

# MAILMAN POST MASTER PLAN

TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA  
ZMA-10-22  
ST. MATTHEW'S TOWNSHIP

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**RALEIGH OFFICE**  
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TEL 919-866-4951 FAX 919-866-4951 www.timmons.com

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08/01/2022  
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331  
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E. ANGE  
CHECKED BY  
B. BLACKMON  
SCALE  
NTS

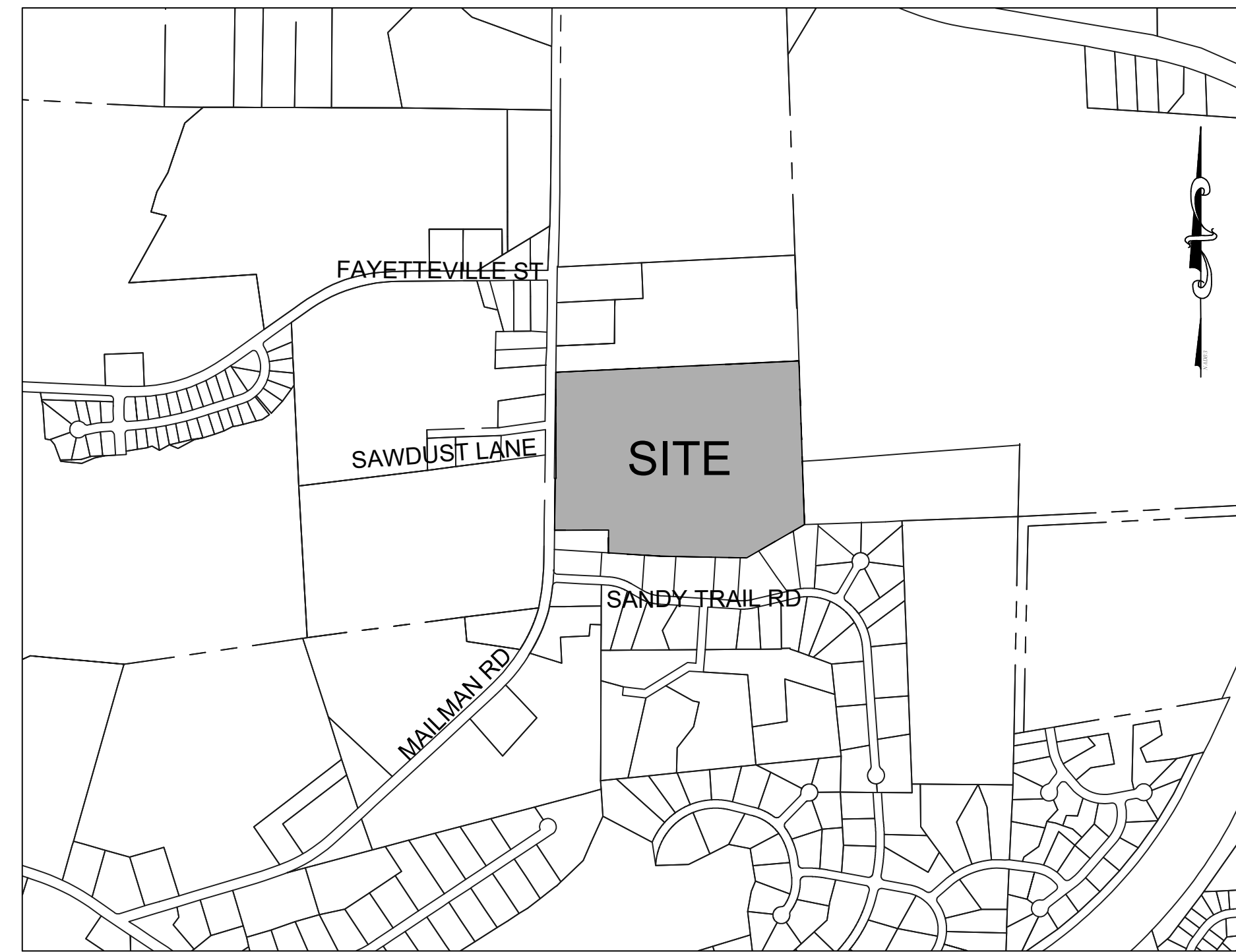
**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
MAILMAN POST  
MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA  
COVER SHEET

JOB NO.  
49750  
SHEET NO.  
C0.0

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## SITE DATA

|                             |   |  |
|-----------------------------|---|--|
| PROJECT:                    | MAILMAN POST  |  |
| ENGINEER:                   | TIMMONS GROUP<br>5410 TRINITY ROAD, SUITE 102<br>RALEIGH, NC 27607<br>PHONE: 919-866-4509<br>FAX: 919-859-5663<br>BETH BLACKMON, PE<br>EMAIL: BETH.BLACKMON@TIMMONS.COM |  |
| DEVELOPER:                  | EF ONE, LLC<br>CRAIG DUERR<br>6801 WINDING RIDGE RD<br>ZEBULON, NC 17579<br>PHONE: 919-601-6962<br>EMAIL: LANDALTERNATIVESNC@GMAIL.COM                                  |  |
| PROPERTY LOCATION:          | 417 MAILMAN ROAD<br>KNIGHTDALE, NC 27545  |  |
| PIN:                        | 1763-08-8851, 1763-08-3716, 1763-09-5280,<br>1763-09-5560, 1753-98-9828, 1753-98-9764   |  |
| EXISTING ZONING:            | RT & GR8  |  |
| PROPOSED ZONING:            | GR8 PUD   |  |
| TOWNSHIP:                   | ST. MATTHEWS  |  |
| PROPOSED USE:               | SINGLE FAMILY RESIDENTIAL   |  |
| TOTAL DEVELOPED TRACT AREA: | 35.85 ACRES   |  |
| AVERAGE LOT SIZES:          | 7,408 SF (FRONT LOADED LOTS)<br>3,305 SF (ALLEY LOADED LOTS)  |  |
| TOTAL PROPOSED UNITS:       | 154 SINGLE FAMILY<br>42 FRONT LOADED + 112 REAR LOADED  |  |
| PROPOSED DENSITY:           | 4.30 DU/A   |  |
| TOTAL OPEN SPACE:           | 9.99 ACRES (4.87 PASSIVE + 2.71 ACTIVE + 2.41 COMMON)   |  |
| TOTAL ON STREET PARKING:    | 48 SPACES   |  |
| CONNECTIVITY INDEX:         | 1.59  |  |
| TREE SAVE:                  | 106,695 SF  |  |
| SETBACKS:                   | FRONT LOAD<br>FRONT: 10'<br>DRIVEWAY LENGTH: 25'<br>REAR: 20'<br>SIDE: 5'   | REAR LOAD<br>FRONT: 10'<br>REAR: 20'<br>DRIVEWAY LENGTH: 20'<br>SIDE: 3' |



VICINITY MAP

**Sheet List Table**

| Sheet Number | Sheet Title                            |
|--------------|--|
| C0.0         | COVER SHEET                            |
| C1.0         | EXISTING CONDITIONS                    |
| C2.0         | PRELIMINARY SITE PLAN                  |
| C2.1         | OPEN SPACE PLAN                        |
| C3.0         | PRELIMINARY UTILITY PLAN               |
| C3.1         | OFF SITE PRELIMINARY UTILITIES         |
| C4.0         | PRELIMINARY STORMWATER MANAGEMENT PLAN |
| C5.0         | PRELIMINARY LIGHTING PLAN              |
| C6.0         | LANDSCAPE PLAN                         |
| C7.0         | SIGNS AND MARKINGS PLAN                |

## OWNERS OF RECORD

GIOVANNI MORTARINO TRUSTEE  
2830 CHARLEMAGNE DR  
VIRGINIA BEACH, VA 23451

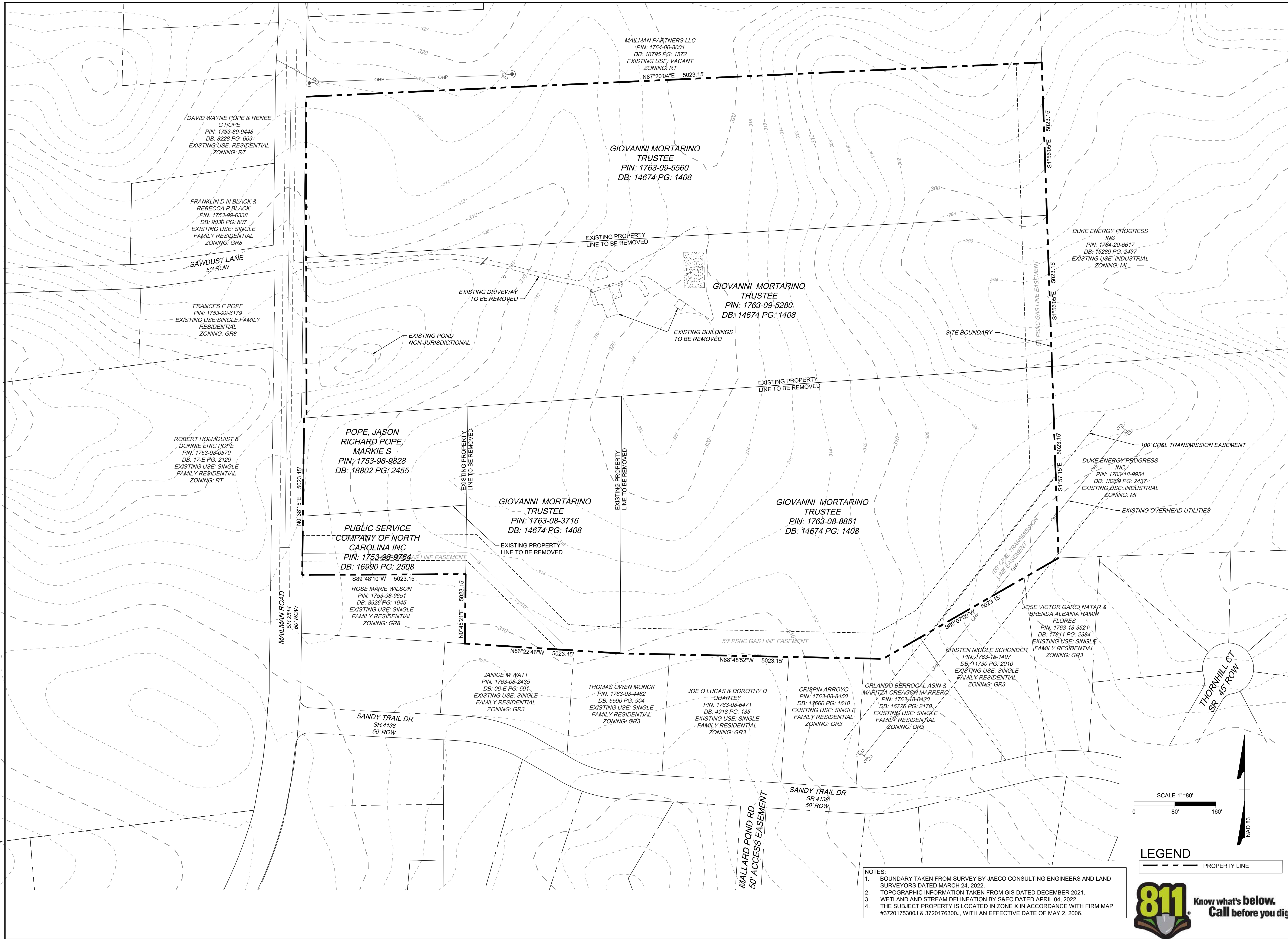
POPE, JASON RICHARD POPE, MARKIE S  
417 MAILMAN RD  
KNIGHTDALE, NC 27545

PUBLIC SERVICE COMPANY OF NORTH CAROLINA  
INC. SCANA LAND DEPT  
220 OPERATION WAY  
CAYCE, SC 29003

CONSTRUCTION DRAWING APPROVAL  
REQUIRED FOR DEVELOPMENT



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SCALE  
1" = 80'

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

**MAILMAN POST**  
MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

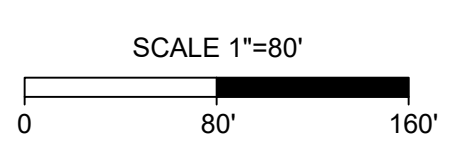
**EXISTING CONDITIONS**

JOB NO.  
49750

SHEET NO.  
C1.0

**NOTES:**

- BOUNDARY TAKEN FROM SURVEY BY JAECO CONSULTING ENGINEERS AND LAND SURVEYORS DATED MARCH 24, 2022.
- TOPOGRAPHIC INFORMATION TAKEN FROM GIS DATED DECEMBER 2021.
- WETLAND AND STREAM DELINEATION BY S&EC DATED APRIL 04, 2022.
- THE SUBJECT PROPERTY IS LOCATED IN ZONE X IN ACCORDANCE WITH FIRM MAP #3720175300J & 3720176300J, WITH AN EFFECTIVE DATE OF MAY 2, 2006.



**LEGEND**

--- PROPERTY LINE



DAVID WAYNE POPE & RENEE G POPE  
 PIN: 1753-99-9448  
 DB: 8228 PG: 609  
 EXISTING USE: RESIDENTIAL  
 ZONING: RT

FRANKLIN D III BLACK & REBECCA P BLACK  
 PIN: 1753-99-6338  
 DB: 9030 PG: 807  
 EXISTING USE: SINGLE FAMILY RESIDENTIAL  
 ZONING: GR8

FRANCES E POPE  
 PIN: 1753-99-6179  
 EXISTING USE: SINGLE FAMILY RESIDENTIAL  
 ZONING: GR8

ROBERT HOLMQUIST & DONNIE ERIC POPE  
 PIN: 1753-98-0579  
 DB: 17-E PG: 2129  
 EXISTING USE: SINGLE FAMILY RESIDENTIAL  
 ZONING: RT

ROSE MARIE WILSON  
 PIN: 1753-98-9651  
 DB: 8926 PG: 1945  
 EXISTING USE: SINGLE FAMILY RESIDENTIAL  
 ZONING: GR8

JANICE M WATT  
 PIN: 1763-08-2435  
 DB: 06-E PG: 591

THOMAS OWEN MONCK  
 JOE O LUCAS & DOROTHY D  
 CRISPIN ARROYO  
 ORLANDO BERROCAL ASIN & MADRITA BERROCAL MADRERO

KRISTEN NICOLE SCHONDER  
 PIN: 1763-18-1497  
 DB: 11730 PG: 2010  
 EXISTING USE: SINGLE FAMILY RESIDENTIAL  
 ZONING: GR3

JOSE VICTOR GARCIA NATAR & BRENDA ALBANIA RAMIR FLORES  
 PIN: 1763-18-3521  
 DB: 17811 PG: 2384  
 EXISTING USE: SINGLE FAMILY RESIDENTIAL  
 ZONING: GR3

**LEGEND**

- PROPERTY LINE
- PROPOSED RIGHT OF WAY
- PROPOSED LOT LINE
- BUILDING SETBACK
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- COMMON AREA
- PHASE LINE

DUKE ENERGY PROGRESS INC  
 PIN: 1764-20-6617  
 DB: 15289 PG: 2437  
 EXISTING USE: INDUSTRIAL  
 ZONING: MI

DUKE ENERGY PROGRESS INC  
 PIN: 1763-18-9954  
 DB: 15289 PG: 2437  
 EXISTING USE: INDUSTRIAL  
 ZONING: MI

**GENERAL SITE NOTES**

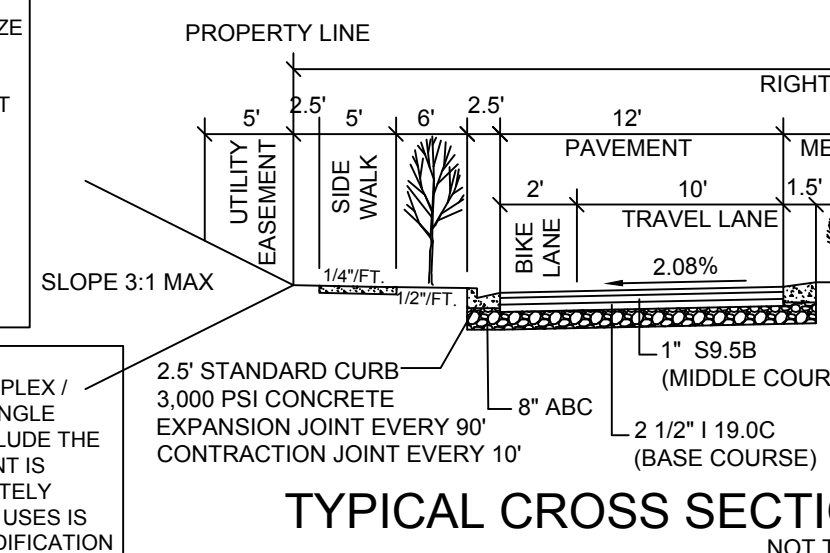
- ALL CONSTRUCTION SHALL CONFORM TO TOWN OF KNIGHTDALE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ROADS AND DRIVEWAYS SHALL COMPLY WITH NCDOT AND TOWN OF KNIGHTDALE STANDARDS.
- SIGN PERMITS SHALL BE REQUIRED FOR ANY ENTRANCE SIGNAGE. PERMITS SHALL BE REQUIRED PRIOR TO FABRICATION OR INSTALLATION OF SIGNS. SIGNAGE SHALL BE RESTRICTED TO AN ON-SITE LOCATION.
- THE WATER AND SEWER SYSTEMS SHALL COMPLY WITH CITY OF RALEIGH STANDARDS.
- ALL DESIGN AND CONSTRUCTION METHODS SHALL COMPLY WITH THE TOWN OF KNIGHTDALE'S SEDIMENTATION AND EROSION CONTROL REGULATIONS. AN EROSION CONTROL PLAN SHALL BE APPROVED BY THE TOWN OF KNIGHTDALE PRIOR TO ANY GRADING.
- CONSTRUCTION DRAWINGS SHALL BE SUBMITTED AND APPROVED BY THE TOWN OF KNIGHTDALE AND CITY OF RALEIGH PRIOR TO CONSTRUCTION.
- ALL STREETS WITHIN THE SUBDIVISION WILL HAVE A POSTED SPEED LIMIT OF 25 MPH.
- RESTRICTIVE COVENANTS SHALL BE APPROVED AND RECORDED PRIOR TO RECORDING OF FINAL PLAT.
- STORMWATER CONTROL MEASURES SHALL BE CONTAINED IN AND ACCESSED VIA OPEN SPACE MAINTAINED AND OWNED BY THE HOMEOWNERS ASSOCIATION. A MAINTENANCE PLAN MUST BE DEVELOPED TO ADDRESS THE STORMWATER CONTROL MEASURES.
- PRIVATE STORM DRAINAGE EASEMENTS SHALL BE MAINTAINED BY THE HOA.
- SUBDIVISION LOTS MUST BE LOTS OF RECORD PRIOR TO RECEIVING A BUILDING PERMIT.
- PER UDO SEC 10.5.H.2, ALL UTILITIES SHALL BE PLACED UNDERGROUND.

**GENERAL SITE MODIFICATIONS**  
 9.3.B OF THE UDO PROHIBITS MASS GRADING ON ALL FRONT-LOADED LOTS 60' OR GREATER IN WIDTH. ALL REAR LOADED UNITS INCLUDED IN THIS PUD ARE EXEMPT FROM THIS REQUIREMENT BY RIGHT, DUE TO THEIR NARROW LOT WIDTH. THE SINGLE FAMILY LOTS NOT EXEMPT INCLUDE LESS THAN 25% OF THE TOTAL NUMBER OF LOTS. THESE LOTS WERE ENLARGED IN SIZE AT THE SPECIFIC REQUEST OF KNIGHTDALE PLANNING STAFF AND ARE LOCATED AROUND THE PROPERTY BORDER. AN EXCEPTION TO THESE REQUIREMENTS IS REQUESTED TO ALLOW FOR THE ENTIRE DEVELOPMENT TO BE ELIGIBLE FOR MASS GRADING, RATHER THAN ONLY PORTIONS OF THE DEVELOPMENT. MASS GRADING IS WARRANTED FOR PERIMETER LOT AREAS TO BE ABLE TO CREATE AN ENHANCED STREETScape. TO AVOID STANDING WATER, AND MOST IMPORTANTLY TO ALLOW THE SEWER DEPTHS TO BE SHALLOW ENOUGH TO PRECLUDE THE NEED FOR THE CITY OF RALEIGH TO OPERATE A PUMP STATION ON-SITE. THE EXCEPTION TO THE MASS GRADING IS REQUESTED BASED ON THE INTEGRATED DESIGN AND SURFACE WATER DRAINAGE MODIFICATION STANDARDS.

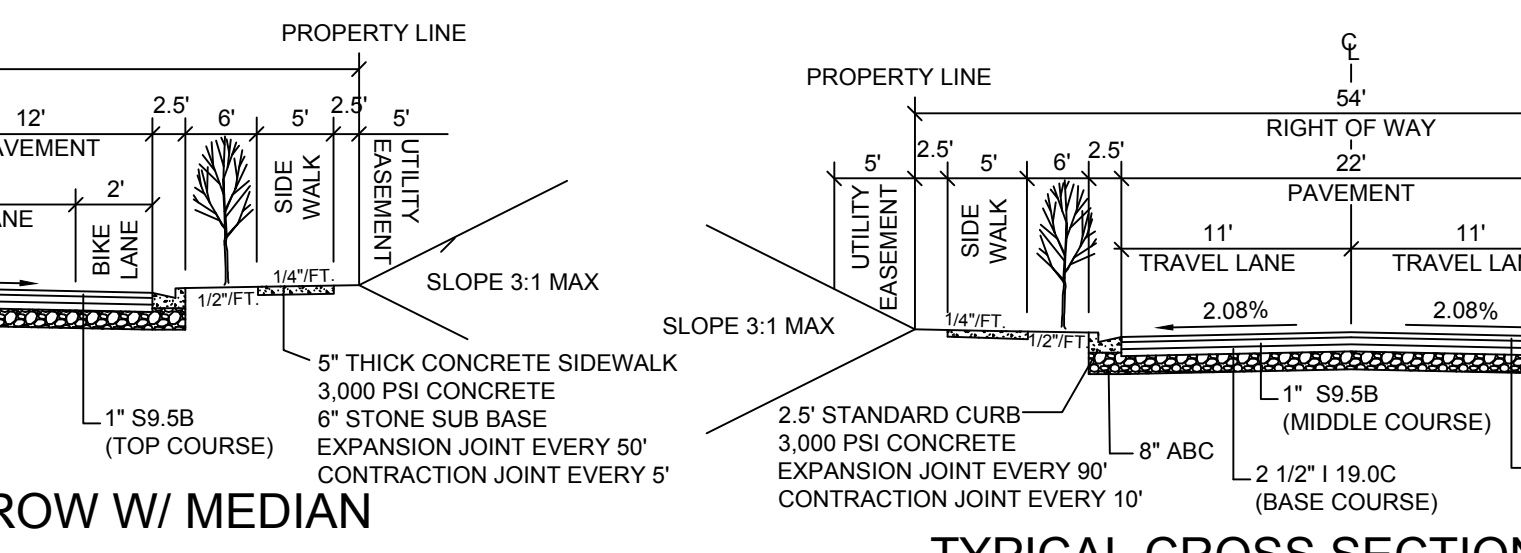
**DISTRIBUTION OF USES**  
 TABLE 11.1.B IN THE KNIGHTDALE UDO REQUIRES A MIN. 10% / MAX 40% DUPLEX / TOWNHOUSE, MIN. 5% / MAX. 40% MULTIFAMILY, AND MIN 15% / MAX 60% SINGLE FAMILY. AN EXCEPTION TO THESE REQUIREMENTS IS REQUESTED TO EXCLUDE THE REQUIREMENT FOR MULTIFAMILY AND TOWNHOUSE USE. THE DEVELOPMENT IS LOCATED AT THE EDGE OF KNIGHTDALE JURISDICTION WITH PREDOMINANTLY EXISTING SINGLE FAMILY USES. THE EXCEPTION TO THE DISTRIBUTION OF USES IS REQUESTED BASED ON THE INTEGRATED DESIGN AND PLACE MAKING MODIFICATION STANDARDS. THE PUD SHALL BE DEVELOPED IN SUCH A WAY TO BE HARMONIOUS WITH THE SURROUNDINGS.

**GASLINE ENCROACHMENT**  
 IF DOMINANT ENERGY WILL NOT SUPPORT A GASLINE ENCROACHMENT AT THE END OF THE 64' RIGHT-OF-WAY, ON THE EAST OF THE SITE, AT THE TIME OF PERMITTING, THEN THE DEVELOPER SHALL PAY THE TOWN OF KNIGHTDALE A FEE IN LIEU OF THE REMAINING ROAD COMPLETION IN AN AMOUNT MUTUALLY AGREED UPON BY THE DEVELOPER AND THE TOWN OF KNIGHTDALE PER SECTION 10.3.A. OF THE UDO.

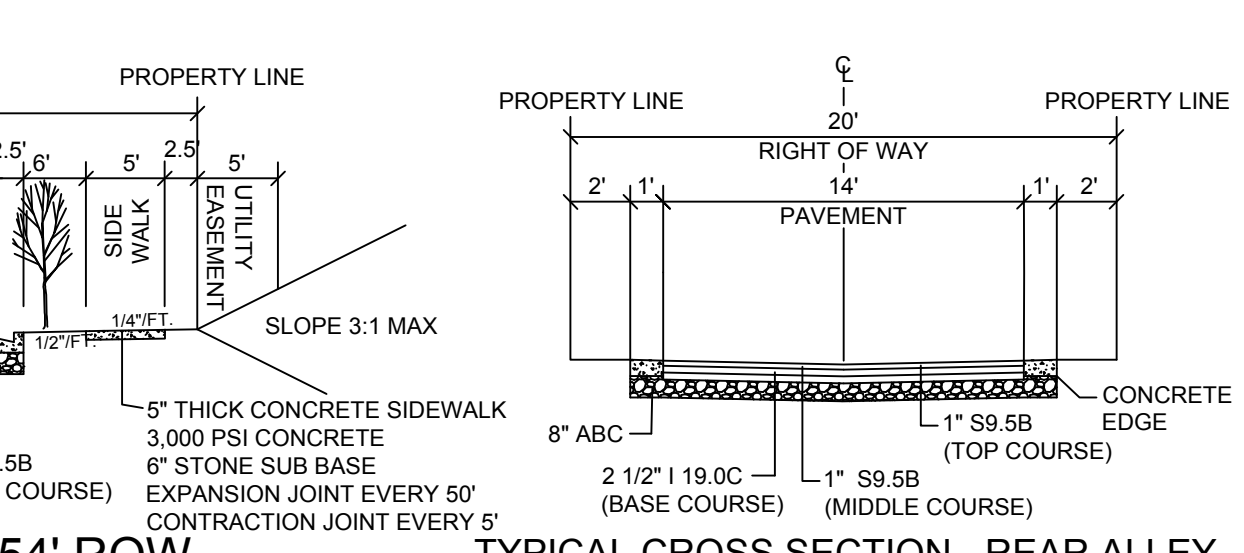
**TRANSPORTATION NETWORK**  
 AN EXCEPTION TO SECTION 10.4.B OF THE UDO, TO ALLOW A 32' PUBLIC RIGHT OF WAY STREET SECTION, A MODIFIED ONE WAY LOCAL STREET, TO SERVE HOMES FRONTING ON OPEN SPACE AREAS IS REQUESTED.  
 CREATING BENEFICIAL COMMON OPEN SPACE IS THE MODIFICATION STANDARD BASIS FOR THIS REQUESTED EXCEPTION. REDUCING THE SIZE OF RIGHT OF WAYS INCREASES THE USABLE OPEN SPACE. PEDESTRIAN CONNECTIVITY WITH A SIDEWALK ALONG THE FRONT OF THESE HOMES WILL STILL BE PROVIDED. SECTION 11.3.B.1 OF THE UDO REQUIRES THAT ANY DEVELOPMENT THAT EMBRACES ONLY 1 SIDE OF AN EXISTING OR PLANNED ARTERIAL OR COLLECTOR WILL ONLY BE REQUIRED TO DEDICATE ADDITIONAL T/W FOR THAT PORTION OF THE STREET WITH WHICH THE DEVELOPMENT HAS FRONTAGE. DEDICATION OF 15' RW IS IDENTIFIED ON THE MASTER PLAN TO ACCOMMODATE HALF THE ULTIMATE RIGHT-OF-WAY ALONG MAILMAN ROAD FOR A 2-LANE DIVIDED URBAN AVENUE SECTION SUBJECT TO THE TRAFFIC IMPACT ANALYSIS FINDINGS ON ACCEPTABLE LEVELS OF SERVICE.



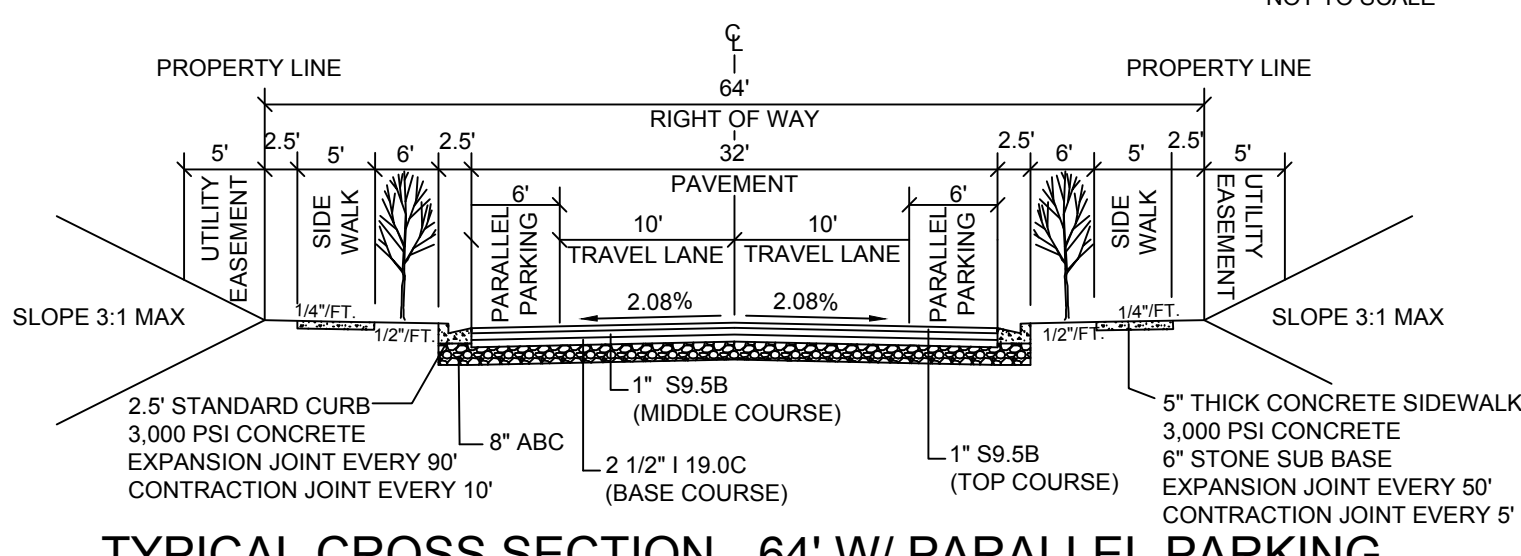
TYPICAL CROSS SECTION - 64' ROW W/ MEDIAN  
 NOT TO SCALE



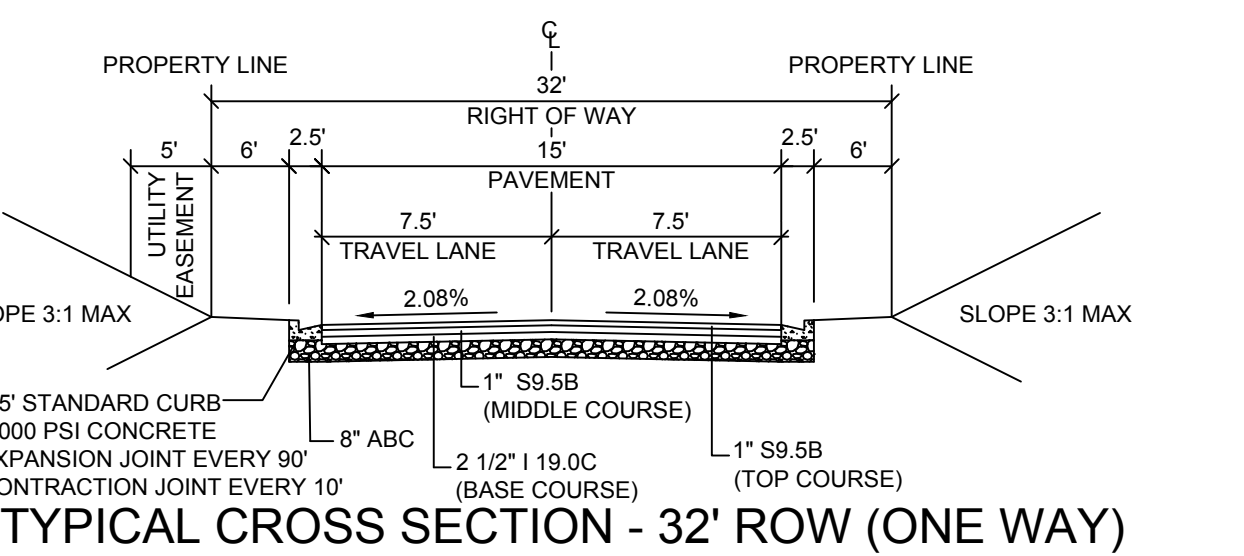
TYPICAL CROSS SECTION - 54' ROW  
 NOT TO SCALE



TYPICAL CROSS SECTION - REAR ALLEY  
 NOT TO SCALE



TYPICAL CROSS SECTION - 64' W/ PARALLEL PARKING  
 NOT TO SCALE



TYPICAL CROSS SECTION - 32' ROW (ONE WAY)  
 NOT TO SCALE

**STREET TABLE**

| STREET                  | ROW | LENGTH (LF) |
|-------------------------|-----|-------------|
| ROAD A                  | 64  | 1347        |
| ROAD A                  | 54  | 327         |
| ROAD B                  | 54  | 2119        |
| ROAD C                  | 54  | 235         |
| ROAD D                  | 54  | 1063        |
| ROAD E                  | 54  | 723         |
| ROAD F                  | 54  | 750         |
| ROAD G                  | 54  | 750         |
| ROAD H                  | 54  | 356         |
| ALLEY I                 | 20  | 750         |
| ALLEY J                 | 20  | 750         |
| ALLEY K                 | 20  | 719         |
| <b>TOTAL W/ ALLEYS</b>  |     | <b>9889</b> |
| <b>TOTAL W/O ALLEYS</b> |     | <b>7670</b> |

**SITE DATA**

**DEVELOPER:**  
 EF ONE, LLC  
 6801 WINDING RIDGE ROAD  
 ZEBULON, NC 27597  
 CRAIG DUERR  
 919-601-6862

**ENGINEER:**  
 TIMMONS GROUP  
 BETH BLACKMON, PE  
 5410 TRINITY ROAD, STE 102  
 RALEIGH, NC 27607  
 PHONE: 919-866-4509

**OWNER ON RECORD:**  
 GIOVANNI MORTARINO TRUSTEE  
 2830 CHARLEMAGNE DR  
 VIRGINIA BEACH, VA 23451

**POPE, JASON RICHARD POPE, MARKIE S**  
 417 MAILMAN RD  
 KNIGHTDALE, NC 27545

**PUBLIC SERVICE COMPANY OF NORTH CAROLINA INC.**  
 SCANA LAND DEPT  
 220 OPERATION WAY  
 CAYCE, SC 29003

PIN # = 1763-08-8851, 1763-08-3716, 1763-09-5280,  
 1763-09-5560, 1753-98-9828, & 1753-98-9764  
 DB 14674 PG 1408; DB 18802 PG 2455; DB 16990 PG 2508  
 FIRM MAP# = 3720175300J & 3720176300J EFF 05/02/2006

**USPS NOTE**  
 CLUSTER MAILBOXES TO BE LOCATED WITHIN NEIGHBORHOOD ACTIVE OS 1. KIOSK LOCATION SHALL BE APPROVED BY USPS PRIOR TO SUBDIVISION APPROVAL. IF TEMPORARY LOCATIONS ARE REQUIRED, APPROVAL OF LOCATIONS SHALL BE RECEIVED FROM USPS. MAIL KIOSK WILL HAVE ADA COMPLIANT RAMPS AND PARKING SPACES.

**A HOMEOWNERS ASSOCIATION (HOA)**  
 WILL OWN AND MAINTAIN ALL OPEN SPACE PARCELS, PRIVATE ALLEYS, AND WILL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING REQUIRED BY TOWN OF KNIGHTDALE UNIFIED DEVELOPMENT ORDINANCE (UDO).

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DATE: 08/01/2022  
 DRAWN BY: 331  
 DESIGNED BY: E. ANGE  
 CHECKED BY: B. BLACKMON  
 SCALE: 1" = 80'

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 NORTH CAROLINA LICENSE NO. C-1652  
 MAILMAN POST  
 MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA  
 PRELIMINARY SITE PLAN

JOB NO. 49750  
 SHEET NO. C2.0

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MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA  
OPEN SPACE PLAN

JOB NO.  
49750  
SHEET NO.  
C2.1

**COMMON SPACE**

|                 |                   |                |
|-----------------|-------------------|----------------|
| COMMON SPACE 1  | 25,598 SF         | 0.59 AC        |
| COMMON SPACE 2  | 48,409 SF         | 1.11 AC        |
| COMMON SPACE 3  | 2,599 SF          | 0.06 AC        |
| COMMON SPACE 4  | 2,511 SF          | 0.06 AC        |
| COMMON SPACE 5  | 2,599 SF          | 0.06 AC        |
| COMMON SPACE 6  | 2,511 SF          | 0.06 AC        |
| COMMON SPACE 7  | 2,522 SF          | 0.06 AC        |
| COMMON SPACE 8  | 2,511 SF          | 0.06 AC        |
| COMMON SPACE 9  | 1,415 SF          | 0.03 AC        |
| COMMON SPACE 10 | 2,664 SF          | 0.06 AC        |
| COMMON SPACE 11 | 2,228 SF          | 0.05 AC        |
| COMMON SPACE 12 | 2,131 SF          | 0.05 AC        |
| COMMON SPACE 13 | 2,228 SF          | 0.05 AC        |
| COMMON SPACE 14 | 2,131 SF          | 0.05 AC        |
| COMMON SPACE 15 | 2,859 SF          | 0.07 AC        |
| <b>TOTAL</b>    | <b>104,915 SF</b> | <b>2.41 AC</b> |

**PASSIVE OPEN SPACE**

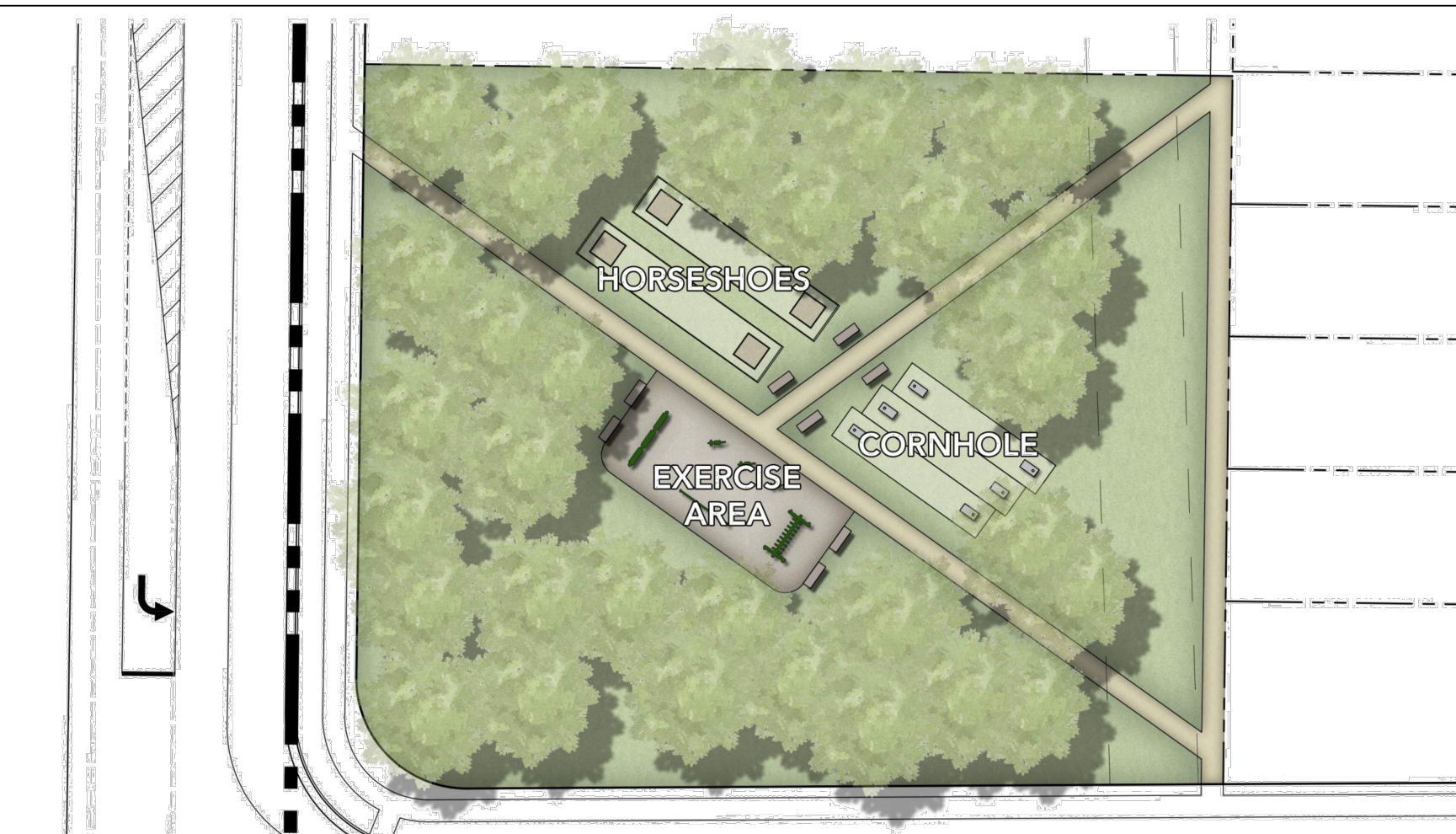
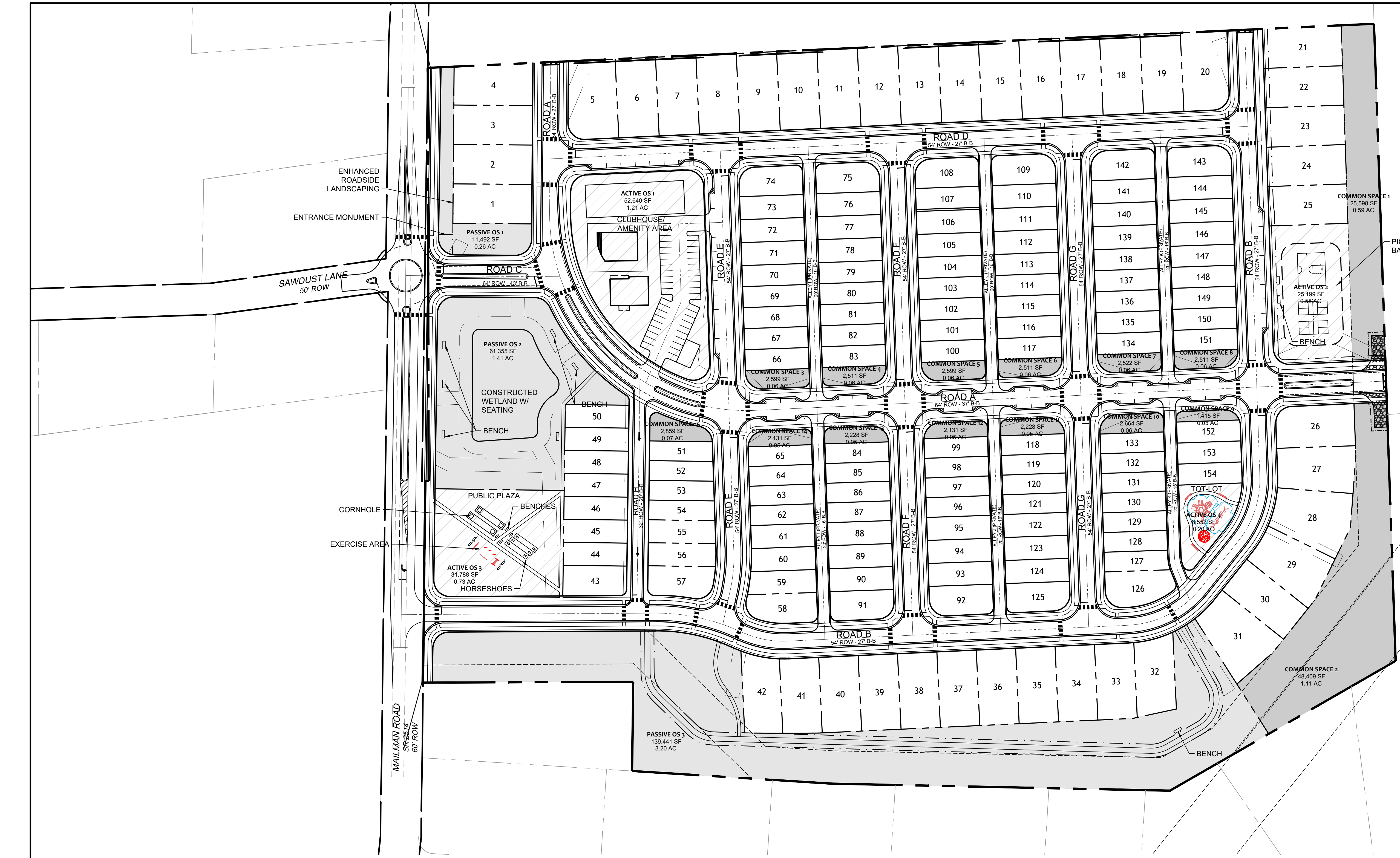
|              |                   |                |
|--------------|-------------------|----------------|
| PASSIVE OS 1 | 11,492 SF         | 0.26 AC        |
| PASSIVE OS 2 | 61,355 SF         | 1.41 AC        |
| PASSIVE OS 3 | 139,441 SF        | 3.20 AC        |
| <b>TOTAL</b> | <b>212,288 SF</b> | <b>4.87 AC</b> |

**ACTIVE OPEN SPACE**

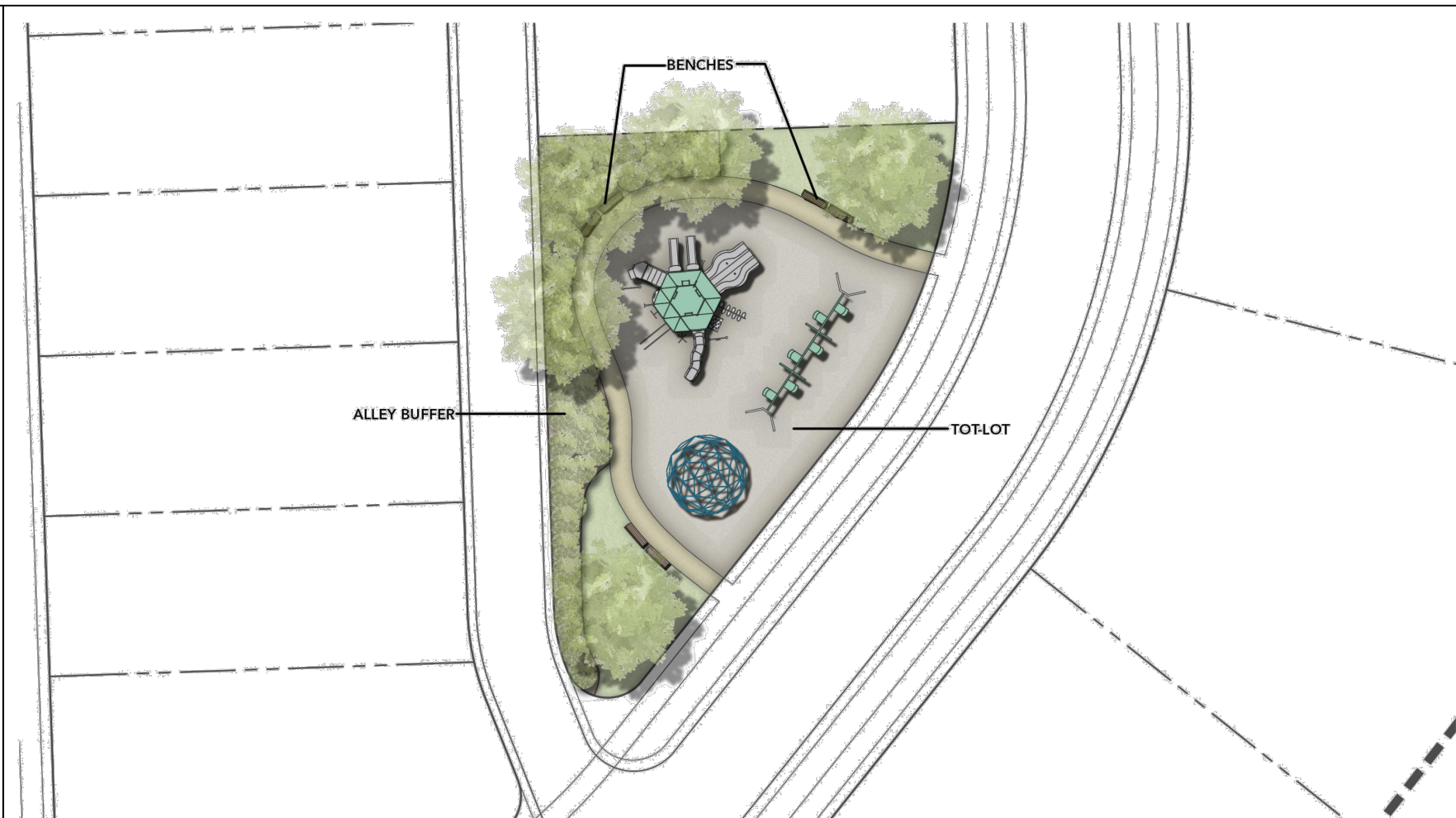
|              |                   |                |
|--------------|-------------------|----------------|
| ACTIVE OS 1  | 52,640 SF         | 1.21 AC        |
| ACTIVE OS 2  | 25,199 SF         | 0.58 AC        |
| ACTIVE OS 3  | 31,788 SF         | 0.73 AC        |
| ACTIVE OS 4  | 8,552 SF          | 0.20 AC        |
| <b>TOTAL</b> | <b>118,178 SF</b> | <b>2.71 AC</b> |

**OPEN SPACE DATA**

TOTAL BEDROOMS:  
154 UNITS \* 3.5 = 539 BEDROOMS  
539 BEDROOMS \* 520 = 280,280 SF REQUIRED  
W/ CLUBHOUSE & POOL CREDIT = 210,210 SF  
PASSIVE OPEN SPACE REQUIRED = 105,105 SF  
PASSIVE OPEN SPACE PROVIDED = 212,288 SF  
ACTIVE OPEN SPACE REQUIRED = 105,105 SF  
ACTIVE OPEN SPACE PROVIDED = 118,178 SF



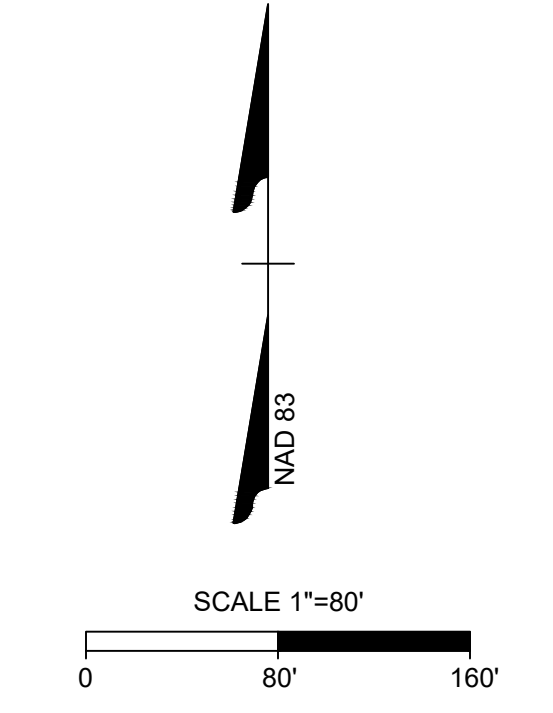
**MAILMAN POST**  
Public Plaza Exhibit



**MAILMAN POST**  
Tot-Lot Exhibit

**LEGEND**

- PROPERTY LINE
- - - PROPOSED RIGHT OF WAY
- - - PROPOSED LOT LINE
- BUILDING SETBACK
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- COMMON AREA



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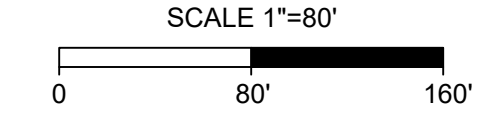
**MAILMAN POST**

MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

**PRELIMINARY UTILITY PLAN**

JOB NO.  
49750

SHEET NO.  
C3.0

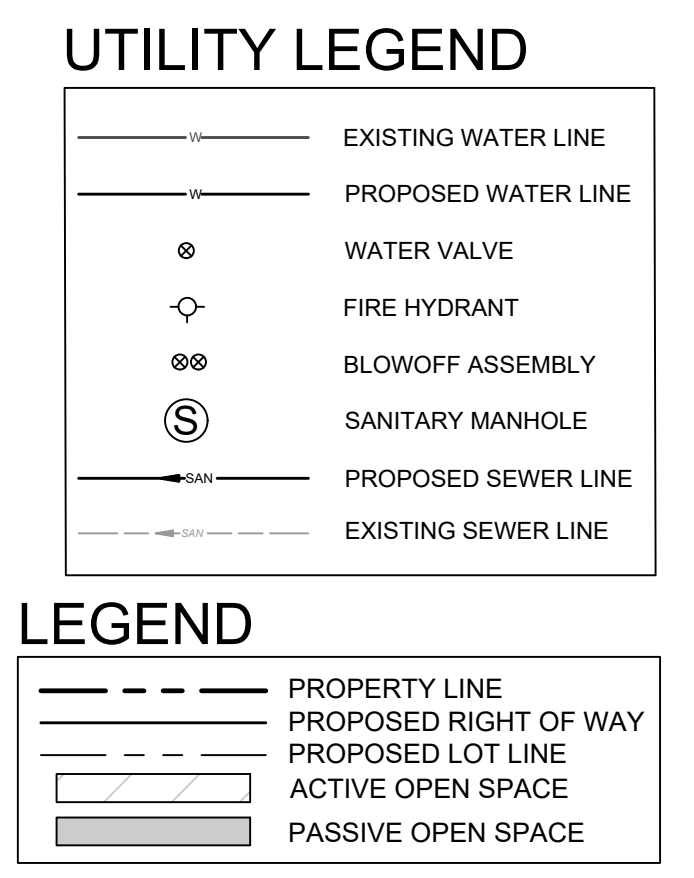


- CORPUD'S STANDARD UTILITY NOTES**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
  - UTILITY SEPARATION REQUIREMENTS:
    - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
    - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.

ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER

    - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
    - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
    - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
    - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
  - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES

- THROUGHOUT CONSTRUCTION OF PROJECT, ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 3/4" COPPER\* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC\* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
- NCDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CAVERLEY AT (919) 966-2334 OR STEPHEN.CAVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 966-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION

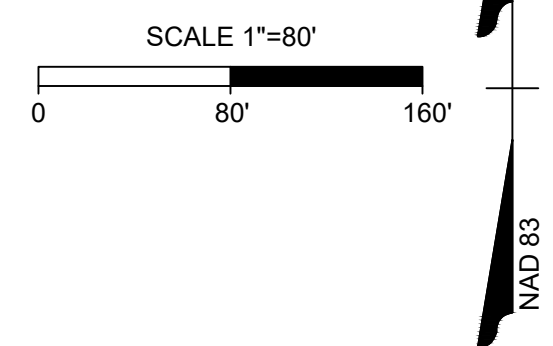
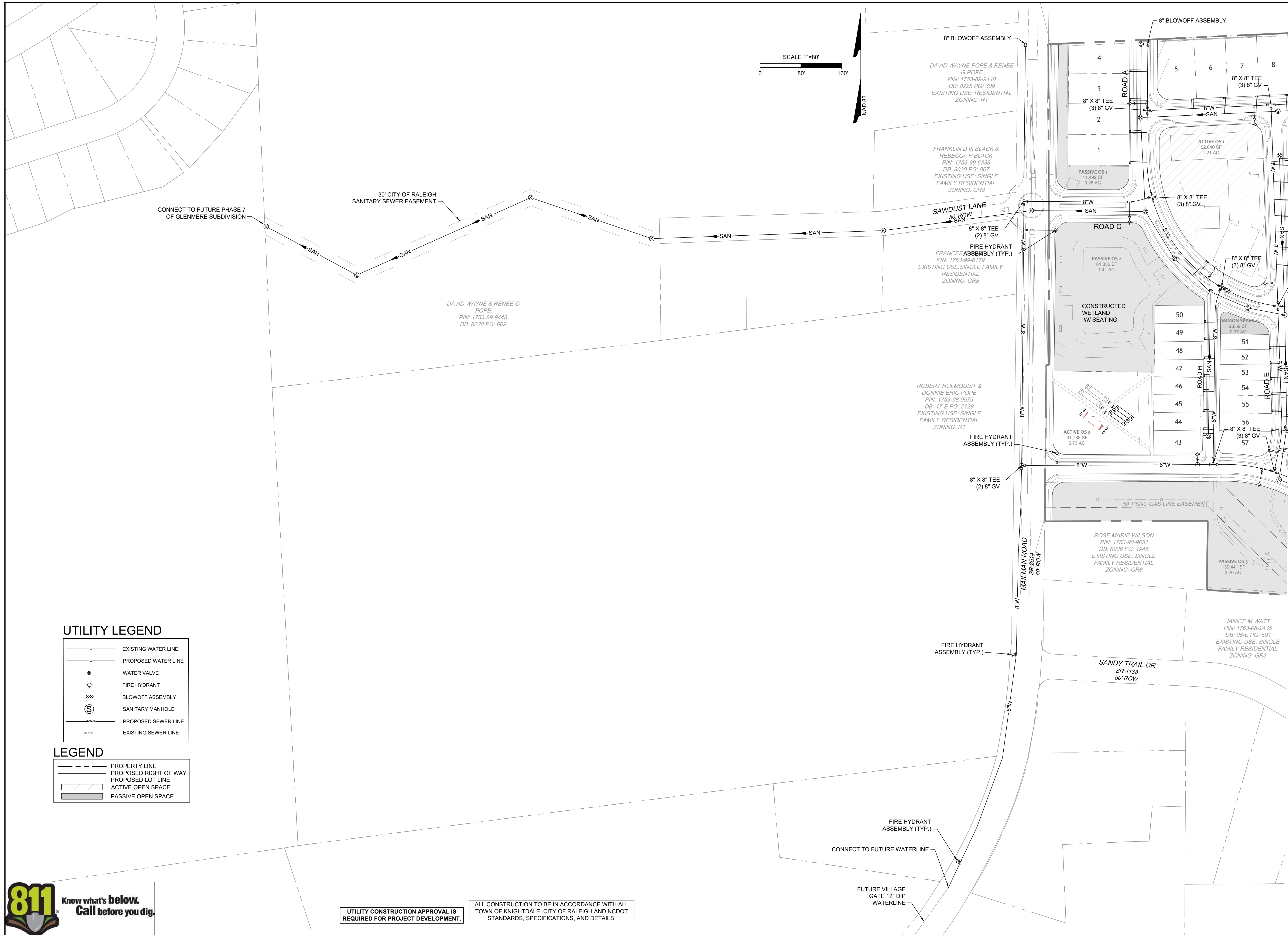


**CONSTRUCTION DRAWING APPROVAL IS  
REQUIRED FOR PROJECT DEVELOPMENT.**

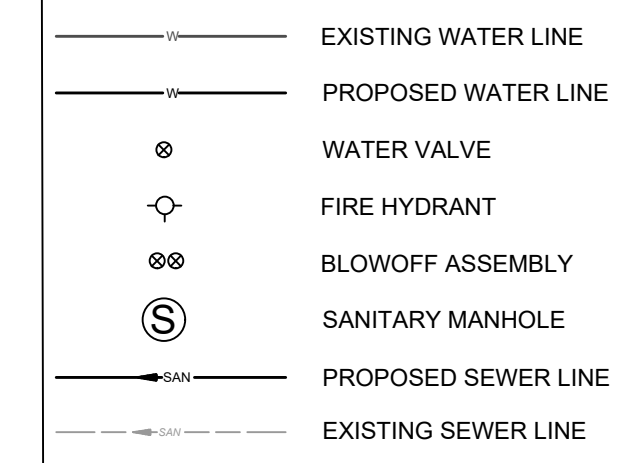
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



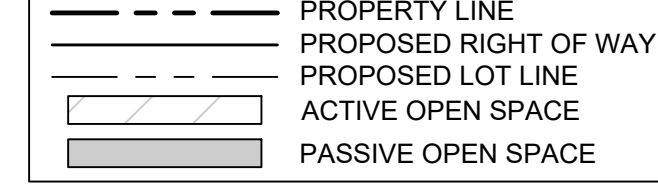
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**UTILITY LEGEND**



**LEGEND**



UTILITY CONSTRUCTION APPROVAL IS REQUIRED FOR PROJECT DEVELOPMENT.

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YOUR VISION ACHIEVED THROUGH OURS.

DATE: 08/01/2022  
 DRAWN BY: 331  
 DESIGNED BY: E. ANGE  
 CHECKED BY: B. BLACKMON  
 SCALE: 1" = 80'

**TIMMONS GROUP**

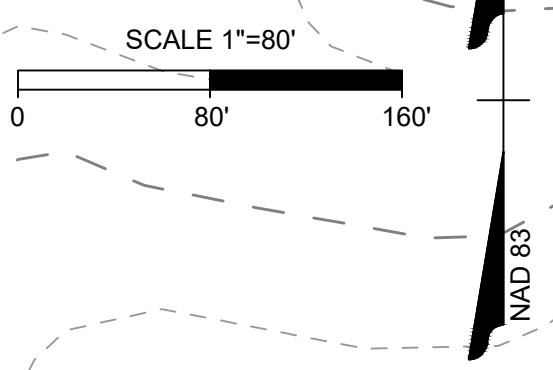
NORTH CAROLINA LICENSE NO. C-1652

**MAILMAN POST**  
 MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

**OFF SITE PRELIMINARY UTILITIES**

JOB NO. 49750  
 SHEET NO. C3.1

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**MAILMAN POST**  
MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

**PRELIMINARY STORMWATER MANAGEMENT PLAN**

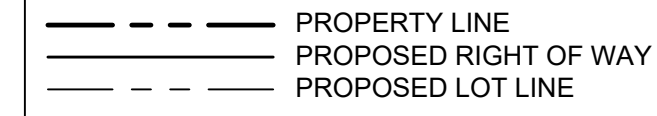
JOB NO.  
49750

SHEET NO.  
C4.0

**NOTES**

1. THE STORM DRAINAGE LAYOUT IS CONCEPTUAL AND SUBJECT TO CHANGE. APPROVAL BY TOWN STAFF IS REQUIRED.
2. THE STORM DRAINAGE SYSTEM SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH TOWN OF KNIGHTDALE UDO AND ENGINEERING STANDARDS & SPECIFICATIONS.
3. THE STORMWATER PLAN SHALL PROVIDE FOR ADEQUATE NITROGEN REDUCTION AND ATTENUATION OF STORMWATER RUNOFF.
4. FENCINGS AND LANDSCAPING FOR ALL PROPOSED STORMWATER CONTROL MEASURES SHALL MEET TOWN OF KNIGHTDALE REQUIREMENTS FOR EACH TYPE OF MEASURE PROPOSED.
5. STORMWATER CONTROL MEASURES SHALL BE LOCATED IN OPEN SPACE AREAS DEDICATED TO AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION (HOA).
6. A MAINTENANCE PLAN ALONG WITH A MEMORANDUM OF AGREEMENT MUST BE DEVELOPED FOR ALL STORMWATER CONTROL MEASURES (SCMS) INSTALLED TO ACHIEVE NITROGEN LOADING AND/OR FLOW ATTENUATING REQUIREMENTS AS PART OF THIS PROJECT. THIS MAINTENANCE PLAN IS REQUIRED TO BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS PRIOR TO PLAT RECORDATION. PROOF OF SAID RECORDING WILL BE REQUIRED AT THE TIME OF PLAT RECORDATION.
7. MAINTENANCE AND ACCESS EASEMENTS ARE REQUIRED FOR ALL SCMS.
8. AT THE CONCLUSION OF THE PROJECT ALL SCMS INSTALLED ON-SITE MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AND THE TOWN OF KNIGHTDALE ENGINEERING DEPT. MUST RECEIVE ALL AS-BUILT DRAWINGS PRIOR TO RECEIVING THE CERTIFICATE OF OCCUPANCY.

**LEGEND**



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



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CHECKED BY  
B. BLACKMON

SCALE  
1" = 80'

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

**MAILMAN POST**  
MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA

**PRELIMINARY LIGHTING PLAN**

JOB NO.  
49750

SHEET NO.  
C5.0



- NOTES**
- ALL FIXTURES SHALL HAVE A FULL CUTOFF CLASSIFICATION OR BE FULLY SHIELDED.
  - ALL POLE-MOUNTED FIXTURES CANNOT EXCEED 37' IN HEIGHT.
  - ALL STREET LIGHT POLES SHALL BE FIBERGLASS WITH A FULLY SHIELDED, ARM-MOUNTED LED FIXTURE.
  - AVERAGE SPACING FOR INTERNAL STREETS SHALL BE 250' APART AND 150' ALONG MAILMAN RD.
  - BUG RATING CANNOT EXCEED B1 U1 G2 FOR LOCAL STREETS AND B2 U2 G3 ON MAILMAN.
  - POLES SHALL BE PLACED ON ALTERNATIVE SIDES OF THE STREET.
  - LIGHTING FOR THE AMENITY CENTER PARKING LOT SHALL NOT EXCEED A BUG RATING OF B3 U0 G4.

**Outdoor Lighting**

**Roadway LED**

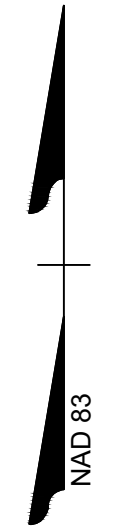
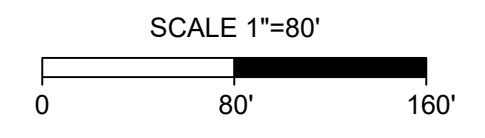
The Roadway LED is a pole-mounted and ground fixture, made of steel, with a 100% recyclable housing. The energy efficient luminaire reduces the light output to a controlled beam, increasing visibility and reducing light pollution. Choose the best luminaire for your application. Available with one to four fixtures per pole. Depending on the fixture configuration selected.

LED  
CFL (existing fixture)

Mounting heights: 50 | 70 | 110 | 150 | 200 | 280 watts

Colors: Black, Grey, Green

Poles: Style A, C, Road



**LEGEND**

|  |                       |
|--|-----------------------|
|  | PROPERTY LINE         |
|  | PROPOSED RIGHT OF WAY |
|  | PROPOSED LOT LINE     |
|  | ACTIVE OPEN SPACE     |
|  | PASSIVE OPEN SPACE    |
|  | COMMON AREA           |

**LIGHTING LEGEND**

|  |  |
|--|--|
|  | LED STREET LIGHTS<br>(7,000 LUMENS LED 75 ROADWAY LIGHT)<br>ALUMINUM POLE - HEIGHT 30' |
|--|--|



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CHECKED BY  
B. BLACKMON  
SCALE  
1" = 80'

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652  
MAILMAN POST  
MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA  
LANDSCAPE PLAN

JOB NO.  
49750  
SHEET NO.  
C6.0

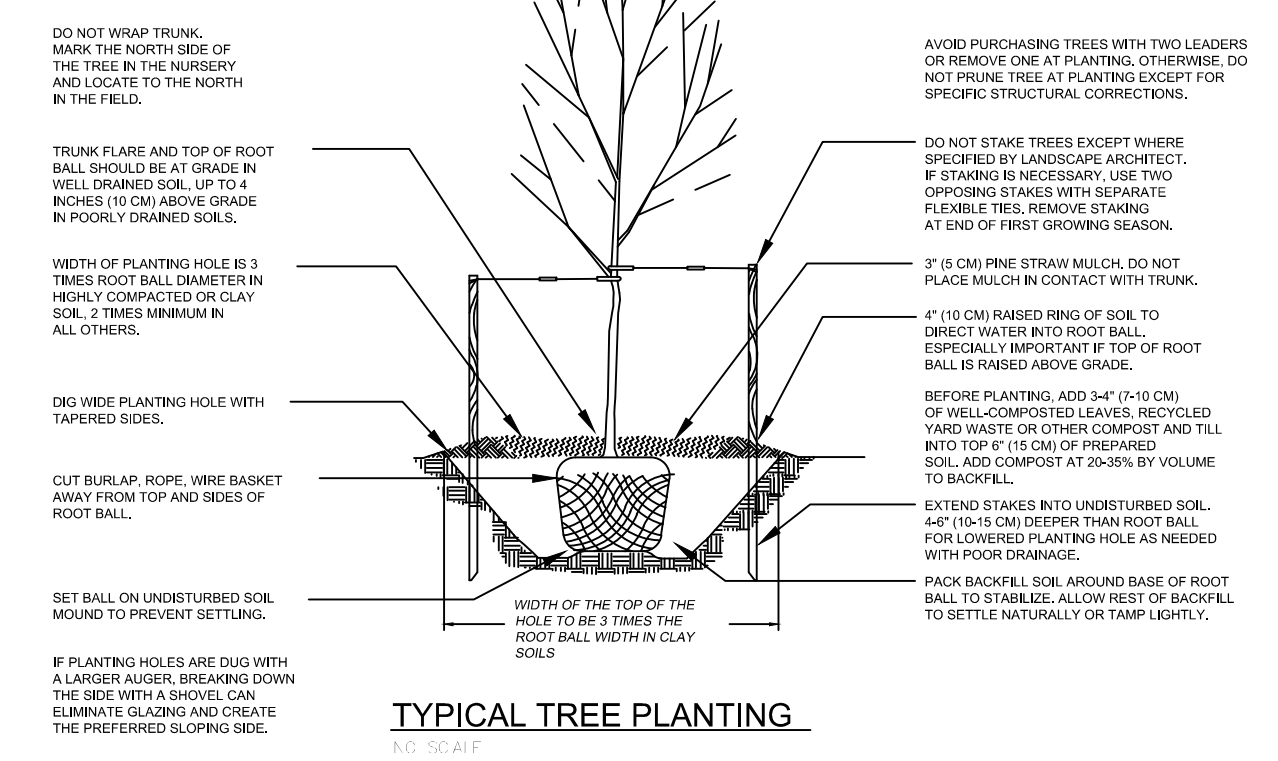


**LEGEND**

- PROPERTY LINE
- TREE SAVE AREA
- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE
- COMMON AREA

| BOTANICAL NAME     | COMMON NAME       | MIN. INSTALLED SIZE | ROOT | TYPE         | REMARKS                               |
|--------------------|-------------------|---------------------|------|--------------|---------------------------------------|
| ACER SACCHARUM     | SUGAR MAPLE       | 2.5" CAL, 12' MIN.  | B&B  | STREET TREES | SINGLE STRAIGHT LEADER. FULL & HEAVY. |
| ULMUS PARVIFOLIA   | LACEBARK ELM      | 2.5" CAL, 12' MIN.  | B&B  | STREET TREES | SINGLE STRAIGHT LEADER. FULL & HEAVY. |
| QUERCUS ACUTISSIMA | SAWTOOTH OAK      | 2.5" CAL, 12' MIN.  | B&B  | STREET TREES | SINGLE STRAIGHT LEADER. FULL & HEAVY. |
| PISTACIA CHINENSIS | CHINESE PISTACHIO | 2.5" CAL, 12' MIN.  | B&B  | STREET TREES | SINGLE STRAIGHT LEADER. FULL & HEAVY. |
| ACER SACCHARUM     | SUGAR MAPLE       | 2.5" CAL, 12' MIN.  | B&B  | STREET TREES | SINGLE STRAIGHT LEADER. FULL & HEAVY. |

**CANOPY SAVE DATA**  
CANOPY SAVE REQUIRED: 100,460 SF  
CANOPY SAVE PROVIDED: 106,695 SF



**NOTES**

- STREET TREES SHALL BE LOCATED WITHIN THE RIGHT OF WAY.
- STREET TREES SHALL BE PLANTED BY EACH BUILDER PRIOR TO RECEIVING C.O. FOR HOUSE.
- ALL LANDSCAPING SHOULD BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE'S UDO.
- ALL PLANT MATERIALS TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.
- CONTRACTOR ENGAGED IN LANDSCAPE IMPLEMENTATION SHALL BE A LANDSCAPE CONTRACTOR REGISTERED IN THE STATE OF NORTH CAROLINA.
- SUBSTITUTIONS OF PLANT MATERIALS SPECIFIED CAN ONLY OCCUR WITH PRIOR APPROVAL BY LANDSCAPE ARCHITECT.
- ALL NEW TREES TO HAVE A 5" DIAMETER SHREDDED HARDWOOD MULCH RING AT 4" DEEP UNLESS OTHERWISE NOTED OR LOCATED IN A PLANT BED PER SITE PLAN.
- LANDSCAPE CONTRACTOR TO GUARANTEE PLANT MATERIALS FOR A ONE YEAR PERIOD FOLLOWING SUBSTANTIAL COMPLETION.
- AREAS DAMAGED BY LANDSCAPE CONTRACTOR TO BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.
- ALL ABOVE GROUND UTILITIES MUST BE SCREENED.



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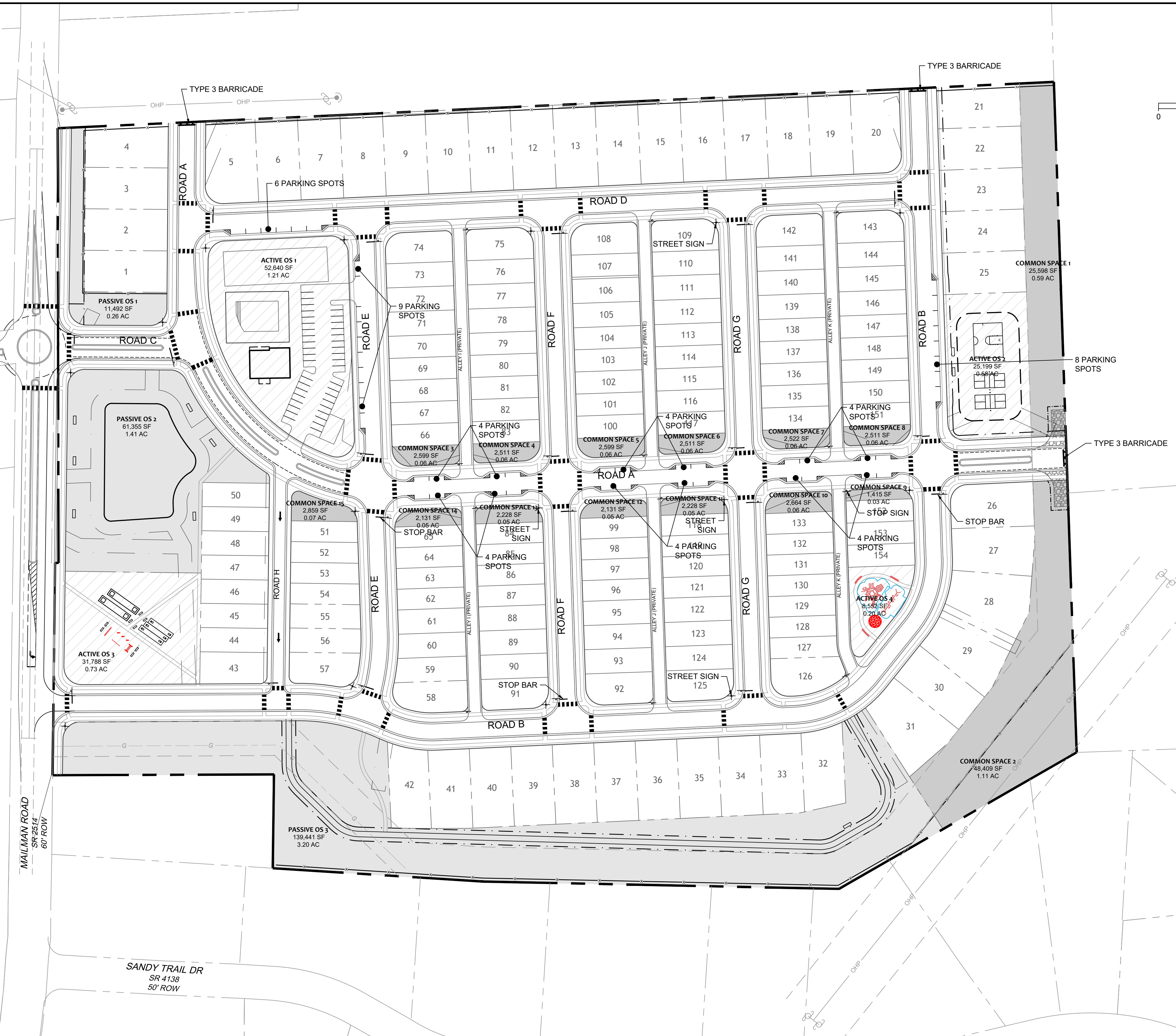
| REVISION DESCRIPTION | DATE        |
|----------------------|-------------|
|                      | 08/01/2022  |
|                      | 331         |
| DESIGNED BY          | E. ANGE     |
| CHECKED BY           | B. BLACKMON |
| SCALE                | 1" = 80'    |

# TIMMONS GROUP

**MAILMAN POST**  
MAILMAN ROAD, KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA  
**SIGNS AND MARKINGS PLAN**

JOB NO.  
**49750**  
SHEET NO.  
**C7.0**

SCALE 1"=80'



### SIGN LEGEND

- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
 

| SIGN                | MUTCD STD. | SIZE        |
|---------------------|------------|-------------|
| STOP                | R1-1       | 30"x30"     |
| 25 MPH              | R2-1       | 24"x30"     |
| ROAD CLOSED         | R11-2      | 48"x30"     |
| STREET NAME         | D3-1       | VARIES"x12" |
| PEDESTRIAN CROSSING | W11-2      | 30"         |
| PEDESTRIAN CROSSING | W16-7P     | 30"         |
- ALL SIGNS SHALL BE MOUNTED WITH 7-FT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 3-LB. GALV. STEEL U-CHANNEL POST SET IN 3-FT DEEP x 12-IN DIA. CONCRETE FOOTINGS.
- ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY THE TOWN OF KNIGHTDALE AND/OR NCDOT PRIOR TO SIGN INSTALLATION.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AS REQUIRED BY THE TOWN OF KNIGHTDALE, THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ALL NCDOT STANDARDS AND SPECIFICATIONS.
- THE TOWN OF KNIGHTDALE REQUIRES ALL REGULATORY PAVEMENT MARKINGS TO BE HI-VIS THERMOPLASTIC, EXCEPT FOR PARKING SPACE STRIPING WHICH MAY BE WHITE PAINT, PER DETAIL 4.06.

### LEGEND

|  |                       |
|--|-----------------------|
|  | PROPERTY LINE         |
|  | PROPOSED RIGHT OF WAY |
|  | PROPOSED LOT LINE     |
|  | ACTIVE OPEN SPACE     |
|  | PASSIVE OPEN SPACE    |
|  | COMMON SPACE          |



SAWDUST LANE  
50' ROW

MAILMAN ROAD  
SR 2514  
60' ROW

SANDY TRAIL DR  
SR 4138  
50' ROW