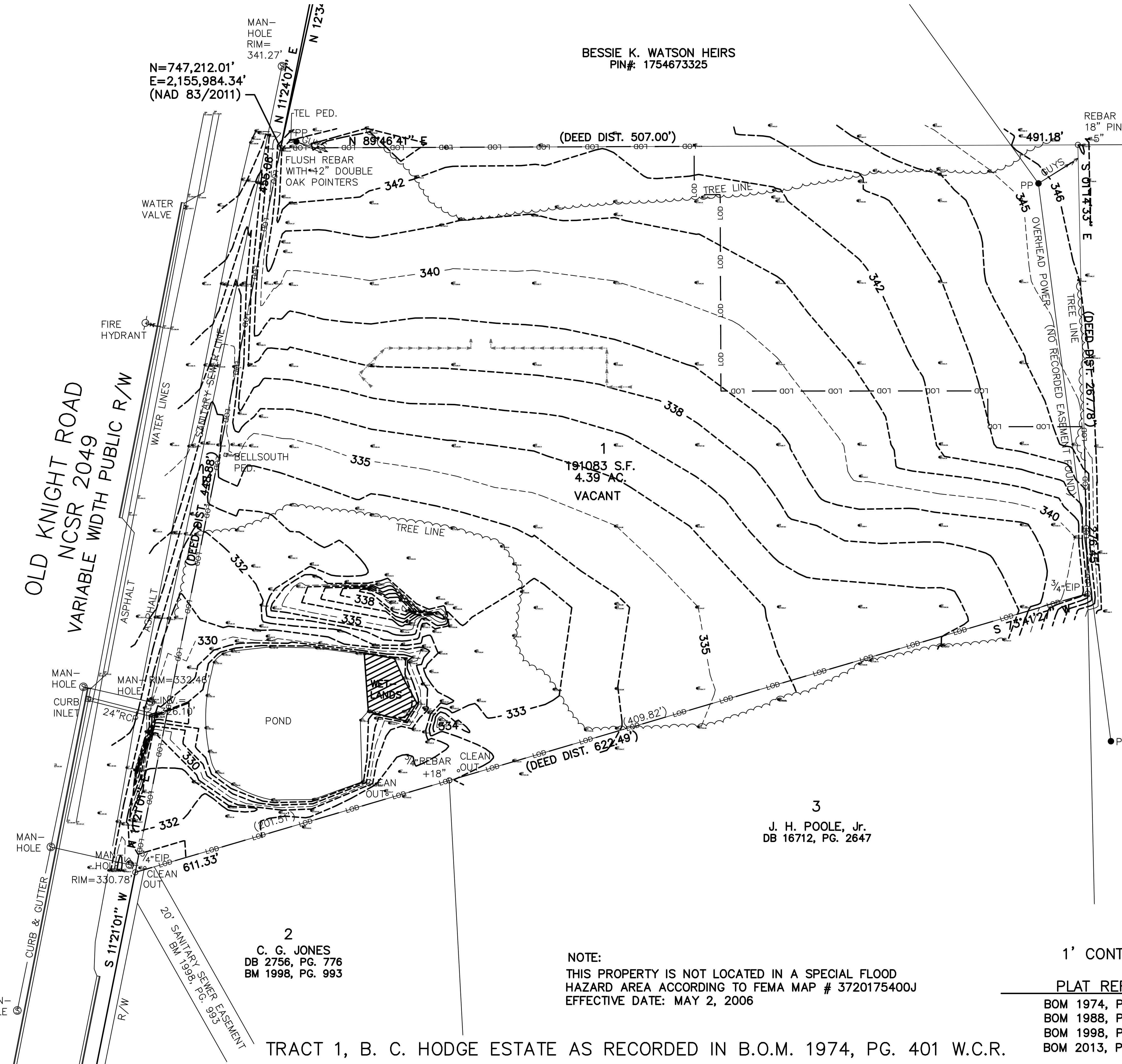
Bethel Moldovian Baptist Church
Bethel Moldovian Baptist Church
704 Old Knight Road, Knightdale, NC

PROJECT NUMBER:
20066
PROJECT PHASE:
Sketch Plan
DATE:
10.8.2021
REV 1: 12.15.2021
REV 2: 01.31.2022
SHEET TITLE:
EXISTING
CONDITIONS
SHEET NUMBER:

L100

BESSIE K. WATSON HEIRS
PIN#: 1754673325

N=747,212.01'
E=2,155,984.34'
(NAD 83/2011)



C&P PROPERTY HOLDINGS, LLC
DB 15612, PG. 2415

TOPOGRAPHICAL SURVEY

NOTE:
THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD
HAZARD AREA ACCORDING TO FEMA MAP # 3720175400J
EFFECTIVE DATE: MAY 2, 2006

1' CONTOURS

PLAT REFERENCE

- BOM 1974, PG. 401 W.C.R.
- BOM 1988, PG. 1129 W.C.R.
- BOM 1998, PG. 993 W.C.R.
- BOM 2013, PG. 1012 W.C.R.

TRACT 1, B. C. HODGE ESTATE AS RECORDED IN B.O.M. 1974, PG. 401 W.C.R.

NO HISTORIC RESOURCES, STEEP SLOPES, STREAMS, OR OTHER UNIQUE
LANDSCAPE FEATURES ARE VISIBLE ON THE THE SITE.

SCALE: 1" = 30'



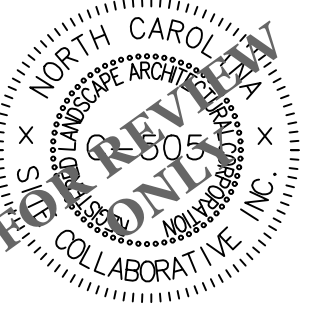
COMBINED FACTOR
0.99990709

BESSIE K. WATSON HEIRS
PIN#: 1754673325

PROPERTY: 1754676046
ZONE: NMX
USE: VACANT

SITE NOTES

- ALL CONSTRUCTION IN RIGHT-OF-WAY PER CITY OF GOLDSBORO STANDARD.
- SIDEWALKS ALONG RIGHT-OF-WAY ARE PUBLIC AND MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION ARE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
- PROVIDE CONSTRUCTION JOINTS IN CONCRETE WALKWAYS AS SHOWN IN PLANS. IF NOT SHOWN ON PLANS - MAX SPACING @ 10'
- THROUGHOUT PROJECT SITE, ALL DIMENSIONS TO BE FIELD VERIFIED. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING, TO CENTERLINE, CENTER TO CENTER ON STRIPES, AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- BUILDING AND PUBLIC ROADWAY STAKE OUT SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR.
- GUARDRAILS MUST BE INSTALLED ON THE OPEN SIDES OF ELEVATED WALKING SURFACES THAT EXCEED 30 INCHES IN HEIGHT. ALL GUARDRAILS MUST BE A MINIMUM HEIGHT OF 42 INCHES ABOVE THE LEADING EDGE OF THE TREAD OR WALKING SURFACE. GUARDRAILS SHALL HAVE BALUSTERS SUCH THAT A 4 INCH DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 34 INCHES FROM 34 INCHES TO 42 INCHES ABOVE THE WALKING SURFACE. A 8 INCH DIAMETER SPHERE SHALL NOT PASS.
- THE CONTRACTOR, AT ALL TIMES, MUST KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE, MATERIALS OR RUBBISH CAUSED BY THE CONTRACTOR, THE CONTRACTOR'S EMPLOYEES OR THE CONTRACTOR'S SUBCONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITH THE EXPRESS WRITTEN PERMISSION OF THE OWNER.
- LANDSCAPE ARCHITECT AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE, ARE BASED ON A FIELD PROVIDED TO LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES, UNDERGROUND LINES, AND STRUCTURES AS NECESSARY TO AVOID DAMAGING OR DESTROYING EXISTING SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE ACTUAL AND EXACT LOCATION, SIZE, AND MATERIAL COMPOSITION OF ANY EXISTING WATER OR SEWER SERVICE PROPOSED FOR CONNECTION OR USE ON THIS PROJECT. THE RELOCATION OF ANY UTILITY SERVICES REQUIRED TO COMPLETE ANY PORTION OF THESE CONSTRUCTION PLANS.
- CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD ANY FIELD CHANGES, ALONG WITH ANY PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE END OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED, AND ANY AND ALL APPLICABLE STATE, COUNTY AND LOCAL CODES.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET UNDER CONTRACT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF ALL UNDERGROUND UTILITIES FOR THIS PROJECT WITH THE OWNER'S REPRESENTATIVE PER ALL APPLICABLE REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTOR'S ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY THE CITY OF RALEIGH. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- TRAFFIC CONTROLS FOR ANY UTILITY WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED IN COMPLIANCE WITH STANDARDS OF THE NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CROSSWALK MARKINGS WITHIN RIGHT-OF-WAY SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH MUTCD SPECIFICATIONS. CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS ARE ALIGNED BETWEEN HANDICAP/WALKWAY ACCESS POINTS OR PERPENDICULAR TO THE ROADWAY / DRIVE LANE.
- ALL SIGNS AND PAVEMENT MARKINGS ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) AND NCDOT STANDARDS.
- ALL SIGNS SHALL USE PRISMATIC SHEETING THAT MEETS MINIMUM RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.
- WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- ON-SITE WORK HOURS: LIMIT WORK TO BETWEEN 7:00 A.M. TO 5:00 P.M., MONDAY THROUGH FRIDAY, UNLESS OTHERWISE INDICATED. WORK HOURS MAY BE MODIFIED TO MEET PROJECT REQUIREMENTS IF APPROVED BY OWNER AND AUTHORITIES HAVING JURISDICTION.



REUSE OF DOCUMENT
This document is the property of Site Collaborative Inc. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of Site Collaborative Inc.

Bethel Moldovian Baptist Church
Bethel Moldovian Baptist Church
704 Old Knight Road, Knightdale, NC

PROJECT NUMBER:
20066

PROJECT PHASE:
Sketch Plan

DATE:
10.8.2021

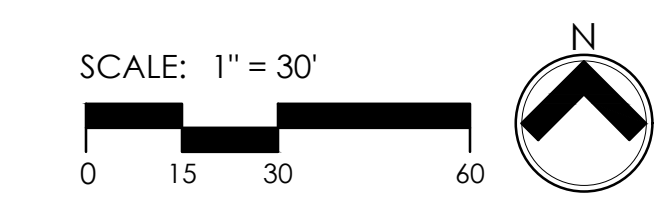
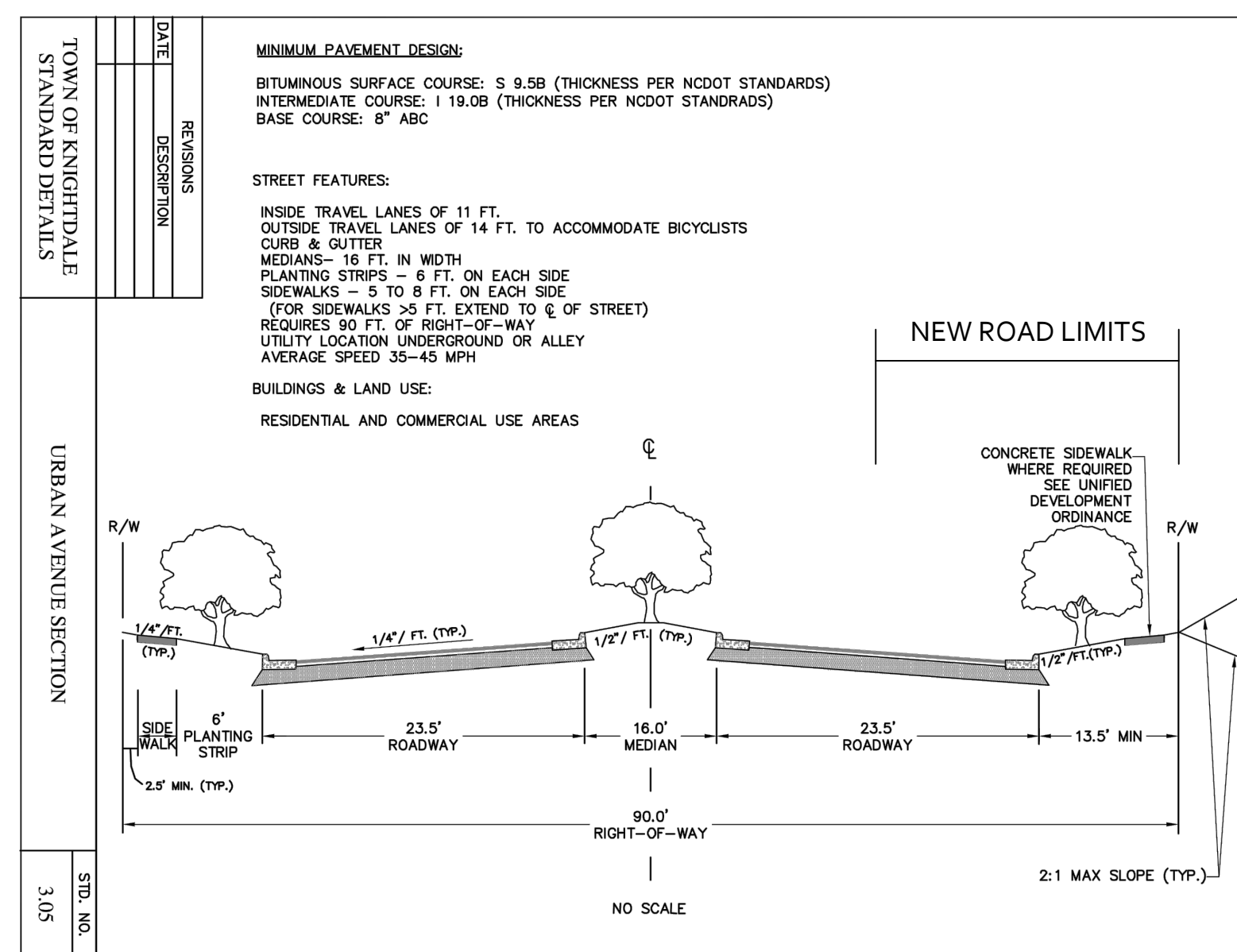
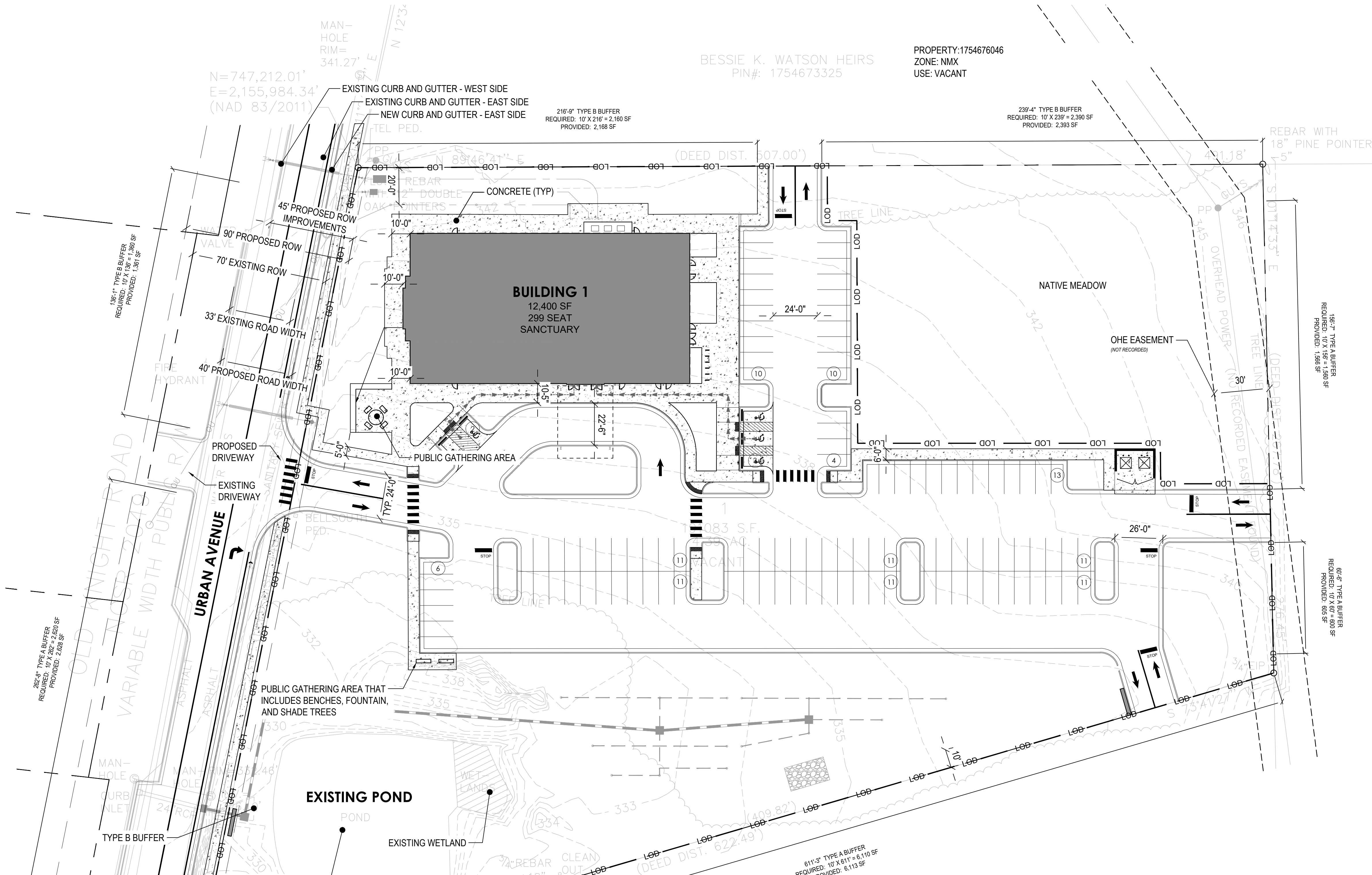
REV 1: 12.15.2021
REV 2: 01.31.2022

SHEET TITLE:

LAYOUT PLAN

SHEET NUMBER:

L200



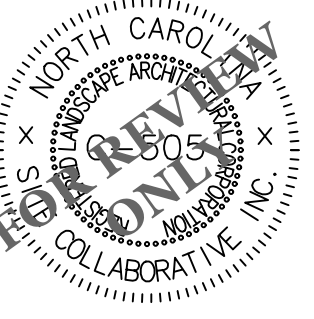
COMBINED FACTOR
0.99990709

BESSIE K. WATSON HEIRS
PIN#: 1754673325

PROPERTY:1754676046
ZONE: NMX
USE: VACANT

SITE NOTES

- ALL CONSTRUCTION IN RIGHT-OF-WAY PER CITY OF GOLDSBORO STANDARD.
- SIDEWALKS ALONG RIGHT-OF-WAY ARE PUBLIC AND MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION ARE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
- PROVIDE CONSTRUCTION JOINTS IN CONCRETE WALKWAYS AS SHOWN IN PLANS. IF NOT SHOWN ON PLANS - MAX SPACING @ 10'
- THROUGHOUT PROJECT SITE, ALL DIMENSIONS TO BE FIELD VERIFIED. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING, TO CENTERLINE, CENTER TO CENTER ON STRIPES, AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- BUILDING AND PUBLIC ROADWAY STAKE OUT SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR.
- GUARDRAILS MUST BE INSTALLED ON THE OPEN SIDES OF ELEVATED WALKING SURFACES THAT EXCEED 30 INCHES IN HEIGHT. ALL GUARDRAILS MUST BE A MINIMUM HEIGHT OF 42 INCHES ABOVE THE LEADING EDGE OF THE TREAD OR WALKING SURFACE. GUARDRAILS SHALL HAVE BALUSTERS SUCH THAT A 4 INCH DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 34 INCHES FROM 34 INCHES TO 42 INCHES ABOVE THE WALKING SURFACE. A 8 INCH DIAMETER SPHERE SHALL NOT PASS.
- THE CONTRACTOR, AT ALL TIMES, MUST KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY THE CONTRACTOR, THE CONTRACTOR'S EMPLOYEES OR THE CONTRACTOR'S SUBCONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITH THE EXPRESS WRITTEN PERMISSION OF THE OWNER.
- LANDSCAPE ARCHITECT AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE, ARE BASED ON A FIELD PROVIDED TO LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES, UNDERGROUND LINES, AND STRUCTURES AS NECESSARY TO AVOID DAMAGING OR DESTROYING EXISTING SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE ACTUAL AND EXACT LOCATION, SIZE, AND MATERIAL COMPOSITION OF ANY EXISTING WATER OR SEWER SERVICE PROPOSED FOR CONNECTION OR USE ON THIS PROJECT. THE RELOCATION OF ANY UTILITY SERVICES REQUIRED TO COMPLETE ANY PORTION OF THESE CONSTRUCTION PLANS.
- CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD ANY FIELD CHANGES, ALONG WITH ANY PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE END OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED, AND ANY AND ALL APPLICABLE STATE, COUNTY AND LOCAL CODES.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET UNDER CONTRACT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF ALL UNDERGROUND UTILITIES FOR THIS PROJECT WITH THE OWNER'S REPRESENTATIVE PER ALL APPLICABLE REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTOR'S ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY THE CITY OF RALEIGH. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- TRAFFIC CONTROLS FOR ANY UTILITY WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED IN COMPLIANCE WITH STANDARDS OF THE NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CROSSWALK MARKINGS WITHIN RIGHT-OF-WAY SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH NCDOT SPECIFICATIONS. CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS ARE ALIGNED BETWEEN HANDICAP/WALKWAY ACCESS POINTS OR PERPENDICULAR TO THE ROADWAY / DRIVE LANE.
- ALL SIGNS AND PAVEMENT MARKINGS ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) AND NCDOT STANDARDS.
- ALL SIGNS SHALL USE PRISMATIC SHEETING THAT MEETS MINIMUM RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.
- WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- ON-SITE WORK HOURS: LIMIT WORK TO BETWEEN 7:00 A.M. TO 5:00 P.M., MONDAY THROUGH FRIDAY, UNLESS OTHERWISE INDICATED. WORK HOURS MAY BE MODIFIED TO MEET PROJECT REQUIREMENTS IF APPROVED BY OWNER AND AUTHORITIES HAVING JURISDICTION.



REUSE OF DOCUMENT
This document is the property of Site Collaborative Inc. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of Site Collaborative Inc.

Bethel Moldovian Baptist Church
Bethel Moldovian Baptist Church
704 Old Knight Road, Knightdale, NC

PROJECT NUMBER:
20066

PROJECT PHASE:
Sketch Plan

DATE:
10.8.2021

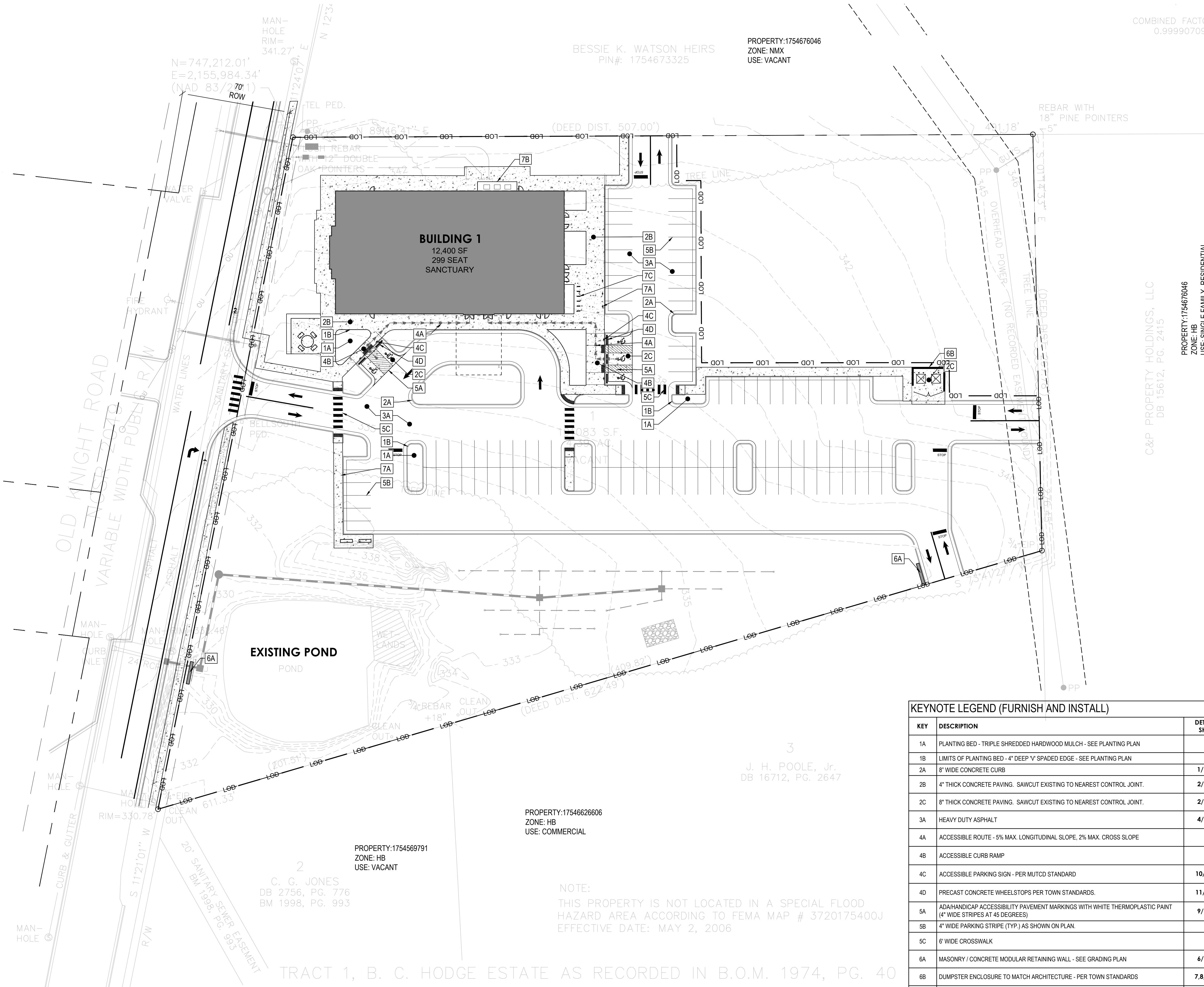
REV 1: 12.15.2021
REV 2: 01.31.2022

SHEET TITLE:

MATERIALS PLAN

SHEET NUMBER:

L201

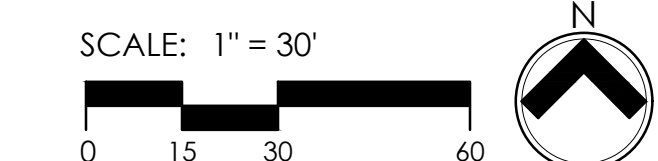


C&P PROPERTY HOLDINGS, LLC
DB 15612, PG. 2415
PROPERTY:1754676046
ZONE: HB
USE: SINGLE FAMILY - RESIDENTIAL

TOPOGRAPHICAL SURVEY

KEYNOTE LEGEND (FURNISH AND INSTALL)

KEY	DESCRIPTION	DETAIL / SHEET
1A	PLANTING BED - TRIPLE SHREDDED HARDWOOD MULCH - SEE PLANTING PLAN	--
1B	LIMITS OF PLANTING BED - 4" DEEP V SPADED EDGE - SEE PLANTING PLAN	--
2A	8" WIDE CONCRETE CURB	1/L202
2B	4" THICK CONCRETE PAVING. SAWCUT EXISTING TO NEAREST CONTROL JOINT.	2/L202
2C	8" THICK CONCRETE PAVING. SAWCUT EXISTING TO NEAREST CONTROL JOINT.	2/L202
3A	HEAVY DUTY ASPHALT	4/L202
4A	ACCESSIBLE ROUTE - 5% MAX. LONGITUDINAL SLOPE, 2% MAX. CROSS SLOPE	--
4B	ACCESSIBLE CURB RAMP	--
4C	ACCESSIBLE PARKING SIGN - PER MUTCD STANDARD	10/L202
4D	PRECAST CONCRETE WHEELSTOPS PER TOWN STANDARDS.	11/L202
5A	ADA/HANDICAP ACCESSIBILITY PAVEMENT MARKINGS WITH WHITE THERMOPLASTIC PAINT (4" WIDE STRIPES AT 45 DEGREES)	9/L202
5B	4" WIDE PARKING STRIPE (TYP.) AS SHOWN ON PLAN.	--
5C	6" WIDE CROSSWALK	--
6A	MASONRY / CONCRETE MODULAR RETAINING WALL - SEE GRADING PLAN	6/L202
6B	DUMPSTER ENCLOSURE TO MATCH ARCHITECTURE - PER TOWN STANDARDS	7,8/L202
7A	ELECTRIC VEHICLE CHARGING STATION	--
7B	SCREENING ENCLOSURE FOR HVAC PER TOWN STANDARDS - SEE ARCHITECTURE PLANS	--
7C	BIKE RACKS	12/L202



NOTE:
THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEMA MAP # 3720175400Q EFFECTIVE DATE: MAY 2, 2006

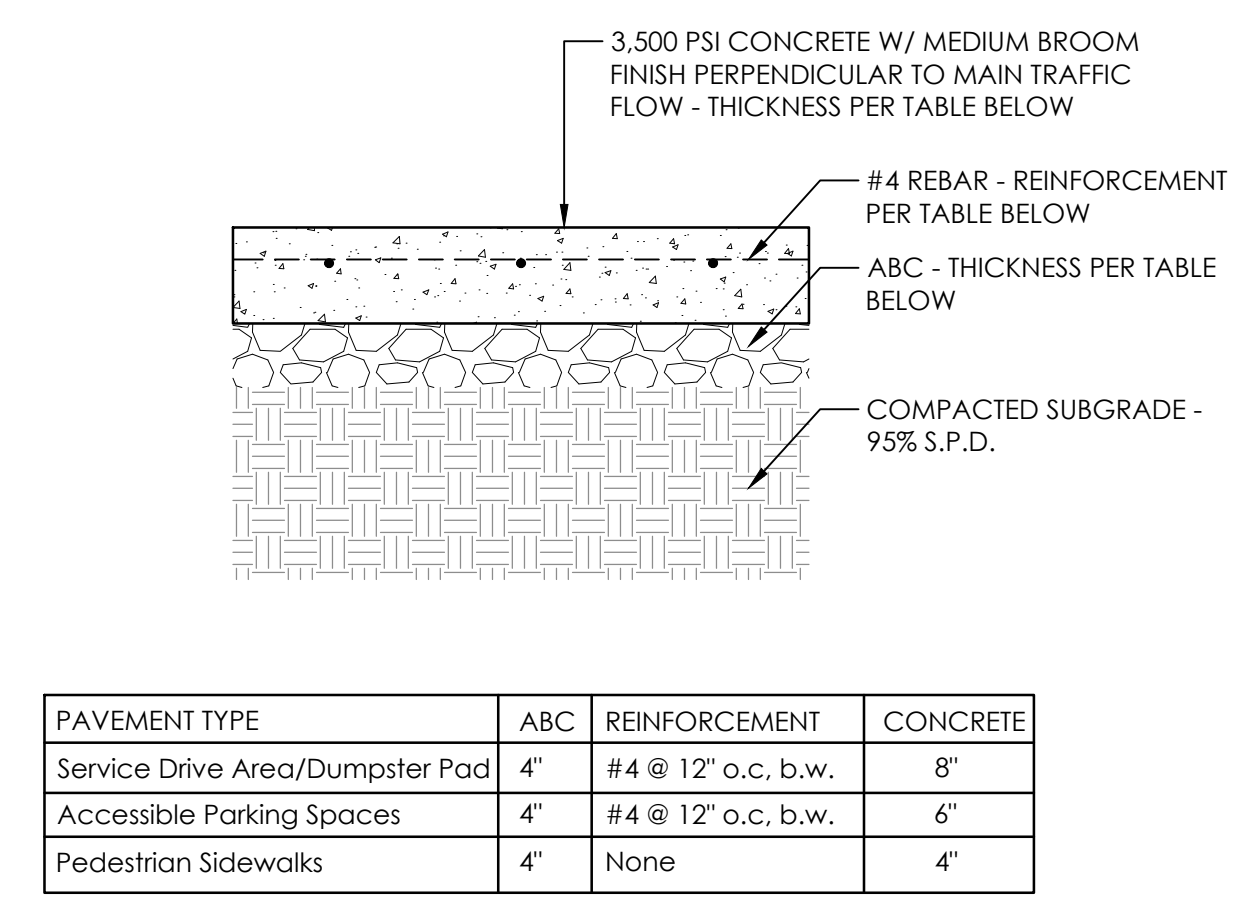
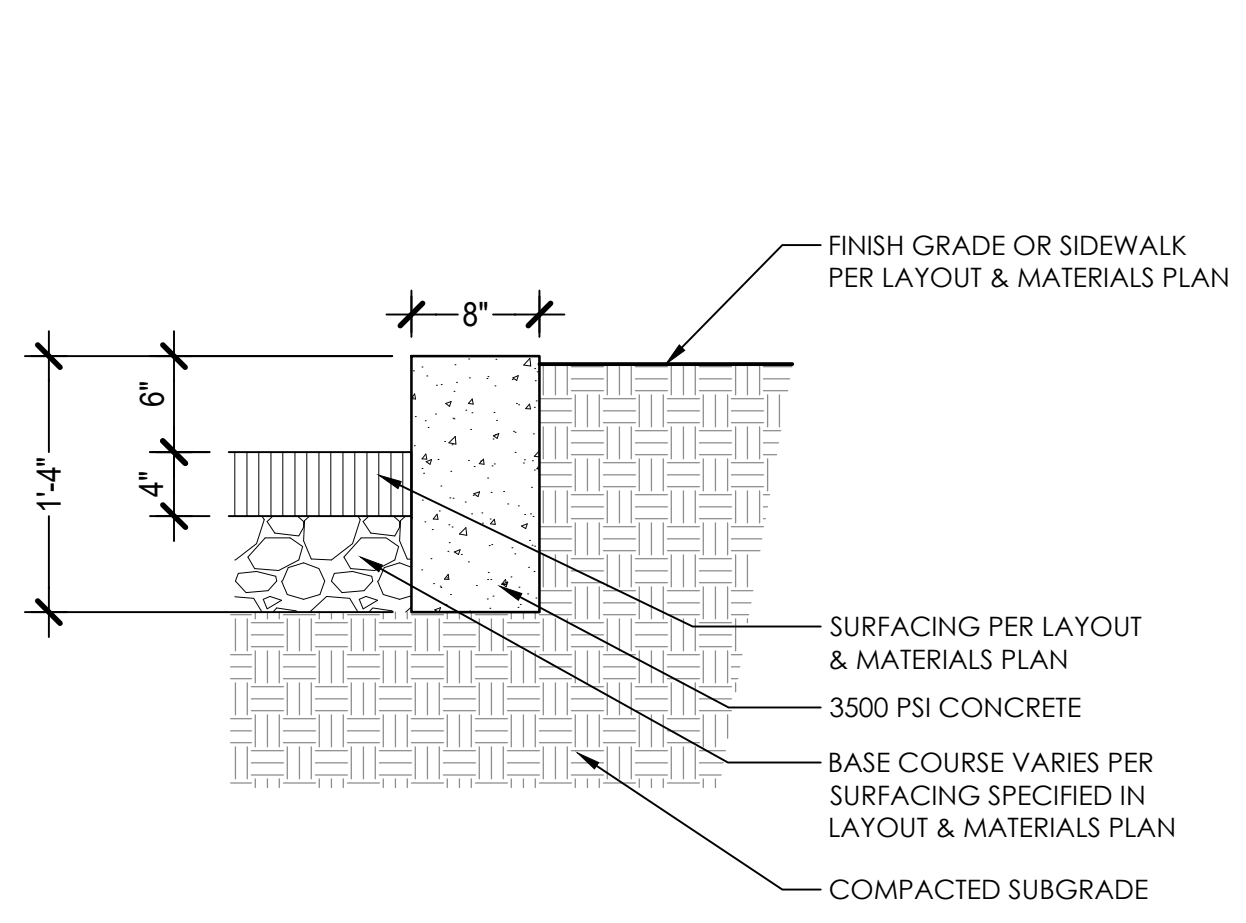
TRACT 1, B. C. HODGE ESTATE AS RECORDED IN B.O.M. 1974, PG. 40

PROPERTY:1754569791
ZONE: HB
USE: VACANT

C. G. JONES
DB 2756, PG. 776
BM 1998, PG. 993

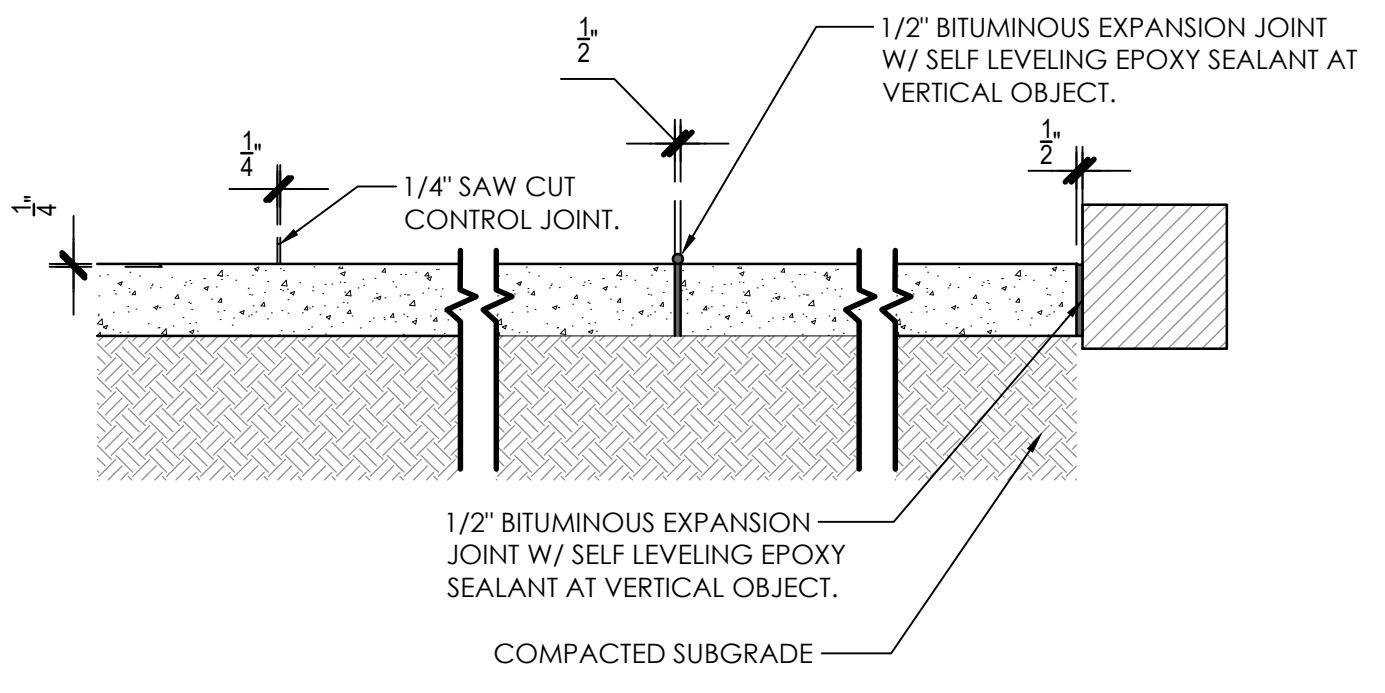
PROPERTY:17546626606
ZONE: HB
USE: COMMERCIAL

J. H. POOLE, Jr.
DB 16712, PG. 2647

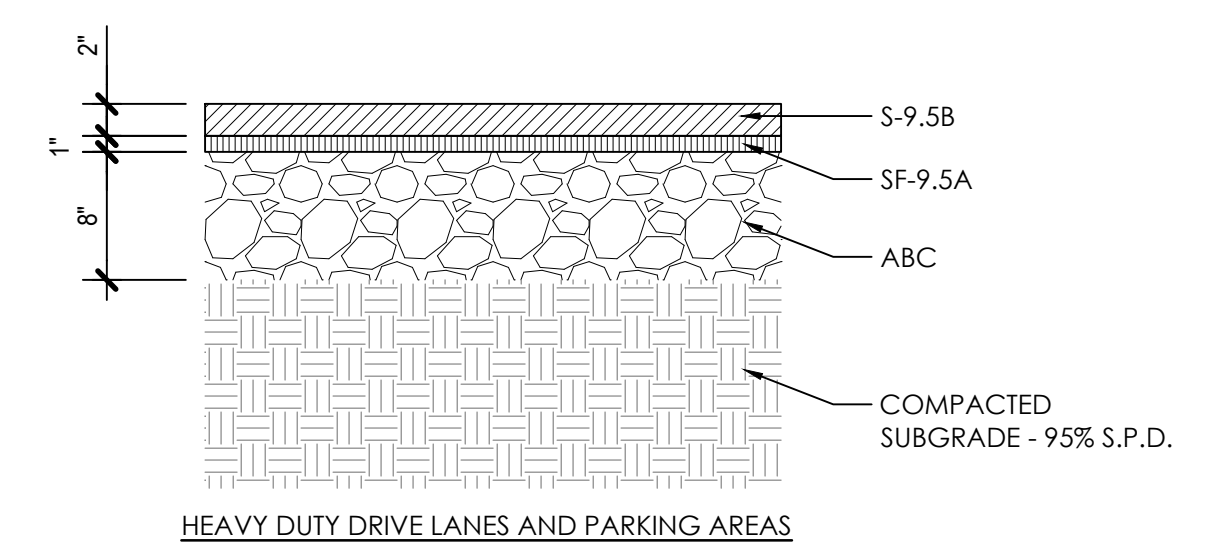


PAVEMENT TYPE	ABC	REINFORCEMENT	CONCRETE
Service Drive Area/Dumpster Pad	4"	#4 @ 12" o.c. b.w.	8"
Accessible Parking Spaces	4"	#4 @ 12" o.c. b.w.	6"
Pedestrian Sidewalks	4"	None	4"

- NOTES:
- CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT TO REVIEW FORMS PRIOR TO POURING.
 - SEE PLANS FOR JOINT LOCATIONS.
 - SEE 4/L201 FOR JOINT DETAIL.



- NOTE:
- TYP. CONTROL JOINT NOTED AS CJ ON THE PLAN OR 10' O.C. MAX IF NOT NOTED ON PLAN.
 - TYP. EXPANSION JOINT NOTED AS EJ ON PLAN OR 50' O.C. MAX IF NOT NOTED ON PLAN.
 - EJ @ WALL OR VERTICAL ELEMENT



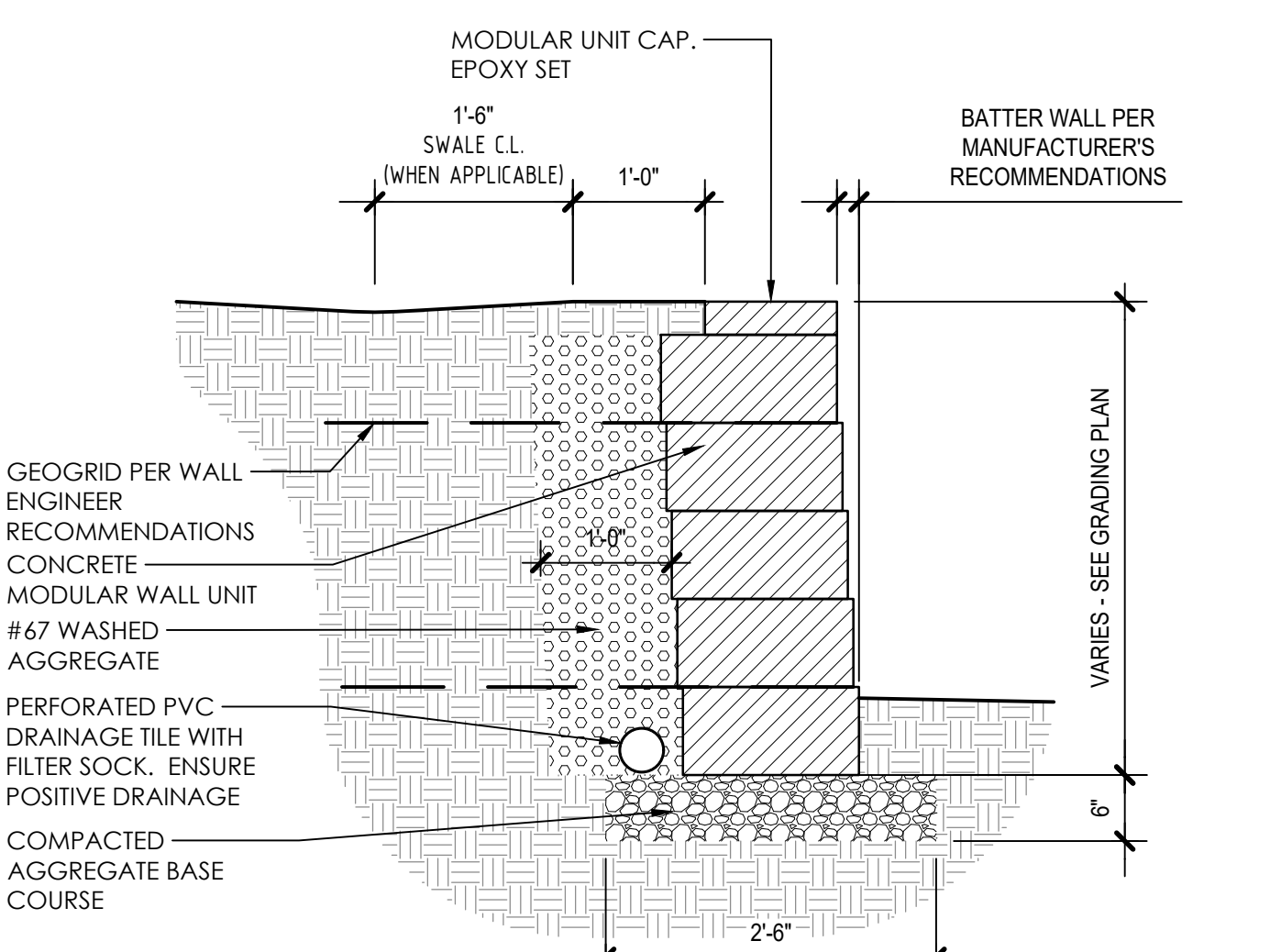
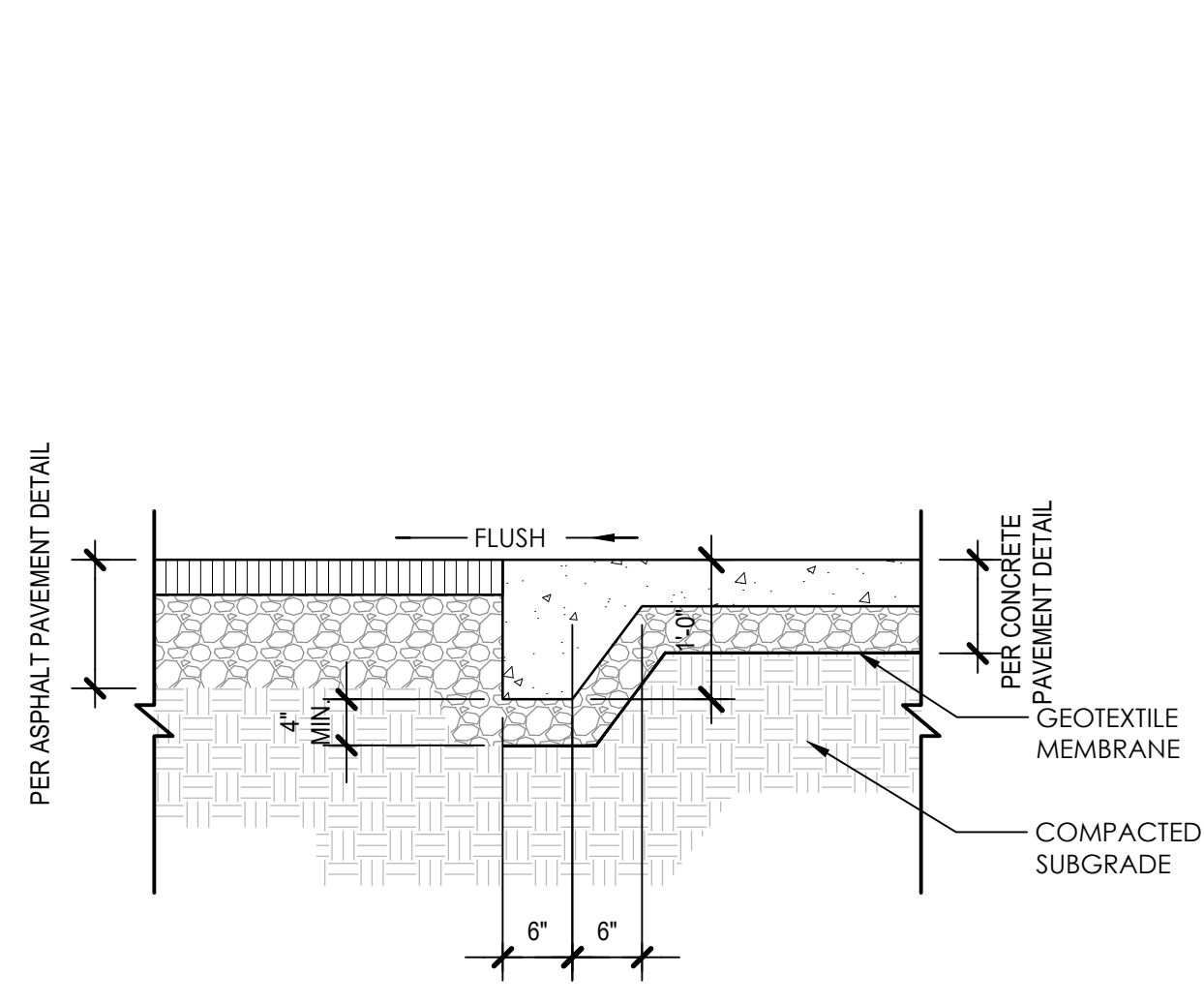
- NOTES:
- CONTRACTOR TO VERIFY PAVEMENT DESIGN WITH GEOTECHNICAL REPORT PRIOR TO INSTALLATION.

1 8" CURB ON SITE SCALE: 1" = 1'-0"

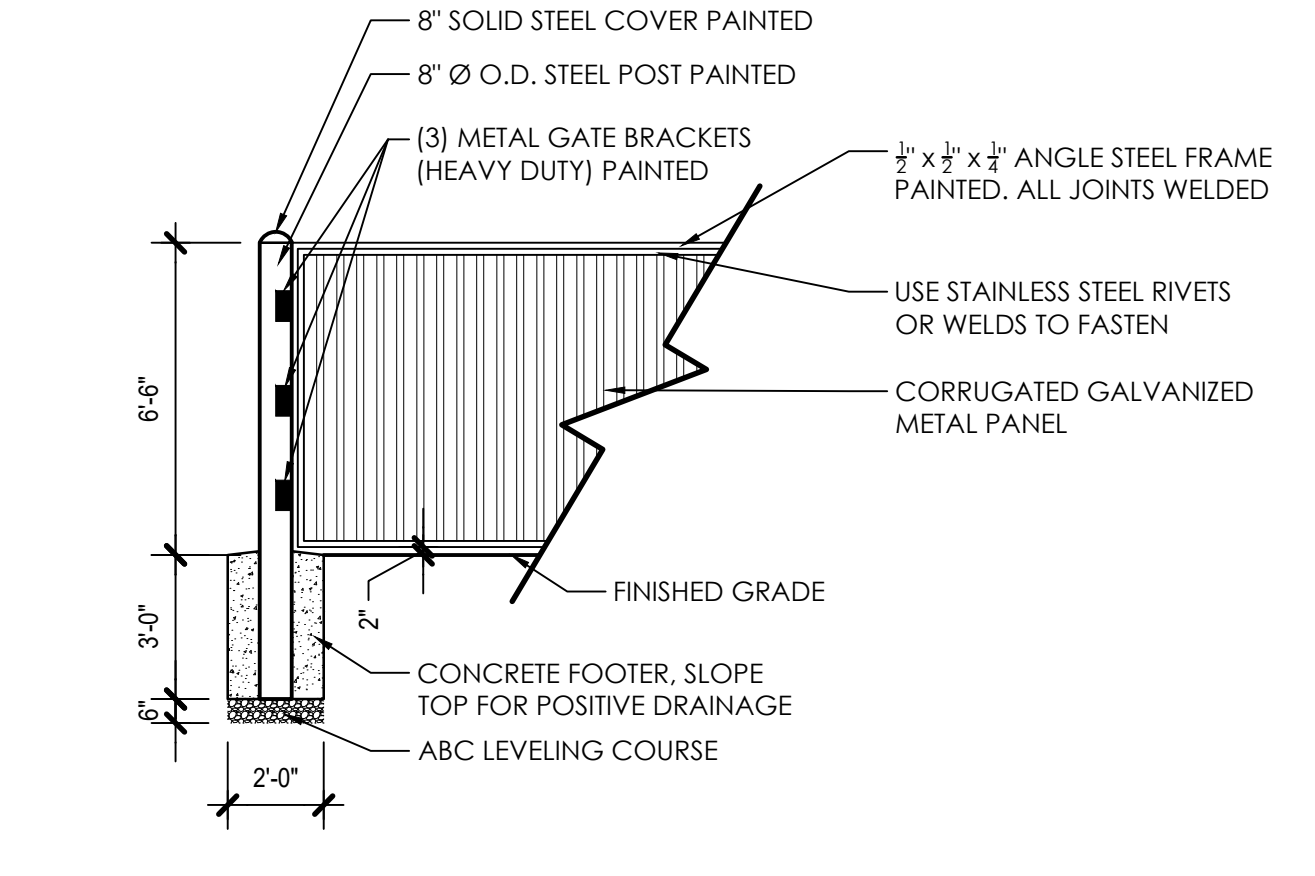
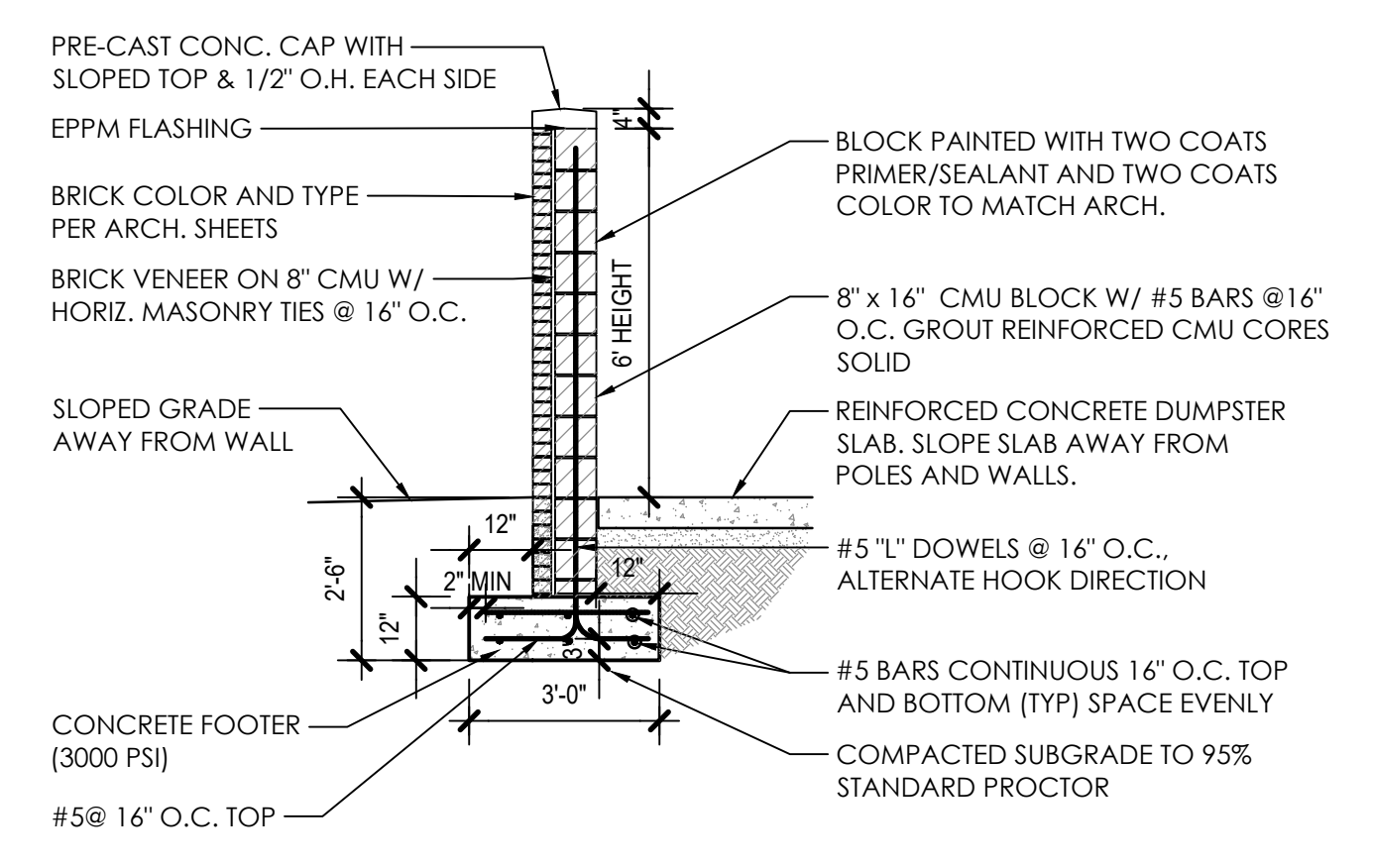
2 CONCRETE PAVING SCALE: 1" = 1'-0"

3 CONCRETE CONSTRUCTION JOINTS SCALE: 3/4" = 1'-0"

4 ASPHALT PAVING SCALE: 1" = 1'-0"



- NOTE:
- DO NOT UTILIZE THIS DETAIL FOR WALL HEIGHTS GREATER THAN 4'. WALLS EXCEEDING 4' HEIGHT WILL REQUIRE SEAL FROM STRUCTURAL ENGINEER.
 - WALL LENGTH NOT TO EXCEED 100' WITHOUT AN INTERRUPTION IN THE WALL PLANE. THIS MAY BE ACHIEVED THROUGH THE USE OF COLUMNS, LANDSCAPE AREAS, CHANGE IN MATERIAL, ETC.
 - BELGARD ANCHOR DIAMOND PRO 'SHEFFIELD' COLOR. -SEE SHEET L-2.2



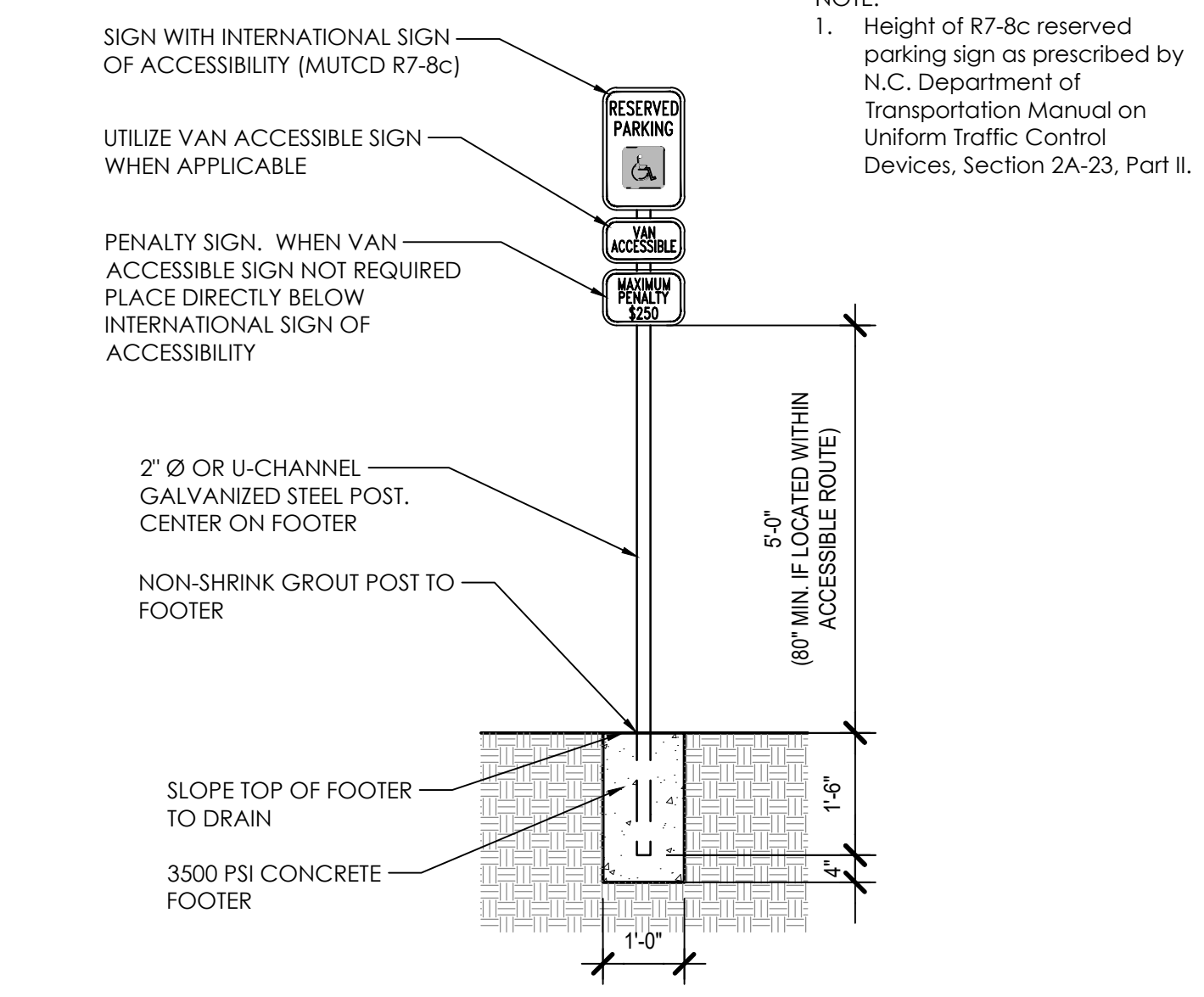
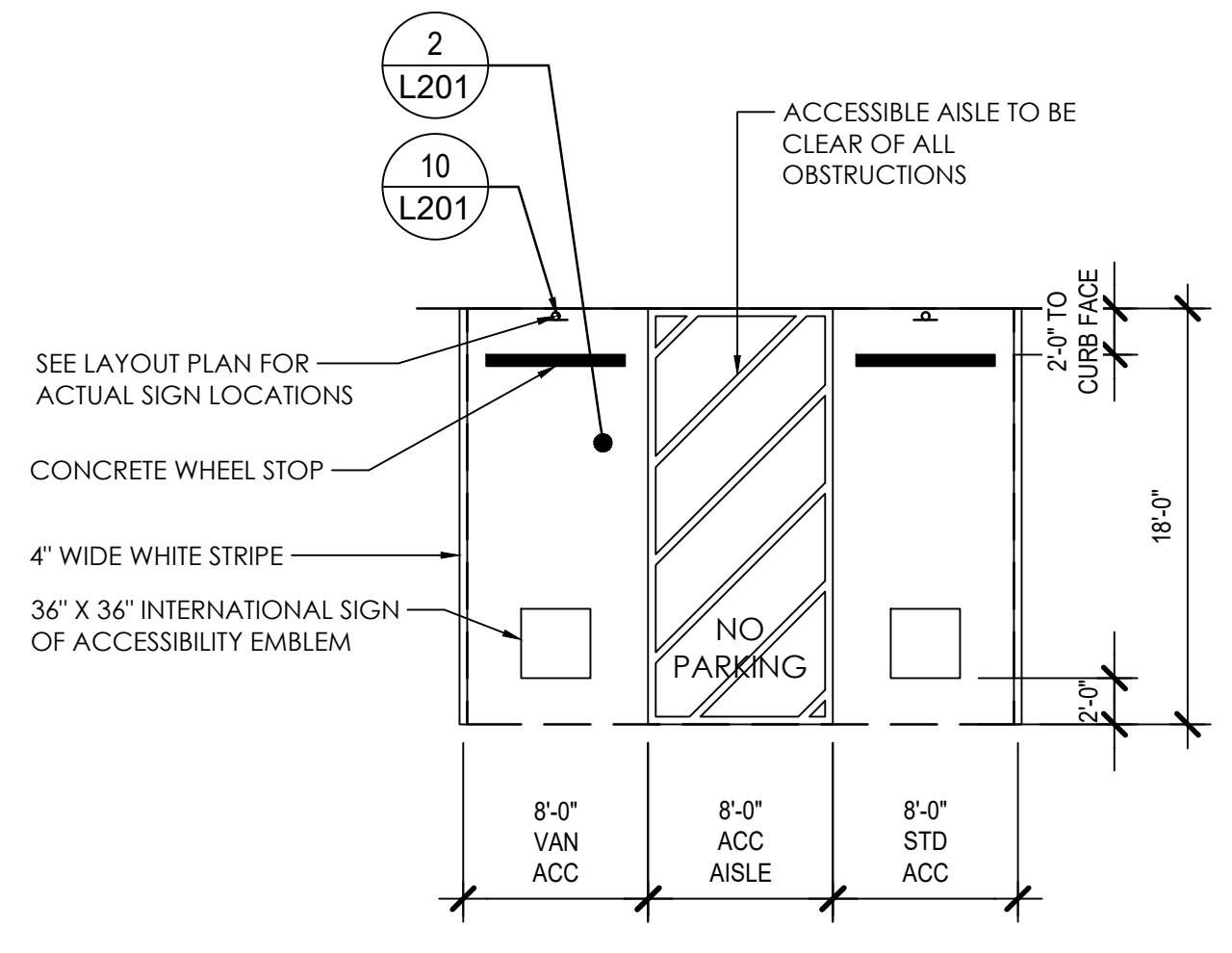
- NOTE:
- ALL SURFACES PAINTED WITH TWO COATS PRIMER/SEALANT AND TWO COATS COLOR TO MATCH ARCHITECTURE.

5 ASPHALT TO CONCRETE TRANSITION SCALE: 3/4" = 1'-0"

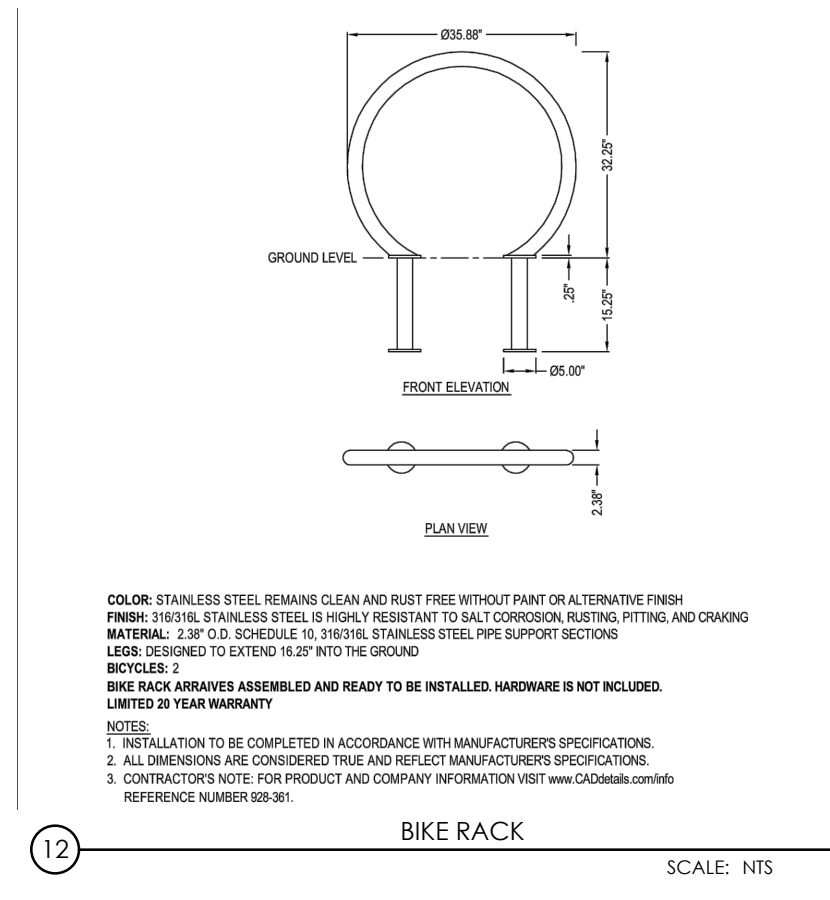
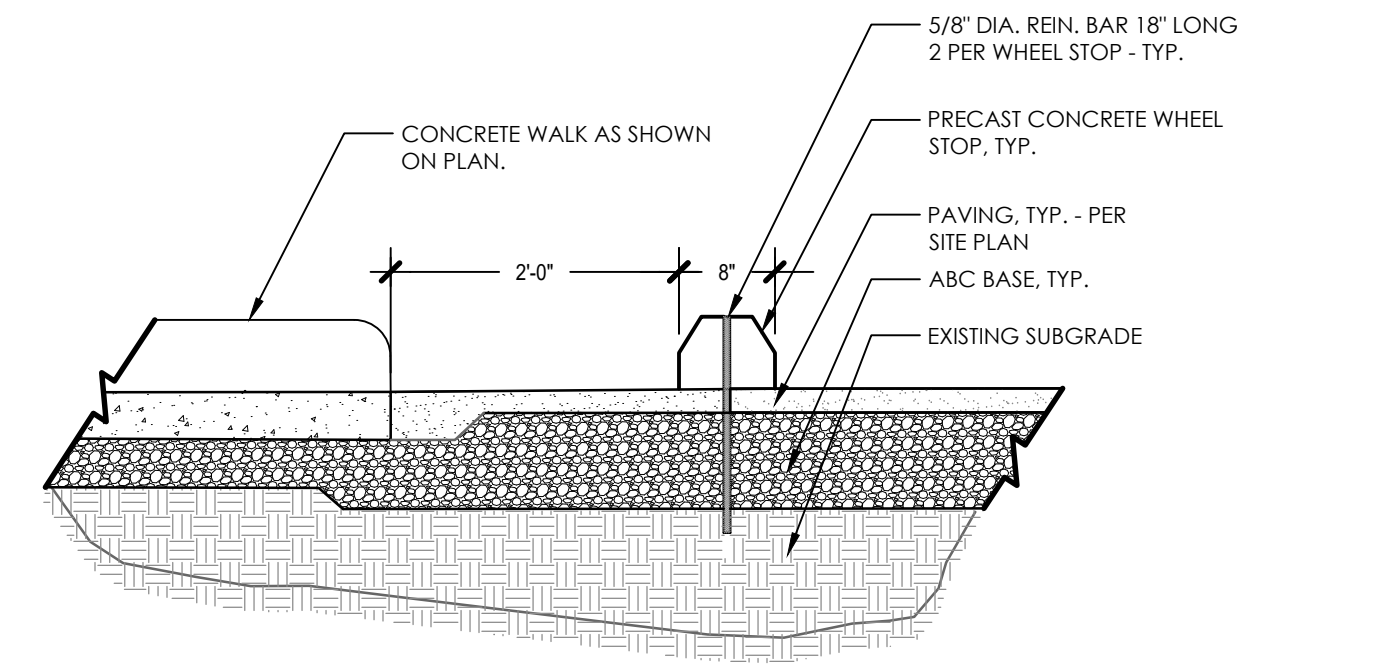
6 SEGMENTAL RETAINING WALL SCALE: 1/2" = 1'-0"

7 DUMPSTER ENCLOSURE SCALE: 3/4" = 1'-0"

8 DUMPSTER ENCLOSURE GATE SCALE: 1/4" = 1'-0"



- NOTE:
- Height of R7-8c reserved parking sign as prescribed by N.C. Department of Transportation Manual on Uniform Traffic Control Devices, Section 2A-23, Part II.



- NOTE:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - ALL DIMENSIONS ARE CONSIDERED TYPICAL AND SUBJECT TO MANUFACTURER'S SPECIFICATIONS.
 - CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.cadmate.com/866 REFERENCE NUMBER 866-001.

9 ACCESSIBLE PARKING SPACE SCALE: 1/8" = 1'-0"

10 ACCESSIBLE SIGN SCALE: 1/2" = 1'-0"

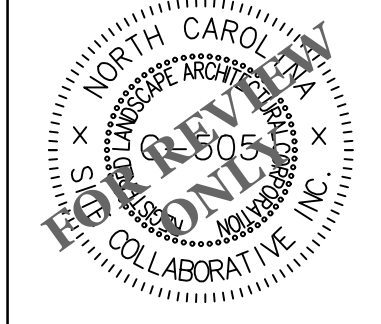
11 CONCRETE WHEEL STOP SCALE: 1/2" = 1'-0"

12 BIKE RACK SCALE: NTS

GRADING NOTES

1. ORIGINAL EXISTING CONDITIONS SHOWN AS 'EXISTING' IN THIS PLAN SET HAS BEEN COMPILED FROM SURVEY DATA PROVIDED BY JAMES DITENHAFFER. CONTRACTOR TO FIELD VERIFY ALL INFORMATION AND REPORT ANY DISCREPANCIES.
2. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
3. ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF EROSION CONTROL METHODS DURING CONSTRUCTION, AND THE OWNER IS RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT EROSION CONTROL METHODS AFTER CONSTRUCTION IS COMPLETE, IF ANY PERMANENT METHODS ARE REQUIRED.
5. CONSTRUCTION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL.
6. INSPECTOR REFERS TO AUTHORIZED REGULATORY AGENCY SEDIMENTATION AND EROSION CONTROL INSPECTOR OR HIS/HER REPRESENTATIVE. FIELD INSPECTIONS MAY REQUIRE ADDITIONAL SEDIMENTATION AND EROSION CONTROL MEASURES AS DEEMED NECESSARY BY THE INSPECTOR, CLIENT, AND/OR CLIENT'S REPRESENTATIVES.
7. WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING.
8. DURING UNSUITABLE GROWING SEASONS, MULCH WILL BE USED AS A TEMPORARY COVER ON SLOPES THAT ARE 4:1 OR STEEPER, MULCH WILL BE ANCHORED.
9. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. PLEASE CALL THE REGULATORY AUTHORITY FOR AN INSPECTION.
10. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES EVERY 7 DAYS AND AFTER EACH SIGNIFICANT RAINFALL (0.5 INCHES OR GREATER) AND DOCUMENT WITH INSPECTION REPORTS.
11. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
12. LOCATE STOCKPILES UP SLOPE FROM EROSION CONTROL MEASURES. ALL SOIL STOCK PILES SHALL HAVE APPROPRIATE EROSION CONTROL PER THE LATEST VERSION OF THE CITY OF RALEIGH EROSION AND SEDIMENT CONTROL MANUAL INCLUDING SEEDING AND SILT FENCE AROUND THE BASE OF THE STOCK PILE.

GRADING LEGEND	
KEY	DESCRIPTION
FGH	FINISH GRADE HARDSCAPE
FGL	FINISH GRADE LANDSCAPE
MG	MEET EXISTING GRADE
HP	HIGH POINT
HPS	HIGH POINT OF SWALE
LP	LOW POINT
BS	BOTTOM OF STAIRS
TS	TOP OF STAIRS
BR	BOTTOM OF RAMP
TR	TOP OF RAMP
BC	BOTTOM OF CURB
TC	TOP OF CURB
BWH	BOTTOM OF WALL (HIGH SIDE)
BWL	BOTTOM OF WALL (LOW SIDE)
TW	TOP OF WALL
X%	SLOPE DIRECTION - POINTS DOWNWARD
	ACCESSIBLE ROUTE
	GRADE BREAK
	SWALE CENTERLINE



REUSE OF DOCUMENT
This document is the property of Site Collaborative Inc. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of Site Collaborative Inc.

Bethel Moldovian Baptist Church
Bethel Moldovian Baptist Church
704 Old Knight Road, Knightdale, NC

PROJECT NUMBER:
20066

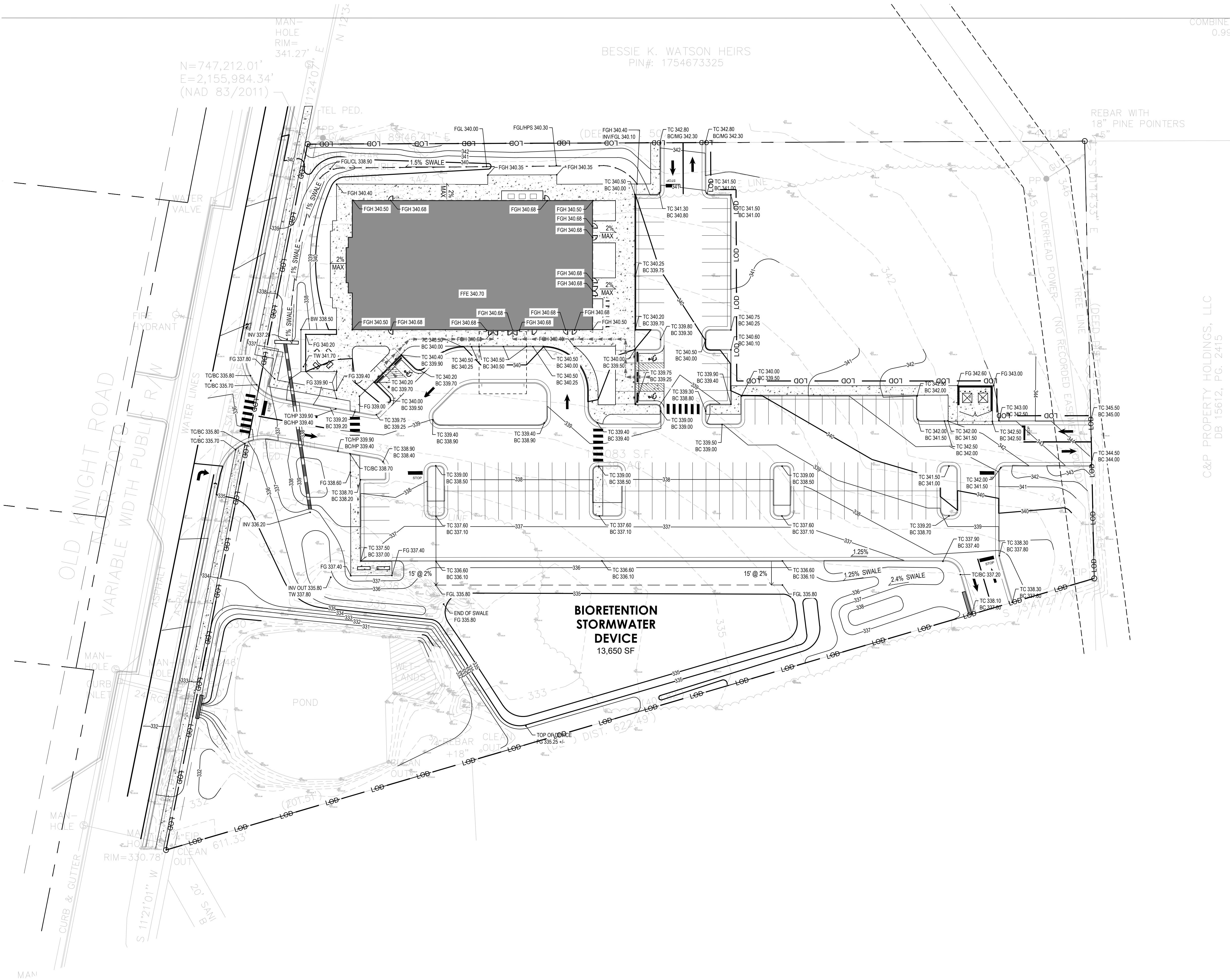
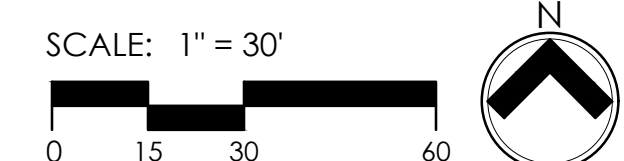
PROJECT PHASE:
Sketch Plan

DATE:
10.8.2021

REV 1: 12.15.2021
REV 2: 01.31.2022

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
L300



C&P PROPERTY HOLDINGS, LLC
DB 15612, PG. 2415

BESSIE K. WATSON HEIRS
PIN#: 1754673325

N=747,212.01'
E=2,155,984.34'
(NAD 83/2011)

COMBINED
0.999

COMBINED FACTOR
0.99990709

BESSIE K. WATSON HEIRS
PIN#: 1754673325

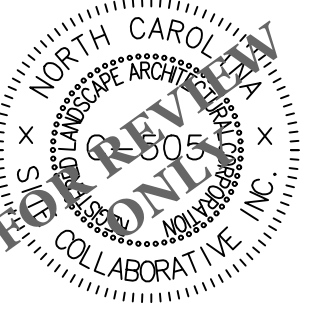
N=747,212.01'
E=2,155,984.34'
(NAD 83/2011)

MAN-HOLE
RIM=341.27'

TEL. PED.

REBAR WITH
18" PINE POINTERS

C&P PROPERTY HOLDINGS, LLC
DB 15612, PG. 2415



REUSE OF DOCUMENT
This document is the property of Site Collaborative Inc. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of Site Collaborative Inc.

Bethel Moldovian Baptist Church
Bethel Moldovian Baptist Church
704 Old Knight Road, Knightdale, NC

PROJECT NUMBER:
20066

PROJECT PHASE:
Sketch Plan

DATE:
10.8.2021

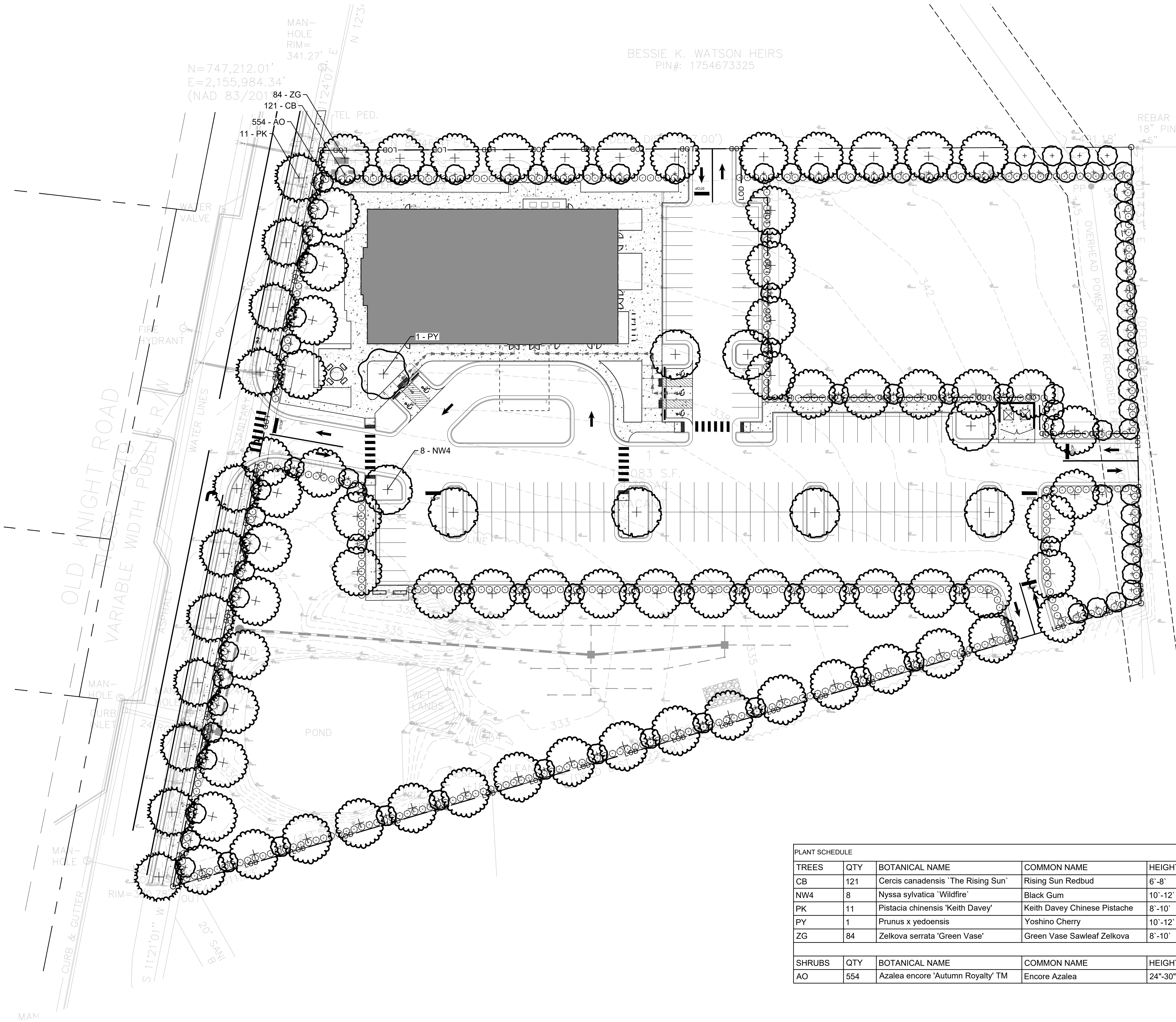
REV 1: 12.15.2021
REV 2: 01.31.2022

SHEET TITLE:

PLANTING PLAN

SHEET NUMBER:

L400



PLANT SCHEDULE							
TREES	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	B&B OR CONT.	REMARKS
CB	121	<i>Cercis canadensis</i> 'The Rising Sun'	Rising Sun Redbud	6'-8'	1 1/2"-2" CAL.	CONTAINER	Strong, Central Leader
NW4	8	<i>Nyssa sylvatica</i> 'Wildfire'	Black Gum	10'-12' HT.	3"-3 1/2" CAL.	B&B	Strong, Central Leader
PK	11	<i>Pistacia chinensis</i> 'Keith Davey'	Keith Davey Chinese Pistache	8'-10'	2 1/2"	B&B	Full, Dense
PY	1	<i>Prunus x yedoensis</i>	Yoshino Cherry	10'-12'	3"-3 1/2" CAL.	CONTAINER	Strong, Central Leader
ZG	84	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Sawleaf Zelkova	8'-10'	2 1/2"	B&B	Full, Dense
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD		
AO	554	<i>Azalea encore</i> 'Autumn Royalty'™	Encore Azalea	24"-30" HT.			Full, Dense

SCALE: 1" = 30'



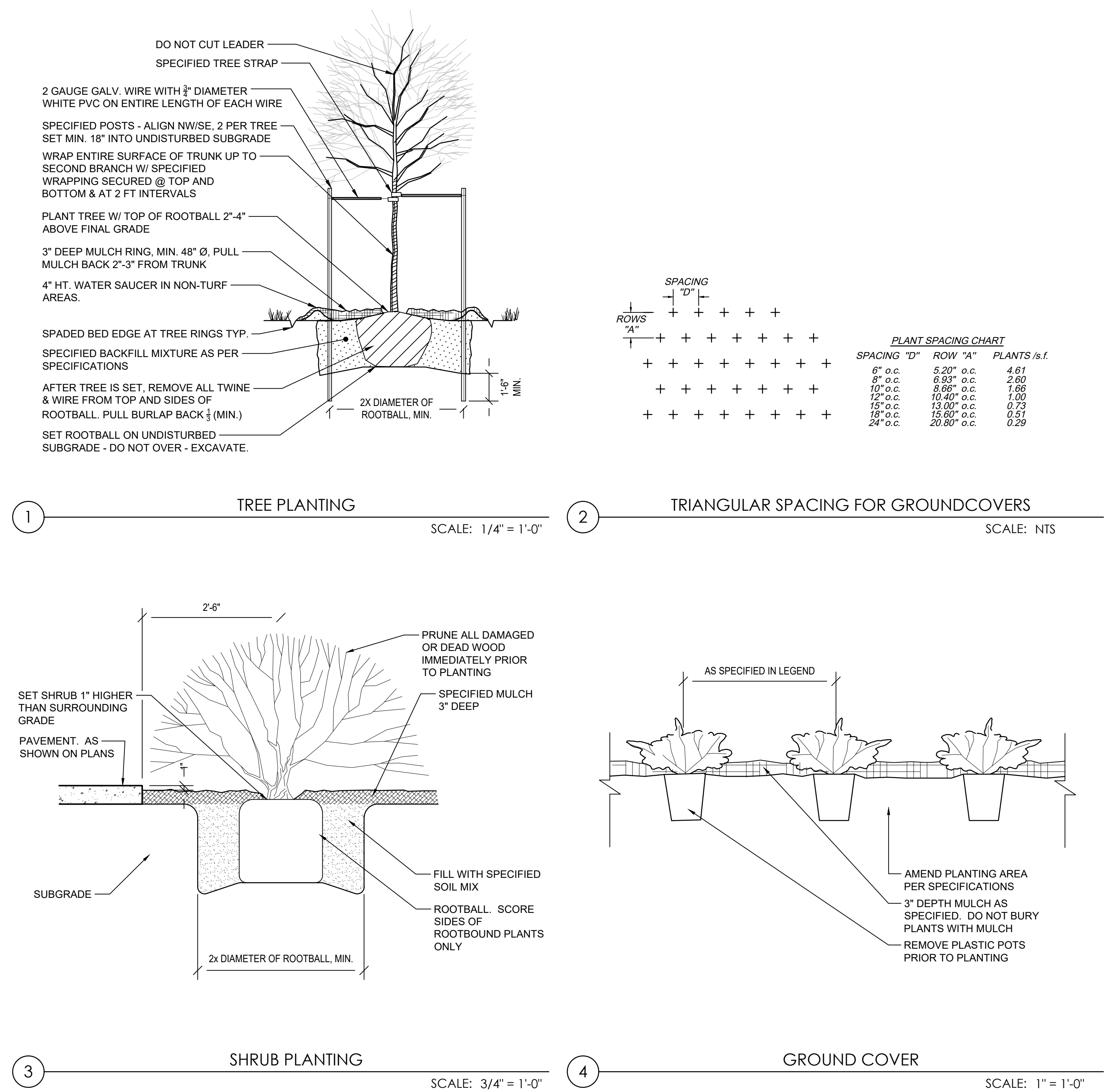
PLANTING NOTES

- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELIZED FLOWS AROUND THE SITE.
- CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES AND UNDERGROUND IMPEDIMENTS PRIOR TO BEGINNING PLANTING.
- ALL WEEDS, NON-NATIVE INVASIVE SPECIES, AND EXOTIC SPECIES LOCATED WITHIN THE PROJECT CONTRACTOR LIMITS SHALL BE ELIMINATED PRIOR TO PLANTING BED CREATION, PLANTING, AND SEEDING/SODDING OPERATIONS.
- PLANTING SHOULD OCCUR IMMEDIATELY AFTER CONSTRUCTION TO STABILIZE AREAS OF BARE SOIL.
- IT SHALL BE NOTED THAT ALL SECTIONS OF THE SITE THAT ARE SLOPED 3:1 OR HIGHER WILL BE COVERED WITH EROSION CONTROL STABILIZATION COIR FABRIC (WITH 1" SQUARE OPENINGS) PRIOR TO PLANTING TO ENSURE IMMEDIATE STABILIZATION. LANDSCAPE CONTRACTOR SHALL CUT FABRIC AT EACH PLANT LOCATION AND PLACE PLANTS ACCORDING TO PLAN. ALL FABRIC SHALL BE RE-STAKED PER ENGINEERS ORIGINAL DRAWINGS IMMEDIATELY AFTER PLANTING.
- PLANTS ARE TO BE PURCHASED BY SCIENTIFIC NAMES. THEY SHALL BE REPRESENTATIVE OF THEIR SPECIES, MEET ALL NOTED CONDITIONS OF SPECIFICATIONS, AND SHALL BE IN VIGOROUS GROWING CONDITION MEETING ANSI STANDARD Z60.
- LANDSCAPE ARCHITECT OR OWNER MAINTAINS RIGHT TO REJECT ANY PLANT DUE TO AESTHETICS OR STRUCTURAL DEFICIENCY AT ANY TIME.
- CONTRACTOR RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANTS SHOWN ON PLANS IN LOCATIONS SHOWN. QUANTITIES GIVEN ON THE PLANT LEGEND ARE FOR CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE PLANS SHALL OVERRULE THE PLANT LEGEND. CONTRACTOR SHALL LOCATE ALL PLANTS AWAY FROM KNOWN PERMANENT FIXTURES. IF CONFLICT ARISES WITH PLAN, CONTRACTOR SHALL NOTIFY PROJECT MANAGER OR DESIGNEE PRIOR TO PROCEEDING.
- ALL PLANT MATERIAL SHALL CONFORM TO OR EXCEED THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE FREE OF ALL PESTS, DISEASES, AND CANCKERS, IN HEALTHY CONDITION, AND FREE OF MECHANICAL DAMAGE AT THE TIME OF PLANTING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE A HEALTHY AND VIABLE PLANT AND THE PLANT SHALL BE REJECTED IF DEEMED UNHEALTHY OR UNFIT AT ANY TIME DURING THE CONTRACT OR WARRANTY DURATION.
- IF ANY PLANT/MATERIAL SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, THEN NOTICE SHALL BE GIVEN TO PROJECT MANAGER OR DESIGNEE AT MINIMUM SEVENTY-TWO (72) HOURS (NOT INCLUDING WEEKENDS) PRIOR TO DESIRED ORDERING DATE/TIME. WHEN SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, SUGGESTED ACCEPTABLE REPLACEMENTS SHALL ALSO BE PRESENTED AT TIME FOR FULL AND COMPLETE REVIEW BY LANDSCAPE ARCHITECT OR OWNER.
- BALLED AND BURLAPPED PLANTS/TREES TO BE PLANTED PRIOR TO CONTAINER OR BEDDING PLANTS.
- BALLED AND BURLAPPED MATERIAL SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - TREES DESIGNATED B&B SHALL BE PROPERLY DUG WITH FIRM, NATURAL BALLS OF SOIL RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE. IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
 - ROOT BALLS SHALL BE FIRMLY WRAPPED WITH NONSYNTHETIC, ROTTABLE BURLAP AND SECURED WITH NAILS AND HEAVY, NONSYNTHETIC TWINE.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL. OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE ALL BURLAP, LACING, AND WIRE BASKET FROM AT LEAST THE TOP 1/2 OF THE ROOTBALL AND DISCARD FROM PLANTING HOLE.
 - DO NOT MANEUVER BY TRUNK. HANDLE BY ROOT BALL ONLY.
- CONTAINERIZED PLANTS SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
 - MATERIAL SHALL HAVE FIRM, NATURAL BALLS OF SOIL RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE. IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
 - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL. OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
 - REMOVE CONTAINER PRIOR TO PLANTING.
- TREES TO BE STAKED WILL BE DESIGNATED BY THE LANDSCAPE ARCHITECT. TREE STAKING FOR CANOPY AND LARGE EVERGREEN TREES SHALL NOT EXCEED 90 DAYS.
- PLANT BED PREPARATION:

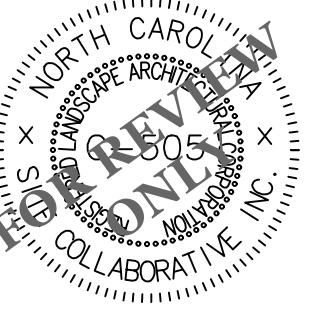
ALL PLANT BEDS ARE TO RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL TILLED IN TO A DEPTH OF 6" TO ENSURE INTEGRATION WITH EXISTING SOIL. APPROVED TOPSOIL IS TO BE PREFERABLY FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS. IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.
- ALL MULCH TO BE CERTIFIED TO BE FREE OF WEEDS, NON-NATIVE INVASIVE SPECIES AND THEIR LARVAE. MULCH SAMPLE SUBMITTAL SHALL BE PROVIDED TO LANDSCAPE ARCHITECT BEFORE SITE DELIVERY.
- SEED/SODDED BED PREPARATION: ALL AREAS TO BE SEEDDED/SODDED ARE TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL. SEEDING/SODDING NOTES FILLED INTO ALL DEBRIS, ROCKS, ETC. LARGER THAN 5" ARE TO BE REMOVED PRIOR TO SEEDING/SODDING OR PLANTING. A DEPTH OF 4" TO ENSURE INTEGRATION WITH EXISTING SOIL. APPROVED TOPSOIL IS TO BE PREFERABLY FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS. IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.

SEEDING/SODDING NOTES

- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELIZED FLOWS AROUND THE SITE.
- ALL SEEDDED/SODDED AREAS SHALL BE FINISHED GRADE AT THE THICKNESS OF THE SOD.
- NO SEEDDED/SODDED AREAS SHALL BE SODDED UNTIL ALL OTHER CONSTRUCTION ACTIVITIES, INCLUDING PLANTING AND MULCHING HAVE OCCURRED AND LANDSCAPE ARCHITECT HAVE REVIEWED THE FINAL GRADING.
- SOD AREAS WILL BE ACCEPTED WHEN IN COMPLIANCE WITH ALL THE FOLLOWING CONDITIONS:
 - ROOTS ARE THOROUGHLY KNIT TO THE SOIL
 - ABSENCE OF VISIBLE JOINTS
 - ALL AREAS SHOW A UNIFORM STAND OF SPECIFIED GRASS IN HEALTHY CONDITION
 - AT LEAST 30 DAYS HAVE ELAPSED SINCE THE COMPLETION OF WORK UNDER THIS SECTION.
- QUALITY GUARANTEE:
 - SOD SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND ROOD DENSITY, AND FREE FROM WEED, DISEASES, AND OTHER VISIBLE IMPERFECTIONS AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VANDALISM.
 - SEED SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND ROOD DENSITY, AND FREE FROM WEED, DISEASES, AND OTHER VISIBLE IMPERFECTIONS AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VANDALISM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SEED/SOD IS PROPERLY IRRIGATED DURING THE GROW-IN PERIOD AND SHALL BE RESPONSIBLE IF THE SOD SUFFERS IRREPARABLE HARM.
- SEED/SOD IS SUBJECT TO INSPECTION AND ACCEPTANCE. LANDSCAPE ARCHITECT AND/OR CLIENT RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO ACCEPTANCE, ANY WORK AND SOD WHICH IN THE LANDSCAPE ARCHITECTS OPINION FAILS TO MEET THESE SPECIFICATIONS REQUIREMENTS.
- SOD STANDARDS:
 - GENERAL: HEALTHY, THICK TURF HAVING UNDERGONE A PROGRAM OF REGULAR FERTILIZATION, MOWING AND WEED CONTROL; FREE OF OBJECTABLE WEEDS; UNIFORM IN GREEN COLOR, LEAF TEXTURE AND DENSITY; HEALTHY, VIGOROUS ROOT SYSTEM; INSPECTED AND FOUND FREE OF DISEASE, NEMATODES, PEST AND PEST LARVAE BY THE ENTOMOLOGIST OF THE STATE DEPARTMENT OF AGRICULTURE.
 - EACH PIECE OF SOD: SANDY-LOAM SOIL BASE THAT WILL NOT BREAK, CRUMBLE OR TEAR DURING SOD INSTALLATION.
 - THICKNESS: MINIMUM 3/4" THICK, EXCLUDING THE TOP GROWTH THATCH.
 - THATCH: NOT TO EXCEED 1/2" UNCOMPRESSED.
 - SIZE: CUT IN STRIPS 18" WIDE NO MORE THAN 24 HOURS PRIOR TO DELIVERY.
- SOD DELIVERY, STORAGE AND HANDLING GUIDELINES ARE AS FOLLOWS:
 - SOD SHALL BE DELIVERED ON PALLETS PROPERLY LOADED ON VEHICLES AND WITH ROOT SYSTEM PROTECTED FROM EXPOSURE TO SUN, WIND, AND HEAT IN ACCORDANCE WITH STANDARD PRACTICE AND LABELED WITH BOTANICAL AND COMMON NAME OF EACH GRASS SPECIES IN ACCORDANCE WITH FEDERAL SEED ACT. SOD THAT HAS BEEN DAMAGED BY POOR HANDLING OR IMPROPER STORAGE IS SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT OR OWNER.
 - PROTECT FROM DEHYDRATION, CONTAMINATION, FREEZING AND HEATING AT ALL TIMES. KEEP STORED SOD MOIST AND UNDER SHADE OR COVERED WITH MOISTENED BURLAP.
 - DO NOT DROP SOD ROLLS FROM CARTS, TRUCKS OR PALLETS.
 - DO NOT DELIVER MORE SOD THAN CAN BE INSTALLED WITHIN 36 HOURS.
 - DO NOT STACK SOD MORE THAN 2 FEET DEEP.



PLANT SCHEDULE							
TREES	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	CALIPER	B&B OR CONT.	REMARKS
CB	121	Cercis canadensis `The Rising Sun`	Rising Sun Redbud	6`-8`	1 1/2"-2" CAL.	CONTAINER	Strong, Central Leader
NW4	8	Nyssa sylvatica `Wildfire`	Black Gum	10`-12` HT.	3"-3 1/2" CAL.	B&B	Strong, Central Leader
PK	11	Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache	8`-10`	2 1/2"	B&B	Full, Dense
PY	1	Prunus x yedoensis	Yoshino Cherry	10`-12`	3"-3 1/2" CAL.	CONTAINER	Strong, Central Leader
ZG	84	Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	8`-10`	2 1/2"	B&B	Full, Dense
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD		
AO	554	Azalea encore 'Autumn Royalty' TM	Encore Azalea	24"-30" HT.			Full, Dense



REUSE OF DOCUMENT
This document is the property of Site Collaborative Inc. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of Site Collaborative Inc.

Bethel Moldovian Baptist Church
Bethel Moldovian Baptist Church
704 Old Knight Road, Knightdale, NC

PROJECT NUMBER:
20066
PROJECT PHASE:
Sketch Plan
DATE:
10.8.2021
REV 1: 12.15.2021
REV 2: 01.31.2022

SHEET TITLE
PLANTING
NOTES &
DETAILS

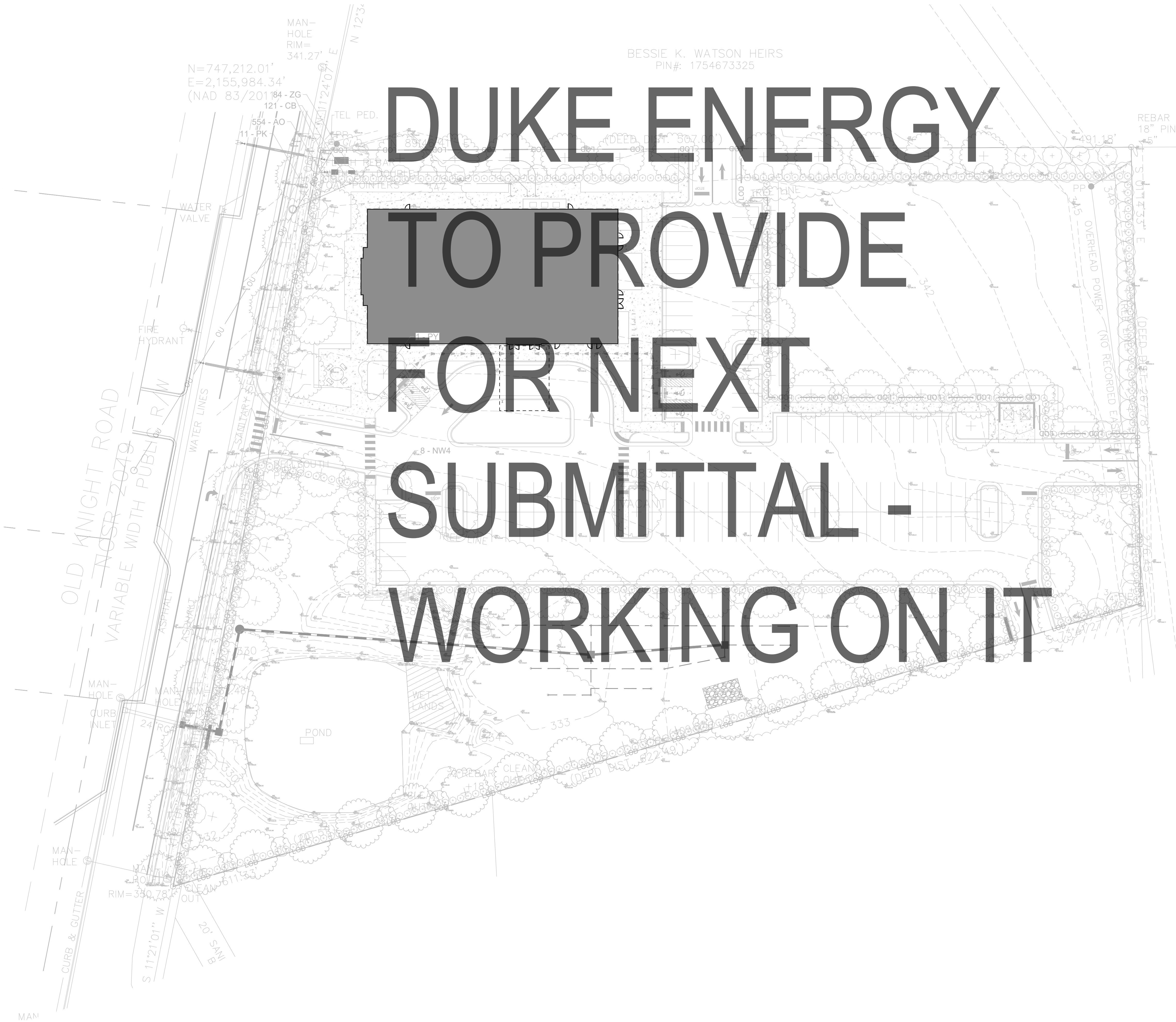
SHEET NUMBER:
L401

COMBINED FACTOR
0.99990709

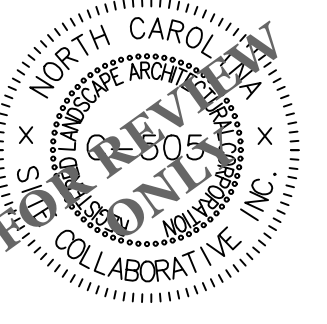
BESSIE K. WATSON HEIRS
PIN#: 1754673325

N=747,212.01'
E=2,155,984.34'
(NAD 83/2011 84-ZG
121-CB

DUKE ENERGY TO PROVIDE FOR NEXT SUBMITTAL - WORKING ON IT



C&P PROPERTY HOLDINGS, LLC
DB 15612, PG. 2415



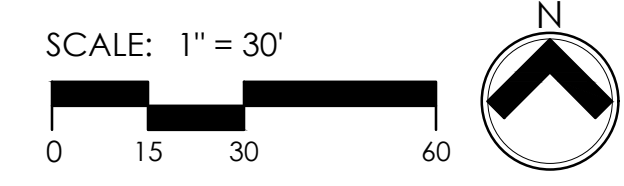
REUSE OF DOCUMENT
This document is the property of Site Collaborative Inc. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of Site Collaborative Inc.

Bethel Moldovian Baptist Church
Bethel Moldovian Baptist Church
704 Old Knight Road, Knightdale, NC

PROJECT NUMBER:
20066
PROJECT PHASE:
Sketch Plan
DATE:
10.8.2021
REV 1: 12.15.2021
REV 2: 01.31.2022

SHEET TITLE:
SITE LIGHTING
PLAN

SHEET NUMBER:



UTILITY NOTES

- REFER TO GENERAL NOTES.
- EXISTING UTILITIES IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE REMOVED OR RELOCATED.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL UTILITY SERVICES INCLUDING, BUT NOT LIMITED TO, ELECTRIC, GAS, AND COMMUNICATION WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF THE PROPOSED DOMESTIC WATER, FIRE SERVICE, AND SANITARY SEWER SERVICES WITH THE BUILDING DESIGN PLANS BY OTHERS.
- ALL CLEAN-OUTS OUTSIDE OF THE BUILDING LOCATED IN PAVEMENT AREAS (ASPHALT OR CONCRETE) SHALL BE CAPPED WITH A MINI-MANHOLE.
- SITE LIGHTING SHALL BE PROVIDED BY DUKE-PROGRESS ENERGY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL EFFORTS WITH DUKE ENERGY AND PROVIDING CONDUITS AS REQUIRED UNDER PAVED AREAS.
- THE CONTRACTOR SHALL PROVIDE THE APPROPRIATE ELECTRICAL SERVICES TO THE PROPOSED BACKFLOW PREVENTERS AND ASSOCIATED ENCLOSURES. REFER TO THE SITE ELECTRICAL DRAWINGS BY OTHERS FOR ADDITIONAL DETAILS.
- CONTRACTORS MUST COORDINATE ALL SITE UTILITY INSPECTIONS WITH CITY OF RALEIGH ENGINEERING INSPECTOR. THE CITY OF RALEIGH SHALL BE NOTIFIED BEFORE ANY WORK TAKES PLACE.
- THE CONTRACTOR IS NOT AUTHORIZED TO USE UNMETERED WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE CITY OF RALEIGH ENGINEERING DEPARTMENT FOR TEMPORARY METER AND SERVICE OPTIONS.
- THE CONTRACTOR SHALL ENSURE THAT THE BACKFLOW PREVENTION DEVICES ARE IN COMPLIANCE WITH NFPA 13. THE CONTRACTOR SHALL PROVIDE A MEANS OF TESTING THE BACKFLOW ASSEMBLIES PER NFPA13-2013, 8.17.4.6.

CITY OF RALEIGH STANDARD UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS, & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THE SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OR A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL SANITARY SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ AND USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD. INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET MERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. ALL WORK INSIDE THE NCDOT RIGHT-OF-WAY SHALL CONFORM WITH NCDOT STANDARDS AND SPECIFICATIONS.

REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.

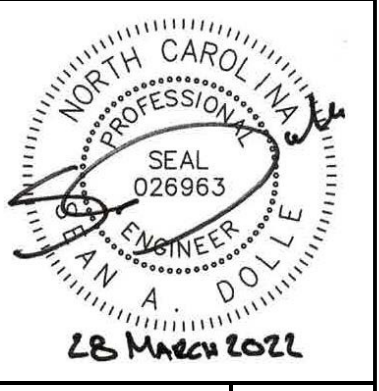
GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS. ALL WORK INSIDE OF THE NCDOT RIGHT-OF-WAY SHALL CONFORM WITH NCDOT STANDARDS AND SPECIFICATIONS.
- EXISTING BOUNDARY, TOPOGRAPHY, AND EXISTING CONDITIONS TAKEN FROM SURVEY PROVIDED BY BARRY L. SCOTT LAND SURVEYING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVES OF ANY DISCREPANCIES OR CONFLICTS.
- ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION, FIELD OBSERVATIONS, AND OTHER RECORD DRAWINGS WHICH MAY BE AVAILABLE. THESE DRAWINGS DO NOT NECESSARILY SHOW ALL EXISTING UTILITIES.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN AS-BUILT DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS WILL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS THROUGHOUT THE PROJECT FOR RECORD KEEPING AND AT THE CONCLUSION OF CONSTRUCTION.
- IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE FOR SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY INFRASTRUCTURE REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF ASSOCIATED WORK.
- THE CONTRACTOR IS NOT AUTHORIZED TO USE UNMETERED WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL CONTACT ONWASA FOR TEMPORARY METER AND SERVICE OPTIONS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

DRAINAGE NOTES

- REFER TO GENERAL NOTES.
- REFER TO GRADING PLAN BY SITE COLLABORATIVE FOR GRADING INFORMATION AND DETAILS. GRADING PROVIDED ON CIVIL SHEETS IS FOR REFERENCE ONLY.
- ALL CLEAN-OUTS OUTSIDE OF THE BUILDING LOCATED IN PAVEMENT AREAS (ASPHALT OR CONCRETE) SHALL BE CAPPED WITH A MINI-MANHOLE.

4909 Lees Road
Raleigh, NC 27606
919-438-3694 (o)
Firm License C-8898



BETHEL MOLDOVAN BAPTIST CHURCH
704 OLD KNIGHT ROAD, KNIGHTDALE, NC

PROJECT NOTES

ISSUE DATE	SUBMITTAL DESCRIPTION
03.28.2022	0 - INITIAL SUBMITTAL TO TOWN

PROJECT #
21102

SHEET #
C-001



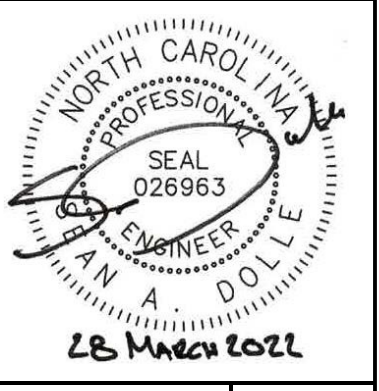
Know what's below.
Call before you dig.

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. ALL WORK INSIDE THE NCDOT RIGHT-OF-WAY SHALL CONFORM WITH NCDOT STANDARDS AND SPECIFICATIONS.

REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.

4909 Lees Road
Raleigh, NC 27606
919.438.3694 (O)
Firm License C-8898

grounded
ENGINEERING



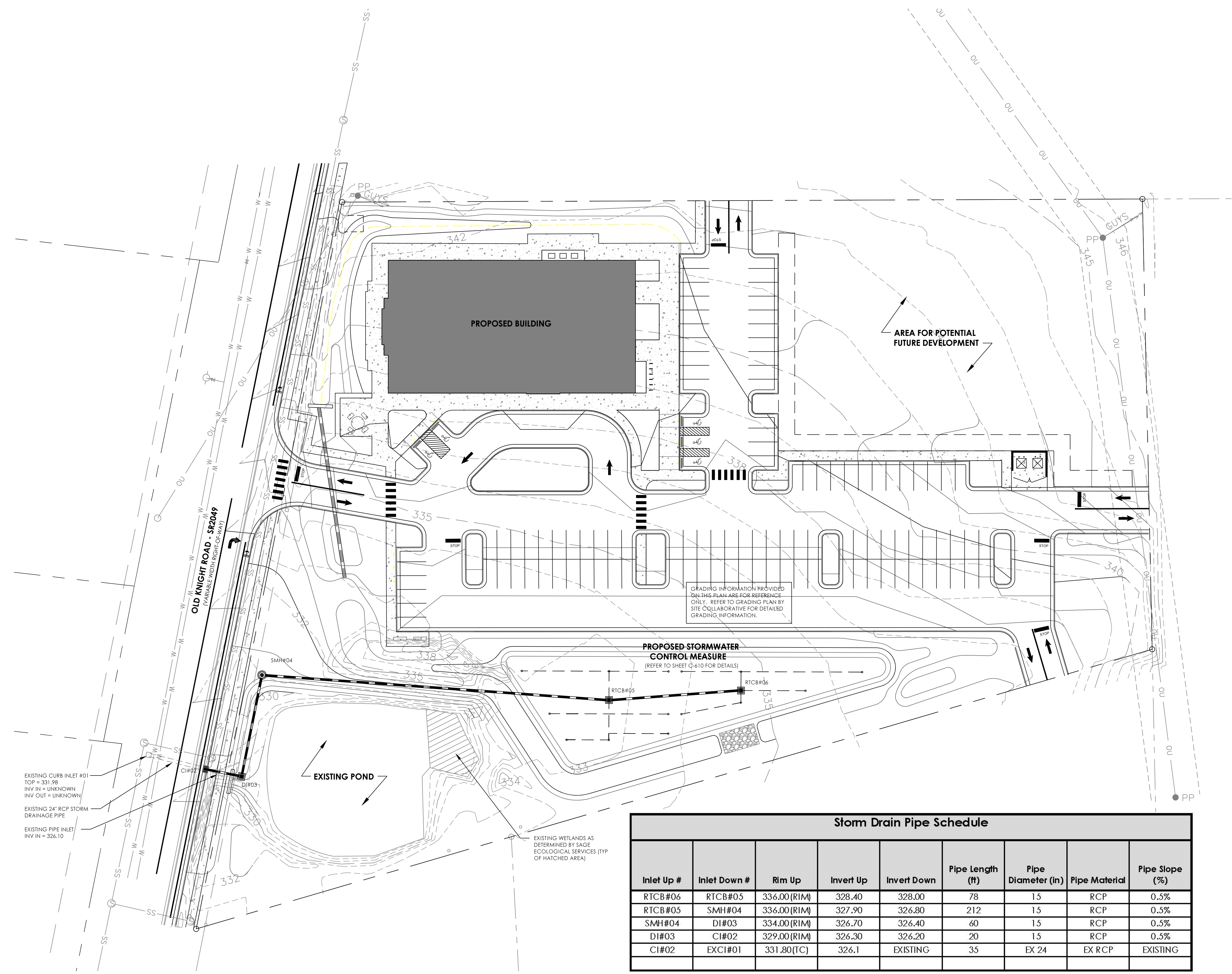
IMPERVIOUS AREA SUMMARY TABLE

THE FOLLOWING IS A SUMMARY OF IMPERVIOUS AREAS FOR ON-SITE IMPROVEMENTS.

EXISTING IMPERVIOUS AREA	0 SF
PROPOSED IMPERVIOUS AREA ASSOCIATED WITH THIS PROJECT PHASE	78,000 SF
ADDITIONAL PROPOSED IMPERVIOUS AREA ASSOCIATED WITH POSSIBLE FUTURE PHASE	23,400 SF

LEGEND

- XXX --- EXISTING CONTOUR (MAJOR)
- - - XXX - - - EXISTING CONTOUR (MINOR)
- W EXISTING WATERLINE
- SS EXISTING SANITARY SEWER
- - - - - EXISTING STORM DRAINAGE
- OU EXISTING OVERHEAD UTILITY LINE
- - - - - EXISTING PROPERTY LINE
- EPP EXISTING UTILITY POLE
- ELP EXISTING LIGHT POLE
- EX EXISTING FIRE HYDRANT
- S EXISTING SANITARY SEWER MH
- - - - - PROPOSED RCP STORM DRAIN PIPE
- PROPOSED DROP INLET
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE



Storm Drain Pipe Schedule

Inlet Up #	Inlet Down #	Rim Up	Invert Up	Invert Down	Pipe Length (ft)	Pipe Diameter (in)	Pipe Material	Pipe Slope (%)
RTCB#06	RTCB#05	336.00 (RIM)	328.40	328.00	78	15	RCP	0.5%
RTCB#05	SMH#04	336.00 (RIM)	327.90	326.80	212	15	RCP	0.5%
SMH#04	DI#03	334.00 (RIM)	326.70	326.40	60	15	RCP	0.5%
DI#03	CI#02	329.00 (RIM)	326.30	326.20	20	15	RCP	0.5%
CI#02	EXCI#01	331.80 (TC)	326.1	EXISTING	35	EX 24	EX RCP	EXISTING

DI = Drop Inlet
CI = Curb Inlet
SMH = Storm Manhole
RTCB = Raised Top Catch Basin
EXCB = Existing Catch Basin

TC = Top of Curb Elevation
RIM = Rim Elevation
RCP = Reinforced Concrete Pipe



BETHEL MOLDOVAN BAPTIST CHURCH
704 OLD KNIGHT ROAD, KNIGHTDALE, NC

STORM DRAINAGE PLAN

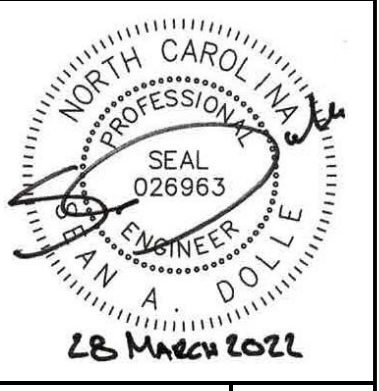
SUBMITTAL DESCRIPTION	
0 - INITIAL SUBMITTAL TO TOWN	
ISSUE DATE	03.28.2022
PROJECT #	21102
SHEET #	C-500

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. ALL WORK INSIDE THE NCDOT RIGHT-OF-WAY SHALL CONFORM WITH NCDOT STANDARDS AND SPECIFICATIONS.

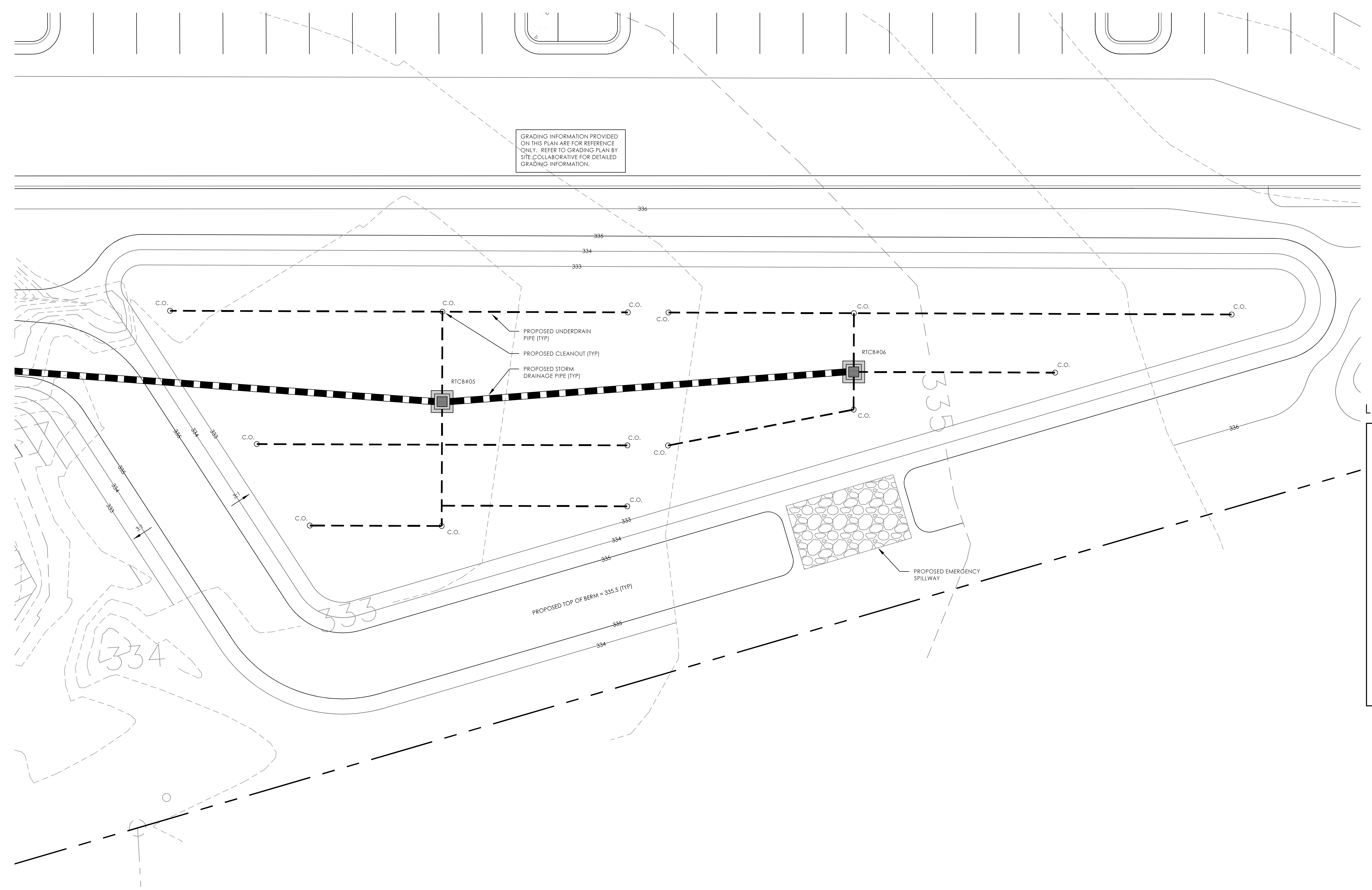
REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.

4909 Lees Road
Raleigh, NC 27606
919.438.3694 (o)
Firm License C-8898

grounded
ENGINEERING



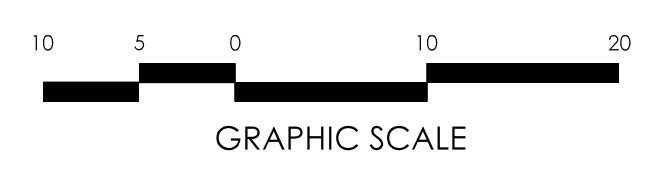
BETHEL MOLDOVAN BAPTIST CHURCH
704 OLD KNIGHT ROAD, KNIGHTDALE, NC
STORMWATER CONTROL MANAGEMENT PLAN



GRADING INFORMATION PROVIDED ON THIS PLAN ARE FOR REFERENCE ONLY. REFER TO GRADING PLAN BY SITE COLLABORATIVE FOR DETAILED GRADING INFORMATION.

LEGEND

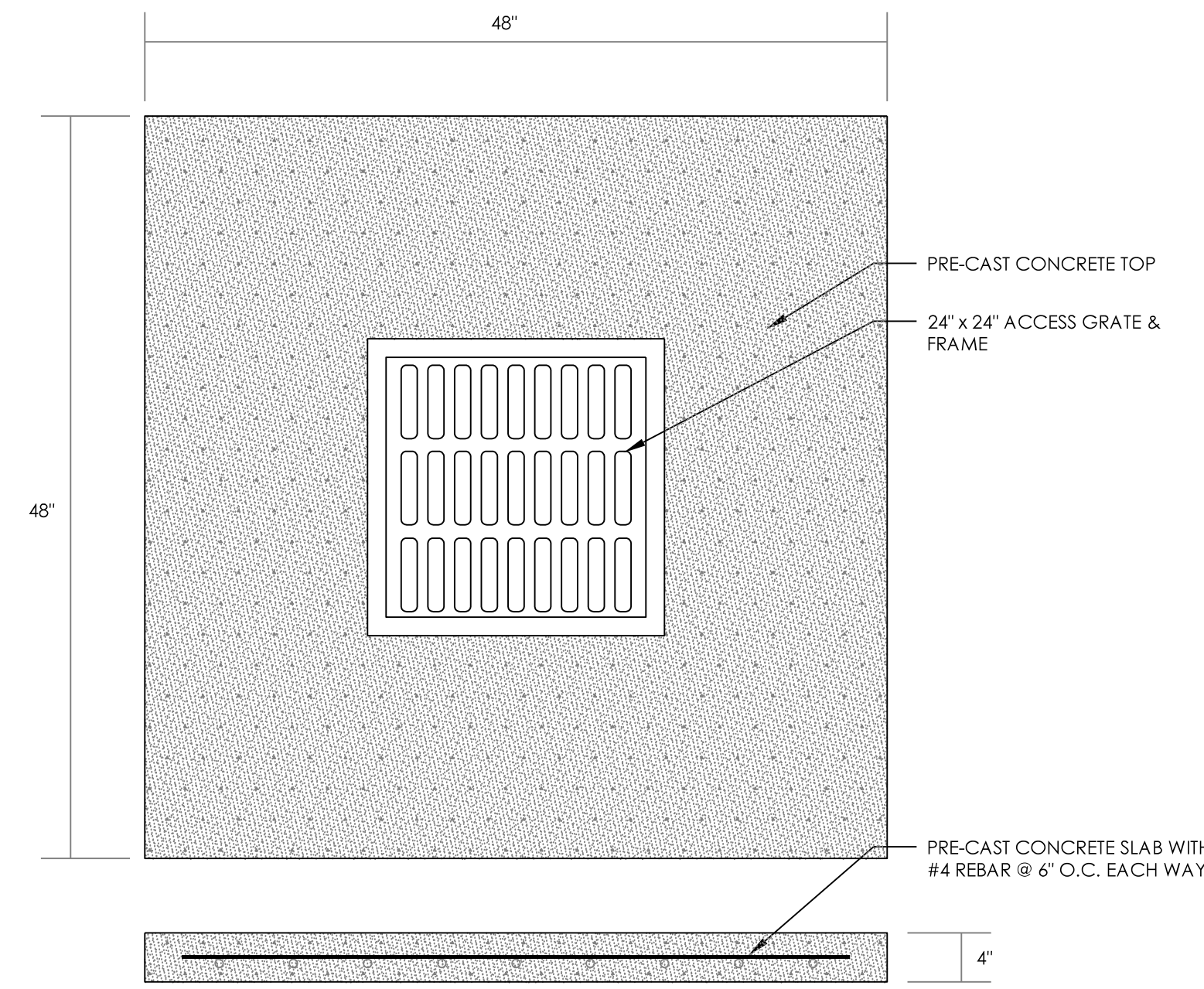
- XXX --- EXISTING CONTOUR (MAJOR)
- - - XXX - - - EXISTING CONTOUR (MINOR)
- W EXISTING WATERLINE
- SS EXISTING SANITARY SEWER
- --- EXISTING STORM DRAINAGE
- OU EXISTING OVERHEAD UTILITY LINE
- - - - - EXISTING PROPERTY LINE
- EPP EXISTING UTILITY POLE
- ELP EXISTING LIGHT POLE
- EXISTING FIRE HYDRANT
- S EXISTING SANITARY SEWER MH
- - - - - PROPOSED RCP STORM DRAIN PIPE
- PROPOSED DROP INLET
- PROPOSED CATCH BASIN
- PROPOSED STORM MANHOLE



ISSUE DATE	03.28.2022
PROJECT #	21102
SHEET #	C-600
SUBMITAL DESCRIPTION	0 - INITIAL SUBMITAL TO TOWN

BIORETENTION CONSTRUCTION SEQUENCE

1. UNDER NO CIRCUMSTANCES SHALL THE SKIMMER BASIN BE REMOVED AND CONVERTED TO THE BIORETENTION DEVICE PRIOR TO COMPLETION OF CONSTRUCTION AND STABILIZATION OF ALL AREAS WHICH DRAIN TO IT.
2. IF THE BIORETENTION DEVICE IS TO BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION, ROUGH GRADE PER PLANS, FILL PLACEMENT AND OUTLET STRUCTURE CONSTRUCTION SHALL BE IN COMPLIANCE WITH DETAILS AND BIORETENTION CONSTRUCTION NOTES HEREON. IF THE BIORETENTION DEVICE HAS BEEN PREVIOUSLY ROUGH GRADED AND/OR USED AS A SEDIMENT BASIN, REMOVE AND DISPOSE OF SEDIMENT DEPOSITS WITHIN THE BASIN AREA.
3. ROUGH GRADE BIORETENTION DEVICE AS NECESSARY AFTER SEDIMENT REMOVAL AND TO FINALIZE SCM GRADES. ALL FILL PLACEMENT SHALL BE IN COMPLIANCE WITH THE SPECIFICATION IN THE CONSTRUCTION NOTES ON THIS SHEET.
4. INSTALL CHOKING FABRIC. THE CHOKING FABRIC SHALL EXTEND VERTICALLY ALONG ALL EDGES OF THE SCM AS SHOWN ON THE APPROVED PLANS.
5. BEGIN INSTALLATION OF STONE BASE AND UNDERDRAIN PIPES PER APPROVED PLANS.
6. VERIFY TOP OF STONE ELEVATION MATCHES APPROVED PLANS.
7. INSTALL CHOKING SAND PER APPROVED PLANS.
8. VERIFY TOP OF CHOKING STONE MATCHES APPROVED PLANS.
9. INSTALL WASHED SAND PER APPROVED PLANS.
10. VERIFY TOP OF WASHED SAND MATCHES APPROVED PLANS.
11. INSTALL FILL MEDIA PER APPROVED PLANS. THE FILL MEDIA SHALL BE PLACED IN 8" LIFTS THAT ARE WALKED ON OR WATERED TO CONSOLIDATE AND ALLOW SHAPING OF THE MEDIA'S SURFACE. THE MEDIA SHALL NOT BE MECHANICALLY COMPACTED.
12. VERIFY TOP OF FILL MEDIA MATCHES APPROVED PLANS. FINAL GRADING TOLERANCE FOR THE DEVICE SHALL BE +/- 0.10 FEET FROM GRADES SHOWN ON THIS PLAN.
13. WHEN THE FINE GRADING AND OUTLET STRUCTURE ARE COMPLETE, THE CONTRACTOR SHALL HAVE THEIR SURVEYOR ASBUILT THE DEVICE INCLUDING A DETAILED TOPOGRAPHIC SURVEY. THE CONTRACTOR SHALL PROVIDE THE ASBUILT SURVEY INFORMATION TO THE PROJECT ENGINEER FOR REVIEW AND EVALUATION.
14. IF THE ENGINEER DETERMINES THAT GRADING IS NOT IN COMPLIANCE WITH THESE DRAWINGS, THE CONTRACTOR SHALL MAKE CORRECTIONS AS REQUIRED BY THE ENGINEER AND REPEAT PREVIOUS STEP. OTHERWISE, PROCEED TO NEXT STEP.
15. UPON NOTIFICATION FROM THE ENGINEER THAT THE BIORETENTION DEVICE IS IN COMPLIANCE WITH THESE DRAWINGS, INSTALL SOD FOR THE BIORETENTION DEVICE PER APPROVED PLANS.
16. THE CONTRACTOR SHALL HAVE THEIR SURVEYOR COMPLETE A FINAL ASBUILT OF THE DEVICE AND PROVIDE A SIGNED/SEALED SURVEY TO THE ENGINEER FOR USE IN ANY REQUIRE CERTIFICATION.
17. CALL NCDEQ AND THE TOWN STORMWATER INSPECTOR FOR APPROVAL OF STABILIZATION. A FINAL STORMWATER MANAGEMENT INSPECTION MUST BE SCHEDULED AT LEAST 10 DAYS IN ADVANCE OF REQUESTING THE CERTIFICATE OF OCCUPANCY.
18. CONTRACTOR SHALL WATER NEW SOD PLANTED UNTIL COMPLETION OF ALL OTHER SITE RELATED CONSTRUCTION. AFTER THE WORK IS COMPLETED, THE CONTRACTOR SHALL CONTINUE TO WATER AND MAINTAIN THE PLANT MATERIALS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.



PRECAST CONCRETE SLAB TOP DETAIL
N.T.S.

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. ALL WORK INSIDE THE NCDOT RIGHT-OF-WAY SHALL CONFORM WITH NCDOT STANDARDS AND SPECIFICATIONS.

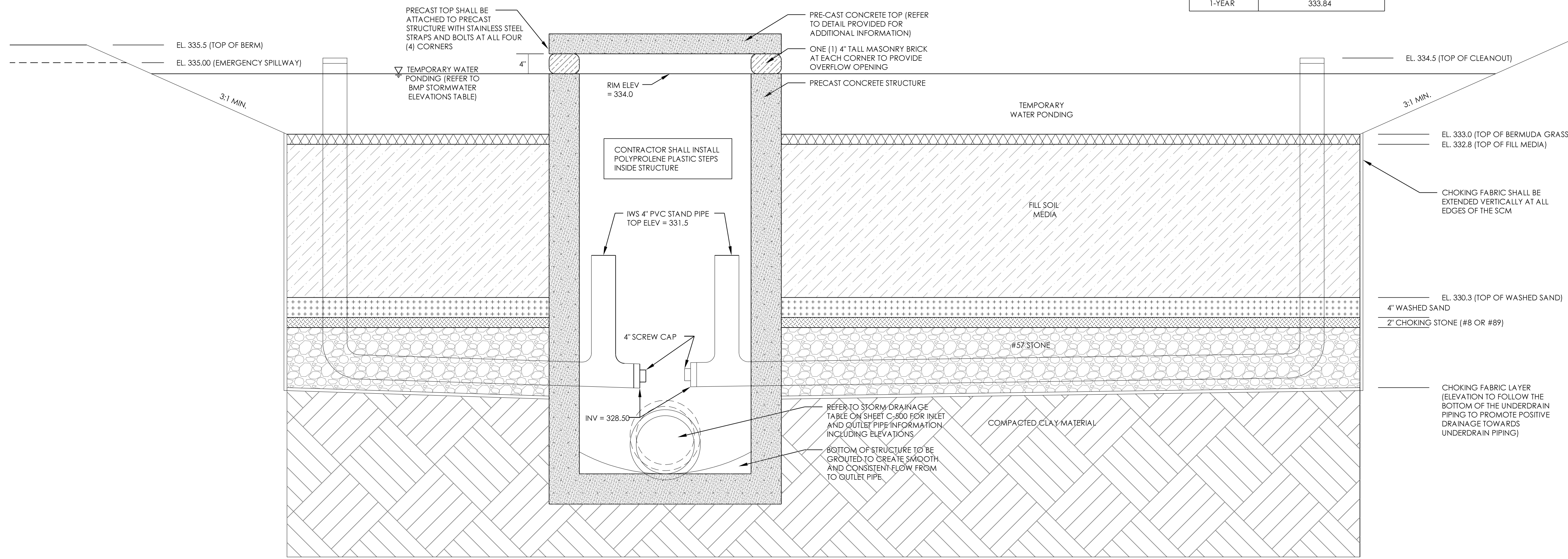
REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.

NOTES:

1. THE OVERFLOW STRUCTURE SHALL BE PRE-CAST CONCRETE. NO BLOCK OR BRICK IS ALLOWED EXCEPT AS SHOWN ON THE DETAIL.
2. ALL CONCRETE SHALL HAVE A MINIMUM 28-DAY STRENGTH OF 3,000 PSI.
3. REFER TO SITE GRADING PLAN FOR DETAILED GRADING INFORMATION.
4. THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO CONVERTING THE MEASURE TO THE THE STORMWATER MANAGEMENT DEVICE.
5. PRIOR TO CONSTRUCTION OF THE BIO-RETENTION DEVICE, ALL AREAS DRAINING TO THE SCM SHALL BE STABILIZED TO PREVENT THE INTRODUCTION OF SILT, SEDIMENT, AND OTHER POLLUTANTS INTO THE SCM MEDIA MIX.
6. ALL SURFACE AREAS INSIDE THE BIO-RETENTION SCM BOUNDARY SHALL BE SODDED. THE SOD MUST NOT BE GROWN IN SOIL WITH AN IMPERMEABLE (CLAY) LAYER. THE SOD SHALL BE A NON-CLUMPING GRASS SUCH: EITHER BURMUDDA OR CENTIPEDE (NOT FESCUE).
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SOIL MIX CERTIFICATION FOR THE BIO-RETENTION FILTER MEDIA MIX. THE CERTIFICATION SHALL BE WRITTEN BY A LICENSED SOIL SCIENTIST.
8. THE SOIL MIX SHALL HAVE A LOW P-INDEX (BETWEEN 10 AND 30). THE CONTRACTOR SHALL PROVIDE EVIDENCE THAT THE SOIL MIX MEETS THIS CRITERIA.
9. THE SCM FILTER MEDIA SHALL NOT BE MECHANICALLY COMPACTED.

SCM STORMWATER ELEVATION TABLE

STORM EVENT	CALCULATED PEAK ELEVATION
1-YEAR	333.84



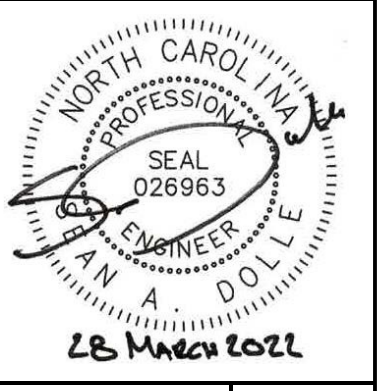
BIO-RETENTION CROSS SECTION DETAIL
N.T.S.

- CLEANOUT NOTES:**
1. ALL CLEANOUT PIPING SHALL BE CONSTRUCTED OF 4" SCHEDULE 40 OR SDR 35 SMOOTH WALL PVC PIPE.
 2. CONTRACTOR SHALL PROVIDE CONCRETE "DONUT" RINGS AROUND EACH OF THE CLEANOUTS IN THE SCM.
- LANDSCAPE NOTE:**
- REFER TO LANDSCAPE PLAN BY OTHERS FOR LANDSCAPE PLANTING REQUIREMENTS FOR BIO-RETENTION DEVICE
- FILL SOIL MEDIA MIX:**
- 75% - 85% MEDIUM TO COARSE WASHED SAND (ASTM C33, AASHTO M 6/M 80, ASTM C330, AASHTO M195, OR THE EQUIVALENT)
 8% - 10% FINES (SILT AND CLAY)
 5% - 10% ORGANIC MATTER (SUCH AS PINE BARK FINES)
- FILL SOIL MEDIA NOTE:**
- MEDIA PERMEABILITY OF 1-6 IN/HR IS REQUIRED. 1-2 IN/HR IS PREFERRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A PERMEABILITY RATE TEST AFTER INSTALLATION. RESULTS OF TESTING SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVES FOR INCLUSION IN THE AS-BUILT PACKAGE. THE PHOSPHORUS INDEX (P-INDEX) FOR THE SOIL MEDIA SHALL BE BETWEEN 10 AND 30.
- #57 STONE NOTE:**
- THE UNDERDRAIN PIPES SHALL HAVE A MINIMUM OF 3 INCHES OF WASHED #57 STONE ABOVE AND ON EACH SIDE OF THE PIPE (STONE IS NOT REQUIRED BELOW THE PIPE)
- UNDERDRAIN PIPE NOTES:**
1. ALL UNDERDRAIN PIPING SHALL HAVE A MINIMUM SLOPE OF 1.0 PERCENT AND SHALL BE CONSTRUCTED OF 4" SCHEDULE 40 OR SDR 35 SMOOTH WALL PVC PIPE.
 2. ALL UNDERDRAIN PIPES SHALL BE PERFORATED WITH A MINIMUM OF 4 ROWS OF PERFORATIONS AND THE PERFORATIONS SHALL BE PLACED 6 INCHES ON CENTER WITHIN EACH ROW FOR THE ENTIRE LENGTH OF THE DRAINAGE LATERAL. PERFORATIONS SHALL BE 3/8-INCH IN DIAMETER. PIPE SOCKS ARE NOT ALLOWED.
- CHOKING FABRIC NOTES:**
1. THE CHOKING FABRIC SHALL BE AN IMPERMEABLE FABRIC AND SHALL BE INSTALLED ALONG THE BOTTOM OF THE SCM AND VERTICALLY AT ALL EDGES OF THE SCM.



4909 Lees Road
Raleigh, NC 27606
919-438-3694 (O)
Firm License C-8898

grounded
ENGINEERING



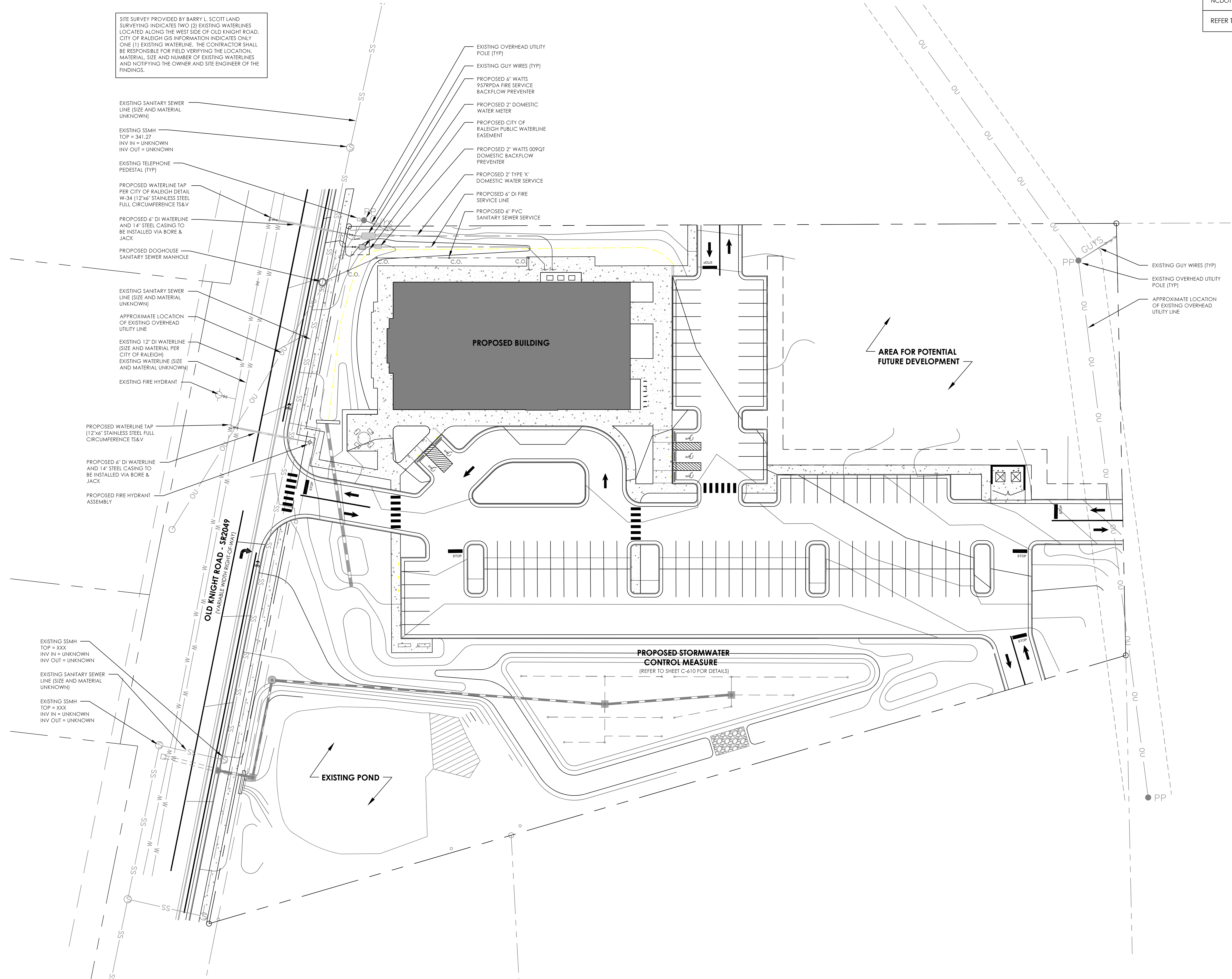
BETHEL MOLDOVAN BAPTIST CHURCH
704 OLD KNIGHT ROAD, KNIGHTDALE, NC
STORMWATER CONTROL MEASURE DETAILS

ISSUE DATE	03.28.2022
SUBMITTAL DESCRIPTION	0 - INITIAL SUBMITTAL TO TOWN
PROJECT #	21102
SHEET #	C-610

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM WITH TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL CONFORM WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS. ALL WORK INSIDE THE NCDOT RIGHT-OF-WAY SHALL CONFORM WITH NCDOT STANDARDS AND SPECIFICATIONS.

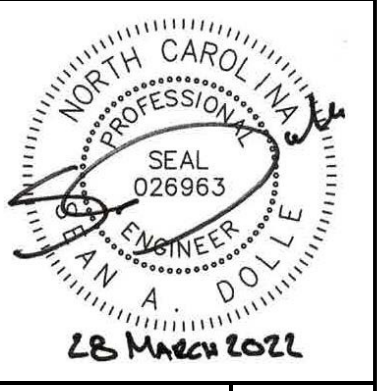
REFER TO SHEET C-001 FOR PROJECT AND SHEET RELATED NOTES.

SITE SURVEY PROVIDED BY BARRY L. SCOTT LAND SURVEYING INDICATES TWO (2) EXISTING WATERLINES LOCATED ALONG THE WEST SIDE OF OLD KNIGHT ROAD. CITY OF RALEIGH GIS INFORMATION INDICATES ONLY ONE (1) EXISTING WATERLINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, MATERIAL, SIZE AND NUMBER OF EXISTING WATERLINES AND NOTIFYING THE OWNER AND SITE ENGINEER OF THE FINDINGS.



4909 Lees Road
Raleigh, NC 27606
919-438-3694 (O)
Firm License C-8898

grounded
ENGINEERING



BETHEL MOLDOVAN BAPTIST CHURCH
704 OLD KNIGHT ROAD, KNIGHTDALE, NC

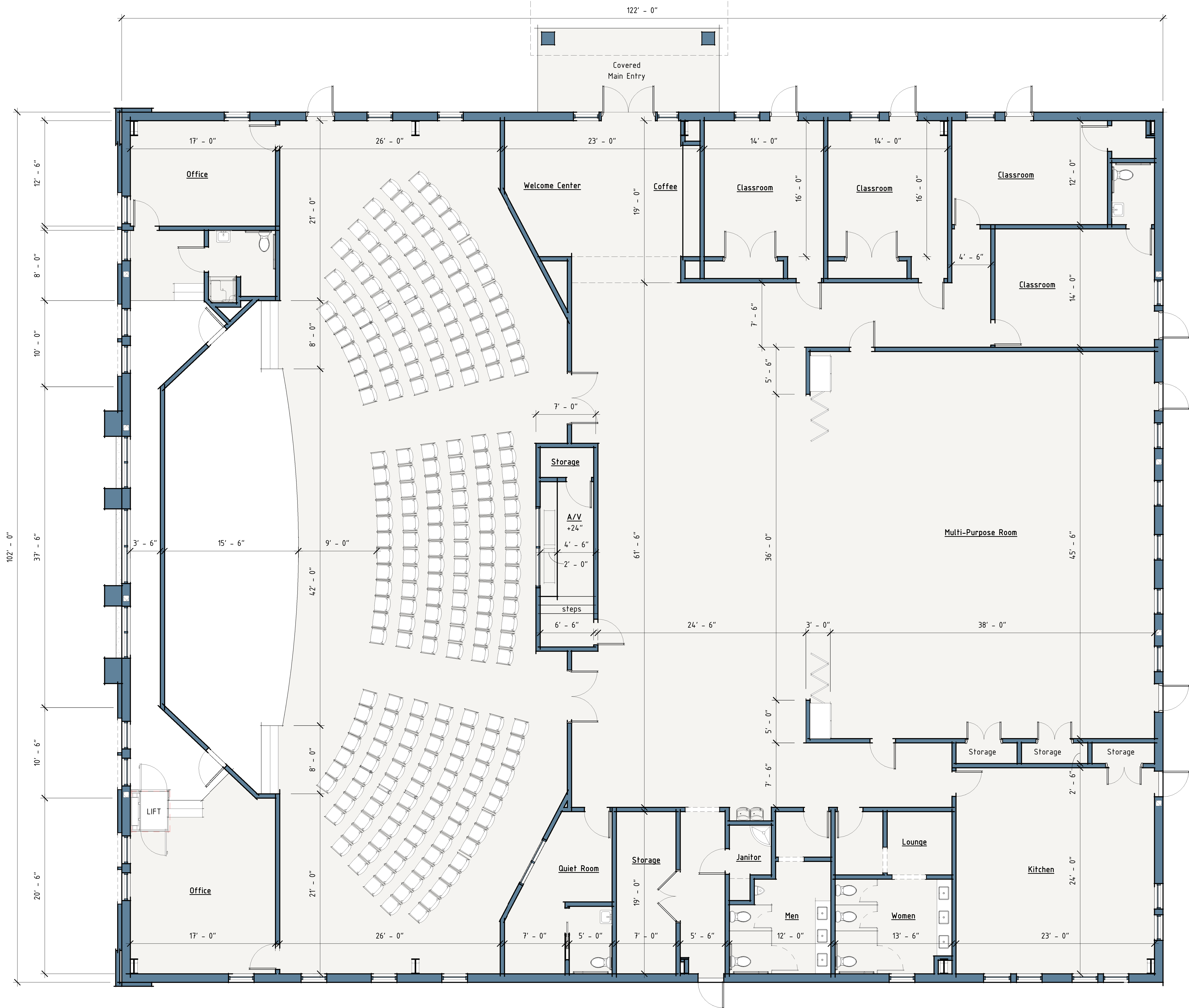
SITE UTILITY PLAN

LEGEND

— W —	EXISTING WATERLINE
— SS —	EXISTING SANITARY SEWER
---	EXISTING STORM DRAINAGE
— OU —	EXISTING OVERHEAD UTILITY LINE
- - - - -	EXISTING PROPERTY LINE
○ EPP	EXISTING UTILITY POLE
○ ELP	EXISTING LIGHT POLE
○	EXISTING FIRE HYDRANT
○ S	EXISTING SANITARY SEWER MH
— T —	PROPOSED WATERLINE TEE
— B —	PROPOSED WATERLINE BEND
— V —	PROPOSED GATE VALVE
— FH —	PROPOSED FIRE HYDRANT



ISSUE DATE	03.28.2022
PROJECT #	21102
SHEET #	C-700
SUBMITTAL DESCRIPTION	0 - INITIAL SUBMITTAL TO TOWN



New Building

Moldovan Baptist Church

704 Old Knight Road
Knightdale, NC

DATE	01/22/21
DR.	mm
CH.	mm
PROJ. #	20...

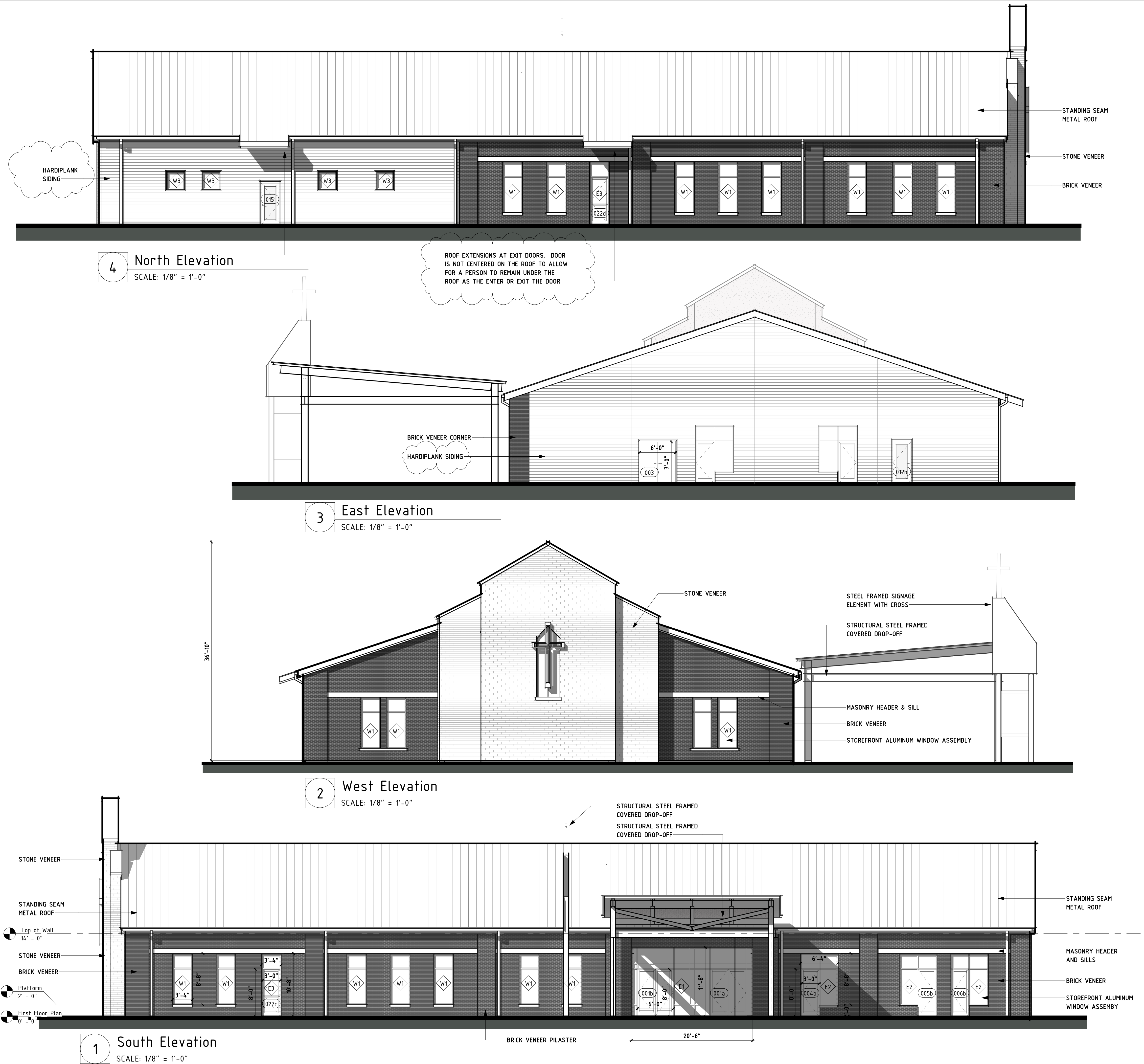
Revised
Schematic Floor
Plan

A101

DATE	10/05/21
DR.	Author
CH.	Checker
PROJ. #	21

REV 1: TOWN COMMENTS
12/08/21

REV 2: TOWN COMMENTS
1/28/22



4 North Elevation
SCALE: 1/8" = 1'-0"

3 East Elevation
SCALE: 1/8" = 1'-0"

2 West Elevation
SCALE: 1/8" = 1'-0"

1 South Elevation
SCALE: 1/8" = 1'-0"