

McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

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license number: C-0293, C-187

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probst@mcadamsco.com
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CLIENT

CAROLINA DEVELOPMENT GROUP, LLC
10136 MIZNER LANE
RALEIGH, NC
MARK PURYEAR
PHONE: 919. 931. 2300

PROJECT DIRECTORY

RIVER POINTE

105 AND 107 COLCHESTER DRIVE KNIGHTDALE, NC 27545

MASTER PLAN

PROJECT NUMBER: CDV21001
DATE: SEPTEMBER 30, 2022
CASE #: 733581
ZMA-7-22

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ZONING CONDITIONS:

- TO PERMIT A DENSITY NECESSARY TO SUPPORT THE SITE'S REQUIRED INFRASTRUCTURE AND RECREATIONAL IMPROVEMENTS, RIVER POINTE WILL INCLUDE UP TO 28 SINGLE-FAMILY UNITS AS FRONT-LOADED LOTS WITH A MINIMUM 70' WIDTH (INSTEAD OF 80').
- FRONT-LOADED SFD DIMENSIONAL MODIFICATIONS: TO CREATE AN INTERESTING STREETScape AND ENCOURAGE INTERACTION BETWEEN THE PUBLIC AND PRIVATE REALM, FRONT-LOADED SINGLE-FAMILY DWELLINGS IN RIVER POINTE WILL BE SERVED BY DRIVEWAYS THAT ARE A MINIMUM LENGTH OF 25' RATHER THAN THE UDO REQUIREMENT OF 35'. FURTHERMORE, REAR SETBACKS OF 15' SHALL BE APPLIED RATHER THAN 25'. THE MINIMUM SIDE SETBACKS SHALL BE A STANDARD 5 FT.
- REAR-LOADED SFD DIMENSIONAL MODIFICATIONS: REAR-LOADED SINGLE-FAMILY DWELLINGS IN PROJECT HOPE WILL BE SERVED BY DRIVEWAYS THAT ARE A MINIMUM LENGTH OF 20' RATHER THAN THE UDO REQUIREMENT OF 35'. FURTHERMORE, REAR SETBACKS OF 15' SHALL BE APPLIED RATHER THAN 25'. MINIMUM SIDE SETBACKS SHALL BE 4 FT.
- DUE TO THIS SITE BEING A RELATIVELY SMALL INFILL PROJECT SURROUNDED BY EXISTING DETACHED SINGLE-FAMILY SUBDIVISIONS, RIVER POINTE SHALL BE PERMITTED TO HAVE 100% SINGLE FAMILY DWELLINGS (RATHER THAN A MIX OF SFD, TOWNHOMES, AND MF PER THE STANDARD DISTRIBUTION OF USE TABLE CONTAINED IN SECTION 11.1B OF THE UDO).
- SECTION 11.3E7 OF THE KNIGHTDALE UDO WOULD REQUIRE A MINIMUM CONNECTIVITY INDEX OF 1.4 FOR A GR3-PUD. DUE TO ENVIRONMENTAL FEATURES TO THE WEST AND HOA OWNED AND PRESERVED OPEN SPACE TO THE NORTH, RIVER POINTE SHALL BE PERMITTED A MINIMUM CONNECTIVITY INDEX OF 1.3. ADDITIONAL CONNECTIONS ARE INFEASIBLE DUE TO ENVIRONMENTAL SITE CONSTRAINTS.
- MASS GRADING SHALL BE PERMITTED FOR FRONT-LOADED LOTS 60' OR GREATER. ADDITIONAL DETAILS AND JUSTIFICATION IS PROVIDED IN THE PUD DOCUMENT.
- ALL STRUCTURES SHALL ADHERE TO THE ADDITIONAL ARCHITECTURAL STANDARDS CONTAINED WITHIN THE ASSOCIATED PUD DOCUMENT.

WATER ALLOCATION POINTS - RIVER POINTE

PROPOSED POINTS	50 POINTS (15 BASE POINTS + 35 BONUS POINTS)
ARCHITECTURAL DESIGN STANDARDS	15 POINTS
FOUNTAIN IN SCM	4 POINTS
ON-STREET PUBLIC PARKING	4 POINTS
IPEMA CERTIFIED PLAYGROUND	4 POINTS
PUBLIC ART	4 POINTS
CONSERVATION OF OPEN SPACE BEYOND REQUIREMENT	4 POINTS

OPEN SPACE DATA

SEATING AREA	PROPOSED	6,864 SF 1 TABLE / 1,700 SF (6,864 / 1,700 SF = 4 TABLES MIN.) 1 SEAT / 215 SF (6864 / 215 SF = 32 SEATS MIN.) 60 SF OF SHADED AREA / TABLE (60 X 4 = 240 SF MIN.)
PLAYGROUND AREA	PROPOSED	7,650 SF * PLAY AREA REQUIREMENTS CAN BE WITH A COMBINATION OF PLAY STRUCTURES, NATURAL PLAY, AND PLAY LAWN. (MIN. OF 1 PLAY STRUCTURE WITHIN PLAY AREA) 2 LF OF SEATING / 450 SF (7,650 / 450 SF = 17 LF TOTAL) (3 X 6' BENCHES = 18 LF)

SITE DATA

PIN(S)	1734813452, 1734912203
SITE AREA	GROSS AREA: 24.5 AC
EXISTING ZONING	RURAL TRANSITION (RT)
PROPOSED ZONING	GR3 - PUD
WATERSHED CLASSIFICATION	LOWER NEUSE RIVER
RIVER BASIN	NEUSE
FEMA DATA	FIRM PANEL #3720173400K DATED 7/19/2022
EXISTING USE	VACANT
PROPOSED USE	SFD
DENSITY	50 SFD UNITS / 24.50 = 2.04 DU/AC
SETBACKS (SFD FRONT LOAD)	PROPOSED FRONT YARD: 18' (25' FOR FACE OF GARAGE) CORNER YARD: 10' SIDE YARD: 5' REAR YARD: 15'
SETBACKS (SFD REAR LOAD)	PROPOSED FRONT YARD: 10' (20' MIN. DRIVEWAY LENGTH) CORNER YARD: 10' SIDE YARD: 4' REAR YARD: 15'
PARKING (SFD)	REQUIRED 2/UNIT x 50 UNITS = 100 SPACES PROPOSED 100 GARAGE SPACES 100 DRIVEWAY SPACES 200 TOTAL SPACES
ON-STREET (STREET "B") KIOSK/PLAYGROUND	PROPOSED 14 SPACES
PASSIVE OPEN SPACE	PROPOSED 14 SPACES
ACTIVE OPEN SPACE	REQUIRED 1.045 AC PROPOSED 1.045 AC
TOTAL OPEN SPACE	REQUIRED 2.09 AC PROPOSED 3.10 AC
TREE SAVE	REQUIRED 2.14 AC PROPOSED 11.12 AC
CONNECTIVITY	REQUIRED 1.4 PROPOSED 1.33

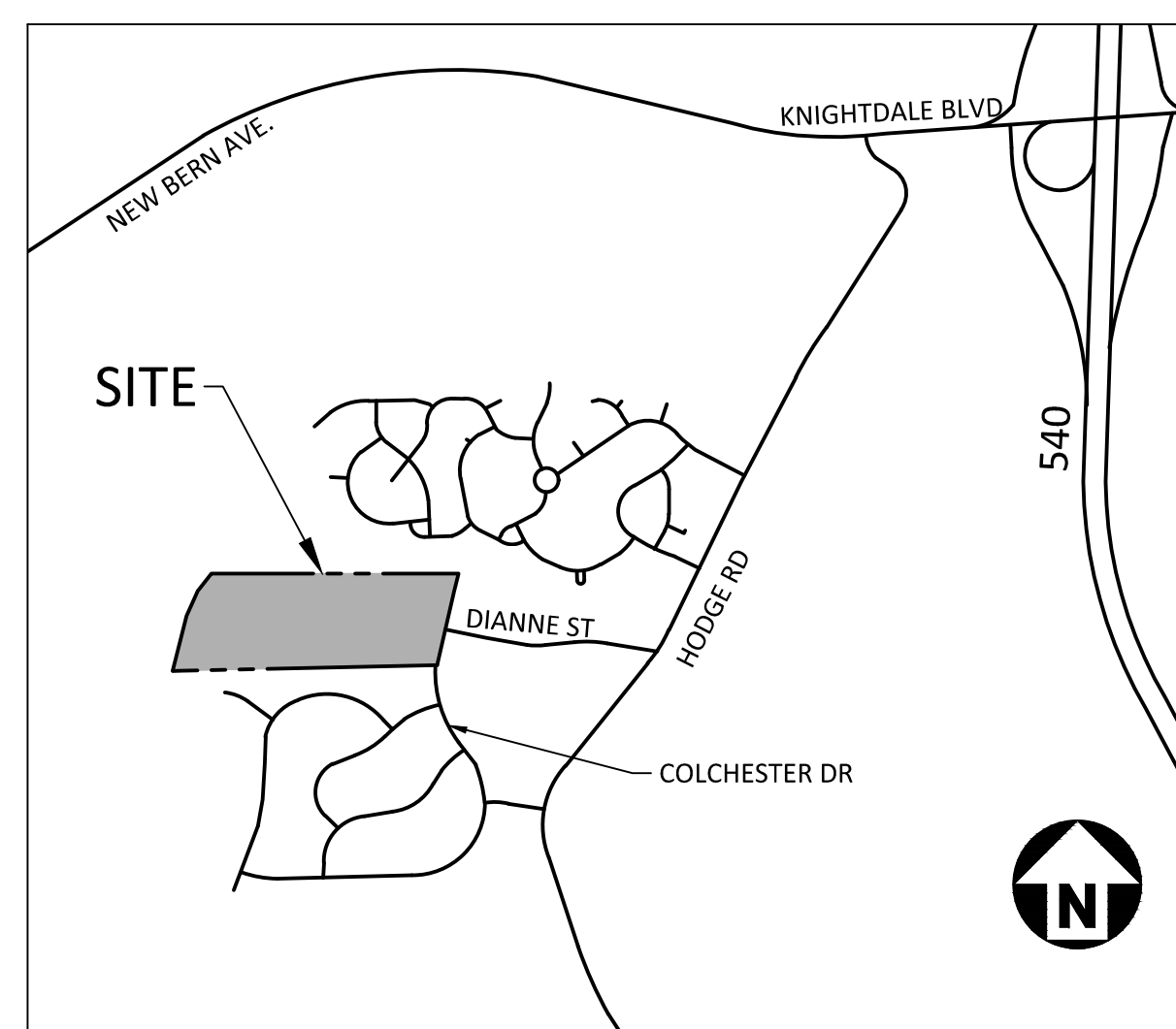
CONDITIONS OF APPROVAL:

A PETITION FOR ANNEXATION INTO THE CITY LIMITS SHALL BE SUBMITTED IN ACCORDANCE WITH CITY COUNCIL POLICY FOR EXTENSION OF UTILITY SERVICE TO PROPERTIES CURRENTLY OUTSIDE OF THE CITY LIMITS

CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR ALL PUBLIC WATER, PUBLIC SEWER AND/OR PRIVATE SEWER EXTENSIONS PRIOR TO MAP RECORDATION.

A PLAT MUST BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS OFFICE FOR ALL UTILITY EASEMENT DEDICATIONS

A PLAT MUST BE RECORDED FOR ALL NECESSARY OFFSITE RIGHT-OF-WAY TO ACCOMMODATE FUTURE WATERLINE CONSTRUCTION



VICINITY MAP
N.T.S.

REVISIONS

NO.	DATE
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6	

MASTER PLAN FOR: RIVER POINTE

105 AND 107 COLCHESTER DRIVE
KNIGHTDALE, NC 27545
PROJECT NUMBER: CDV21001

I HEREBY CERTIFY THAT THE TOPOGRAPHIC SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION AND ACCURATELY REPRESENTS THE PHYSICAL FEATURES THEREON AT THE TIME OF THIS SURVEY.

RONALD T. FREDERICK, P.L.S. L-4720 DATE



PRELIMINARY



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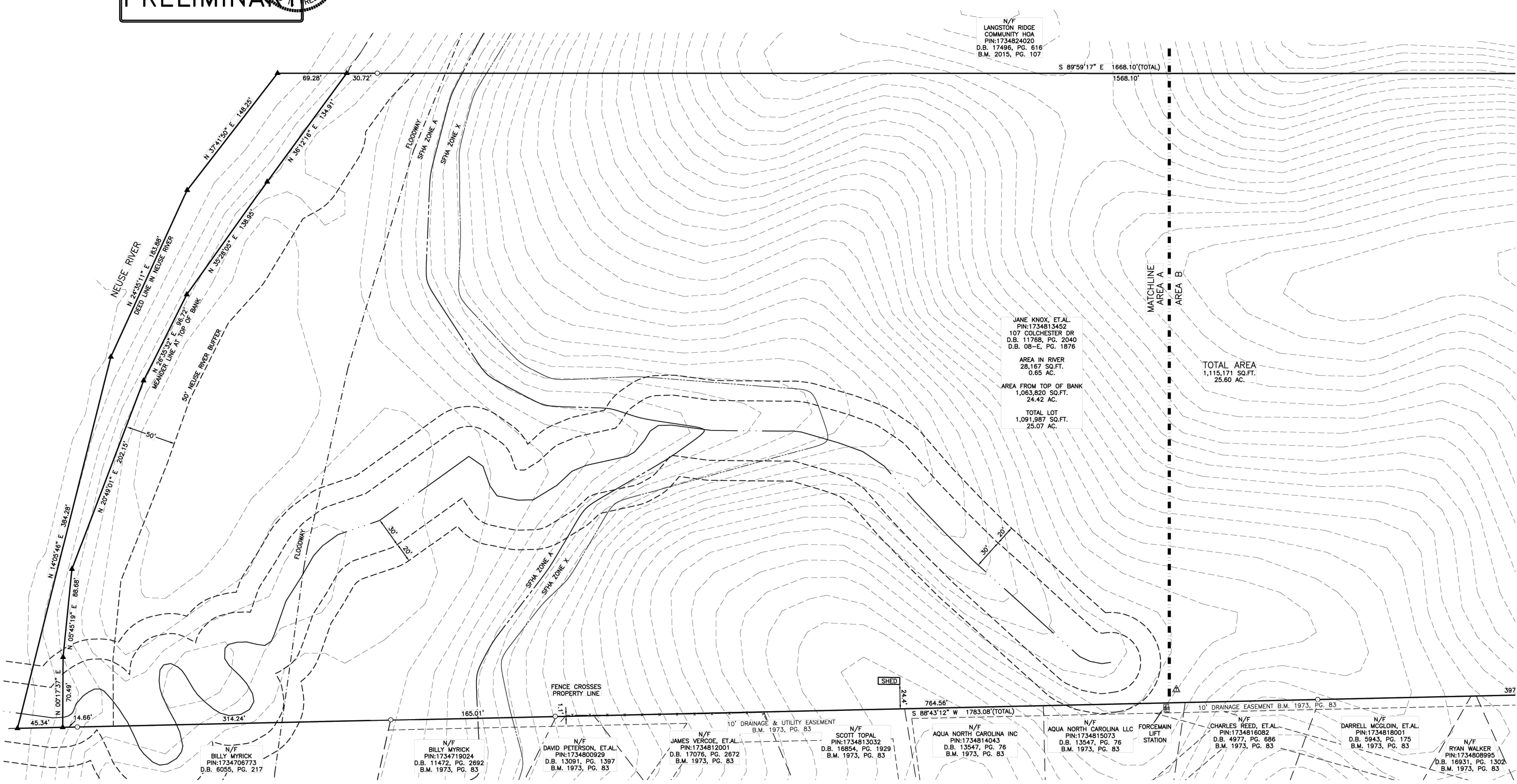
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10136 MIZNER LANE, RALEIGH, NC 27617
CITY, STATE ZIP
MARK PURYEAR
PHONE: 919. 931. 2300

**COLCHESTER DRIVE
EXISTING CONDITION TOWNS
105 AND 107 COLCHESTER DRIVE
TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA**



N/F
LANGSTON RIDGE
COMMUNITY HOA
PIN:1734824020
D.B. 17496, PG. 616
B.M. 2015, PG. 107

JANE KNOX, ET AL.
PIN:1734813452
107 COLCHESTER DR
D.B. 11768, PG. 2040
D.B. 08-E, PG. 1876

AREA IN RIVER
28,167 SQ.FT.
0.65 AC.

AREA FROM TOP OF BANK
1,063,820 SQ.FT.
24.42 AC.

TOTAL LOT
1,091,987 SQ.FT.
25.07 AC.

TOTAL AREA
1,115,171 SQ.FT.
25.60 AC.

N/F
BILLY MYRICK
PIN:1734719024
D.B. 6055, PG. 217

N/F
BILLY MYRICK
PIN:1734719024
D.B. 11472, PG. 2692
B.M. 1973, PG. 83

N/F
DAVID PETERSON, ET AL.
PIN:1734800929
D.B. 13091, PG. 1397
B.M. 1973, PG. 83

N/F
JAMES VERCOE, ET AL.
PIN:1734812001
D.B. 17076, PG. 2672
B.M. 1973, PG. 83

N/F
SCOTT TOPAL
PIN:1734813032
D.B. 18854, PG. 1929
B.M. 1973, PG. 83

N/F
AQUA NORTH CAROLINA INC
PIN:1734814043
D.B. 13547, PG. 76
B.M. 1973, PG. 83

N/F
AQUA NORTH CAROLINA LLC
PIN:1734815073
D.B. 13547, PG. 76
B.M. 1973, PG. 83

N/F
CHARLES REED, ET AL.
PIN:1734816092
D.B. 4977, PG. 686
B.M. 1973, PG. 83

N/F
DARRELL MCGLOIN, ET AL.
PIN:1734818001
D.B. 5943, PG. 175
B.M. 1973, PG. 83

N/F
RYAN WALKER
PIN:1734808995
D.B. 16931, PG. 1302
B.M. 1973, PG. 83

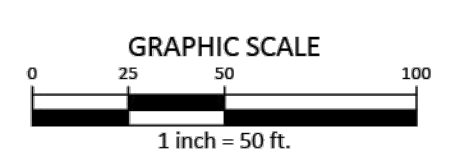
GENERAL NOTES

- THIS IS AN EXISTING CONDITIONS SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83(2011).
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: KNIGHTDALE, NC ZONING MAP DATED NOVEMBER 5, 2020
- AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS PARTIALLY LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONES "AE" AND "X" AS DEFINED BY F.E.M.A F.I.R.M COMMUNITY PANEL 3720173400K DATED 7/19/2022.
- REFERENCES: AS SHOWN
- UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- NO GRID MONUMENTS FOUND WITHIN 2000' OF SITE.
- CONTOURS SHOWN TAKEN FROM WAKE COUNTY GIS



LEGEND

○	BENCHMARK	—	SIGN
●	EXISTING IRON PIPE	—	MAILBOX
—	IRON PIPE SET	—	WATER WELL
●	CALCULATED POINT	—	WETLAND FLAGS
—	DRAINAGE INLET/YARD INLET	—	GAS LINE
—	CL CATCH BASIN AT BC	—	WATER LINE
—	STORM DRAIN MANHOLE	—	SEWER LINE
—	JUNCTION BOX	—	STORM LINE
—	FES	—	FENCE
—	ELECTRIC MANHOLE	—	UNDERGROUND TV CABLE
—	ELECTRIC METER	—	UNDERGROUND ELECTRIC LINE
—	ELECTRIC TRANSFORMER	—	UNDERGROUND FIBER OPTIC CABLE
—	ELECTRIC PEDESTAL	—	UNKNOWN UTILITY
—	ELECTRIC HANDHOLE	—	UNDERGROUND TELEPHONE CABLE
—	ELECTRIC BOX	—	OVERHEAD ELECTRIC LINE
—	GUY WIRE		
—	POWER/UTILITY POLE		
—	CLEAN OUT		
—	SEWER MANHOLE		
—	TELEPHONE PEDESTAL		
—	AIR CONDITIONER		



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. CDV21001
FILENAME CDV21001-C1
CHECKED BY RTF
DRAWN BY DJM
SCALE 1"=50'
DATE 8/10/2022

SHEET

EXISTING CONDITIONS
AREA "A"

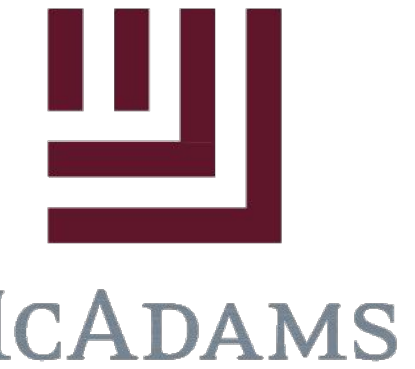
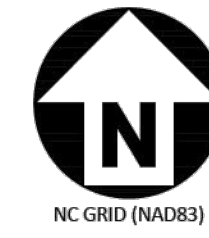
C1.01

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RONALD T. FREDERICK, P.L.S. L-4720 DATE

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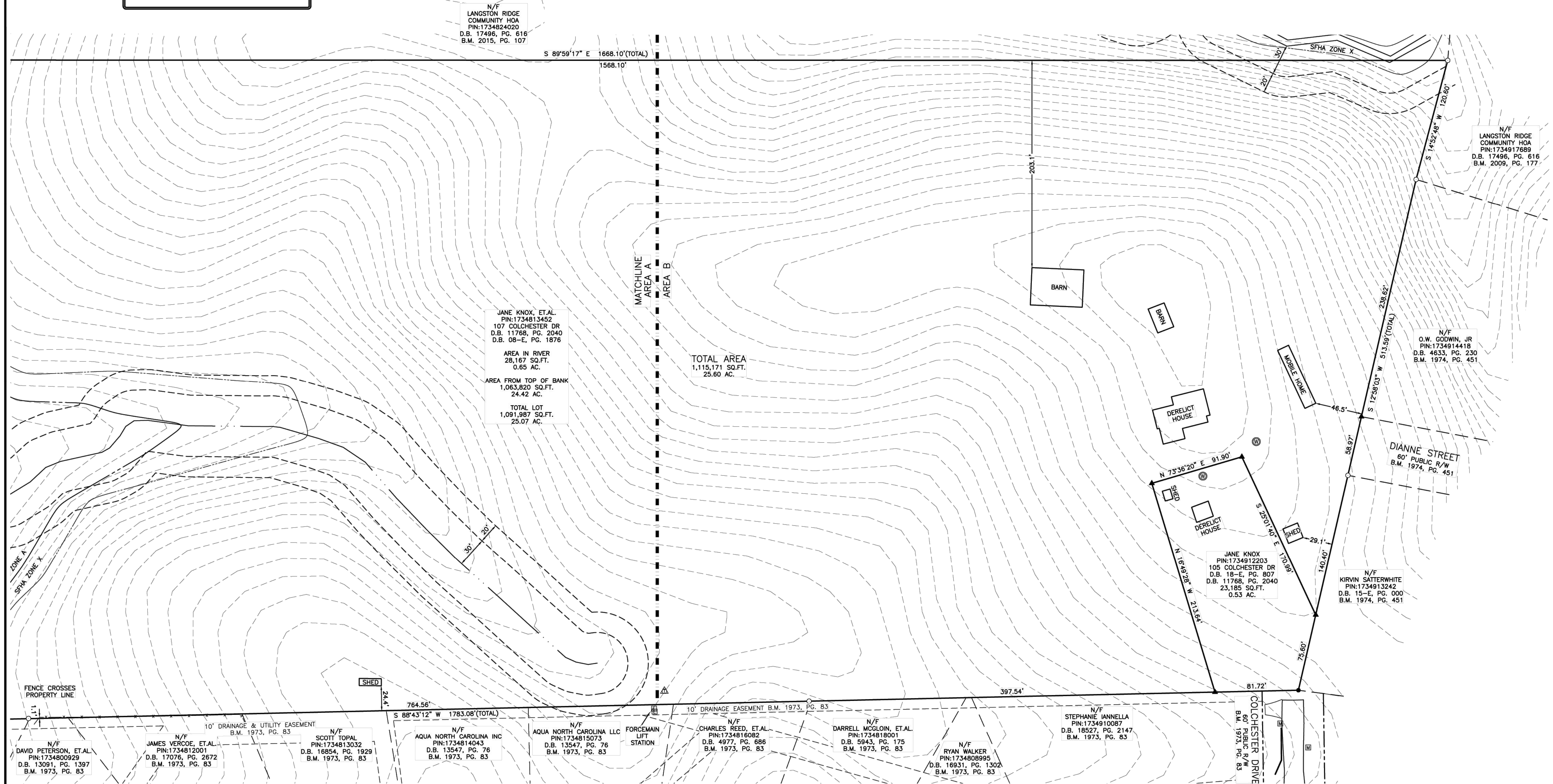
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**COLCHESTER DRIVE
EXISTING CONDITIONTOWNS
105 AND 107 COLCHESTER DRIVE
TOWN OF KNIGHTDALE, WAKE COUNTY, NORTH CAROLINA**

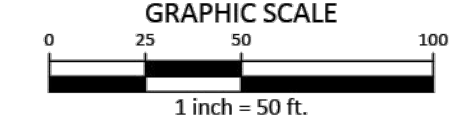


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LEGEND

●	BENCHMARK	⊕	SIGN
○	EXISTING IRON PIPE	⊞	MAILBOX
—	IRON PIPE SET	⊞	WATER WELL
○	CALCULATED POINT	⊞	WETLAND FLAGS
⊞	DRAINAGE INLET/YARD INLET	—	GAS LINE
⊞	CL CATCH BASIN AT BC	—	WATER LINE
⊞	STORM DRAIN MANHOLE	—	SEWER LINE
⊞	JUNCTION BOX	—	STORM LINE
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⊞	ELECTRIC MANHOLE	—	UNDERGROUND TV CABLE
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⊞	ELECTRIC HANDHOLE	—	UNDERGROUND TELEPHONE CABLE
⊞	ELECTRIC BOX	—	OVERHEAD ELECTRIC LINE
⊞	GUY WIRE		
⊞	POWER/UTILITY POLE		
⊞	CLEAN OUT		
⊞	SEWER MANHOLE		
⊞	TELEPHONE PEDESTAL		
⊞	AIR CONDITIONER		



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE
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PLAN INFORMATION

PROJECT NO.	CDV21001
FILENAME	CDV21001-C1
CHECKED BY	RTF
DRAWN BY	DJM
SCALE	1"=50'
DATE	8/10/2022

EXISTING CONDITIONS

AREA "B"
C1.02



McADAMS

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**RIVER POINTE
MASTER PLAN
105 AND 107 COLCHESTER DRIVE
KNIGHTDALE, NC 27545**

SITE LEGEND

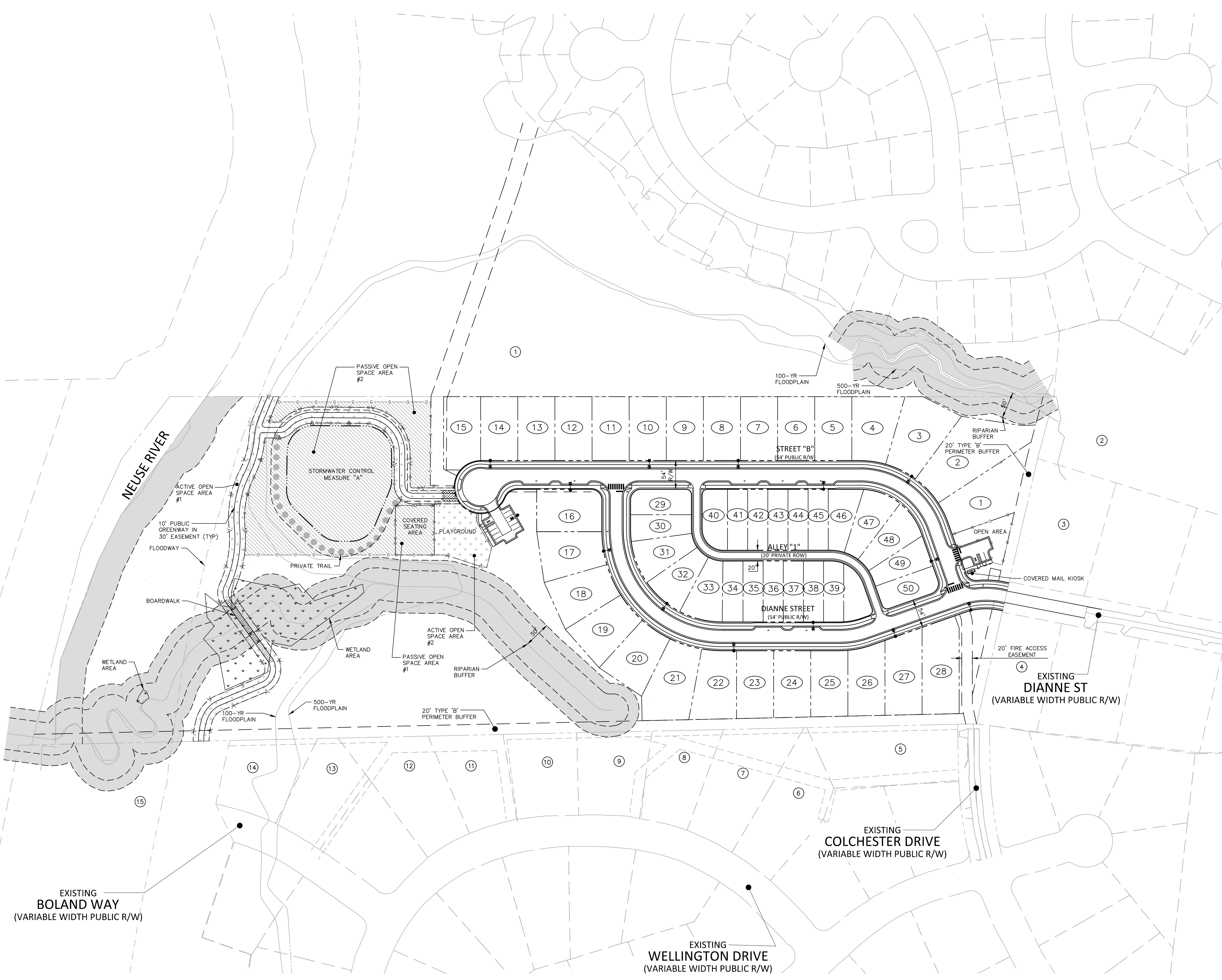
- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- PRIVATE TRAIL
- WETLANDS
- OPEN SPACE - PASSIVE
- OPEN SPACE - ACTIVE

PROPERTY OWNER INFORMATION

- | | |
|---|--|
| 1. LANGSTON RIDGE COMMUNITY HOMEOWNERS ASSOCIATION IN
PIN: 1734814000
ZONING: GR8 | 10. AQUA NORTH CAROLINA INC
PIN: 1734814043
ZONING: OSP |
| 2. LANGSTON RIDGE COMMUNITY HOMEOWNERS ASSOCIATION IN
PIN: 1734917689
ZONING: GR8 | 11. TOPAL, SCOTT
PIN: 1734813032
ZONING: GR3 |
| 3. GODWIN, O W JR
PIN: 1734914418
ZONING: GR8 | 12. VERCOE, JAMES VERCOE, MELISSA
PIN: 1734812001
ZONING: GR3 |
| 4. SATTERWHITE, KIRVIN HEIRS
PIN: 1734913242
ZONING: GR8 | 13. PETERSON, DAVID A JR PETERSON, SUSAN M
PIN: 1734809929
ZONING: GR3 |
| 5. IANNELLA, STEPHANIE A
PIN: 1734910087
ZONING: GR3 | 14. MYRICK, BILLY S
PIN: 1734719024
ZONING: GR3 |
| 6. WALKER, RYAN L WALKER, ABBY J
PIN: 1734808995
ZONING: GR3 | 15. MYRICK, BILLY S
PIN: 1734706773
ZONING: OSP |
| 7. MCGLOIN, DARRELL S MCGLOIN, STACY L
PIN: 1734818001
ZONING: GR3 | |
| 8. REED, CHARLES H JR REED, VIVIAN M
PIN: 1734816082
ZONING: GR3 | |
| 9. AQUA NORTH CAROLINA INC
PIN: 1734815073
ZONING: OSP | |

OPEN SPACE PROGRAMMING

	AMENITY OPTIONS
OPEN SPACE 1	10' GREENWAY TRAIL (ACTIVE - 0.86 AC)
OPEN SPACE 2	PARKGROUND & ACTIVITY LAWN (ACTIVE - 0.22 AC)
OPEN SPACE 3	PARK SEATING AREA (PASSIVE - 0.16 AC)
OPEN SPACE 4	SCM A, LANDSCAPING, BENCHES (PASSIVE - 1.75 AC)



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REVISIONS

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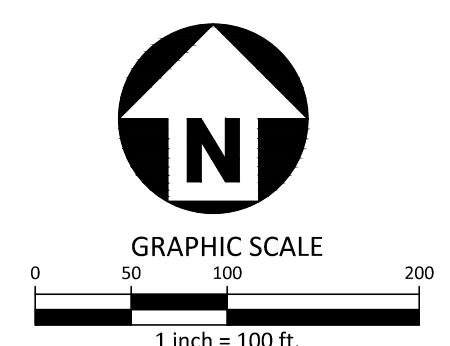
PLAN INFORMATION

PROJECT NO. CDV21001
 FILENAME CDV21001-OAS1
 CHECKED BY JCM
 DRAWN BY RJF/CNM
 SCALE 1" = 100'
 DATE 09.30.2022

SHEET

OVERALL SITE PLAN

C2.00



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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PLAN INFORMATION

PROJECT NO. CDV21001
FILENAME CDV21001-S1
CHECKED BY JCM
DRAWN BY RJF/CNM
SCALE 1" = 40'
DATE 09.30.2022

SHEET

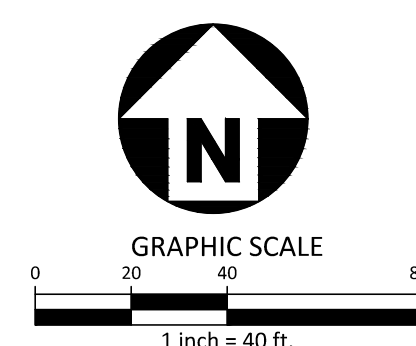
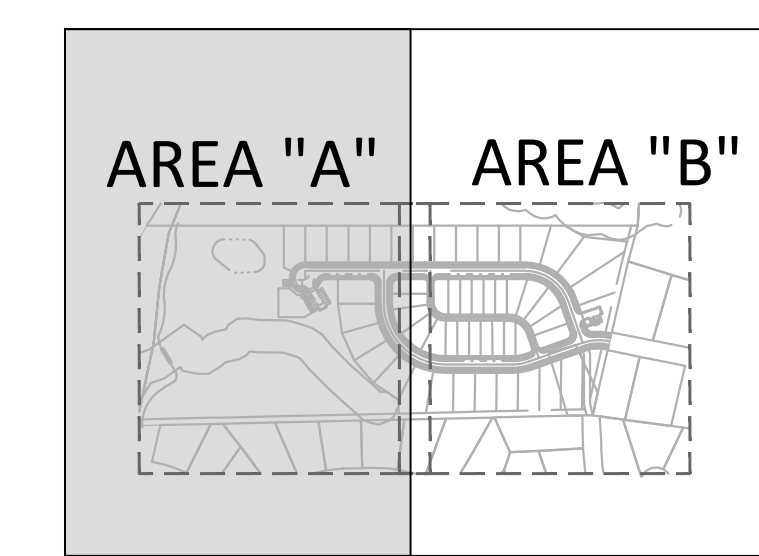
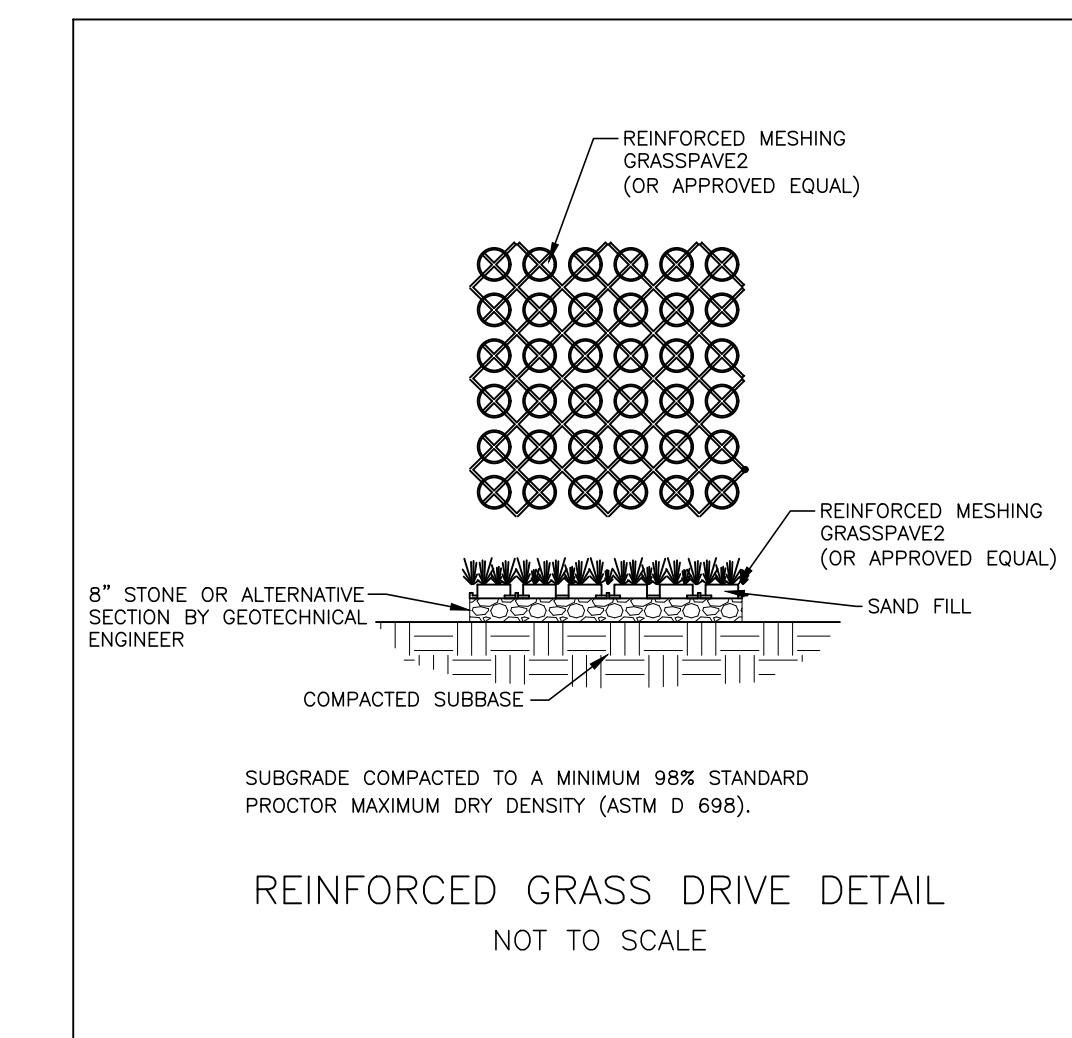
SITE PLAN AREA "A"

C2.01

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- PRIVATE TRAIL
- WETLANDS

MATCH LINE - SEE SHEET C2.02

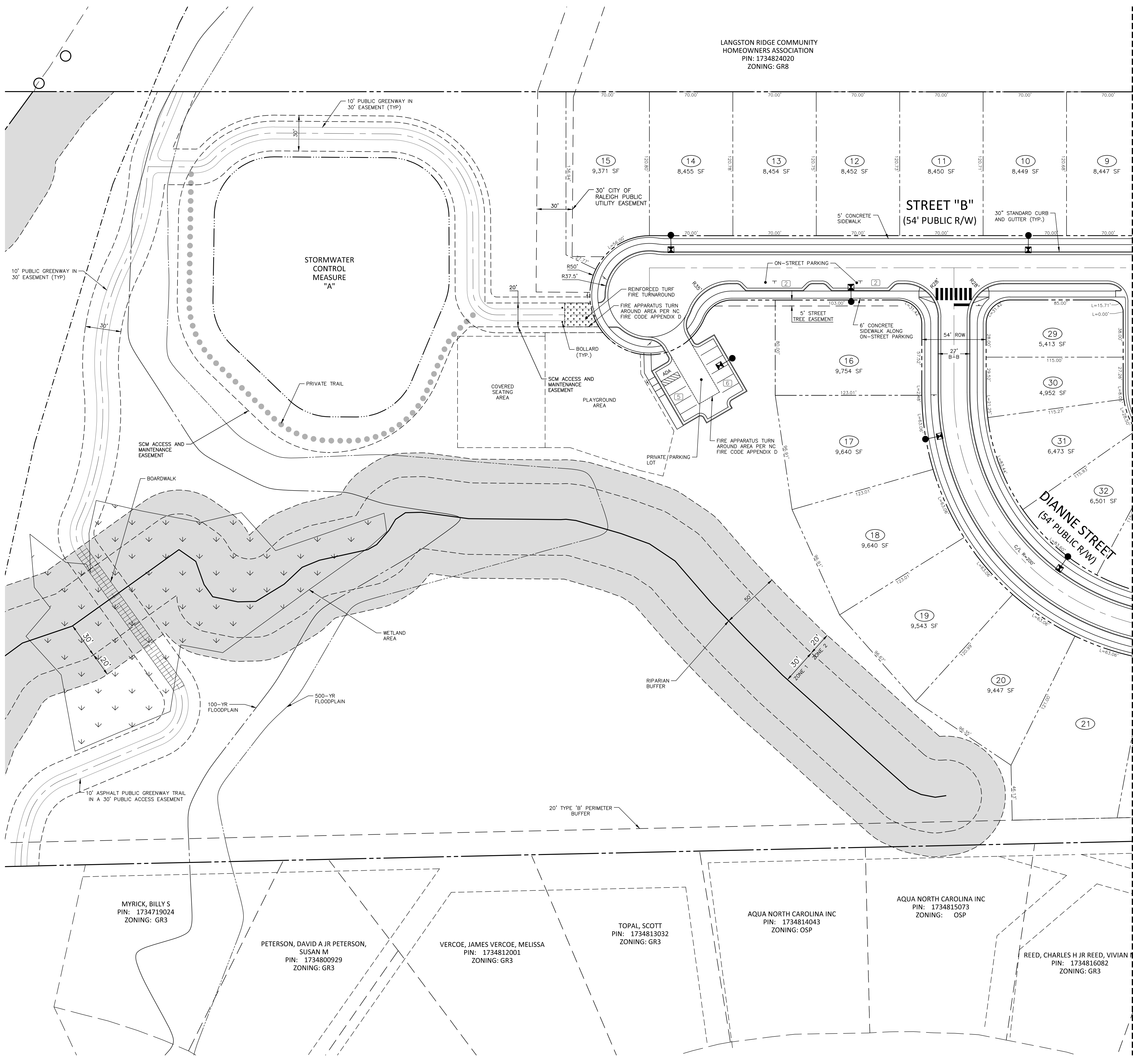


PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

LANGSTON RIDGE COMMUNITY HOMEOWNERS ASSOCIATION
PIN: 1734824020
ZONING: GR8

STREET "B"
(54' PUBLIC R/W)

DIANNE STREET
(54' PUBLIC R/W)



MYRICK, BILLY S
PIN: 1734719024
ZONING: GR3

PETERSON, DAVID A JR
SUSAN M
PIN: 1734800929
ZONING: GR3

VERCOE, JAMES
MELISSA
PIN: 1734812001
ZONING: GR3

TOPAL, SCOTT
PIN: 1734813032
ZONING: GR3

AQUA NORTH CAROLINA INC
PIN: 1734814043
ZONING: OSP

AQUA NORTH CAROLINA INC
PIN: 1734815073
ZONING: OSP

REED, CHARLES H JR
REED, VIVIAN
PIN: 1734816082
ZONING: GR3

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MASTER PLAN
105 AND 107 COLCHESTER DRIVE
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6	

PLAN INFORMATION

PROJECT NO. CDV21001
FILENAME CDV21001-51
CHECKED BY JCM
DRAWN BY RJF/CNM
SCALE 1" = 40'
DATE 09.30.2022

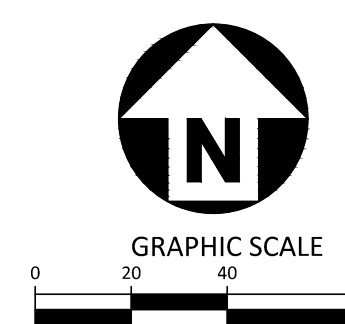
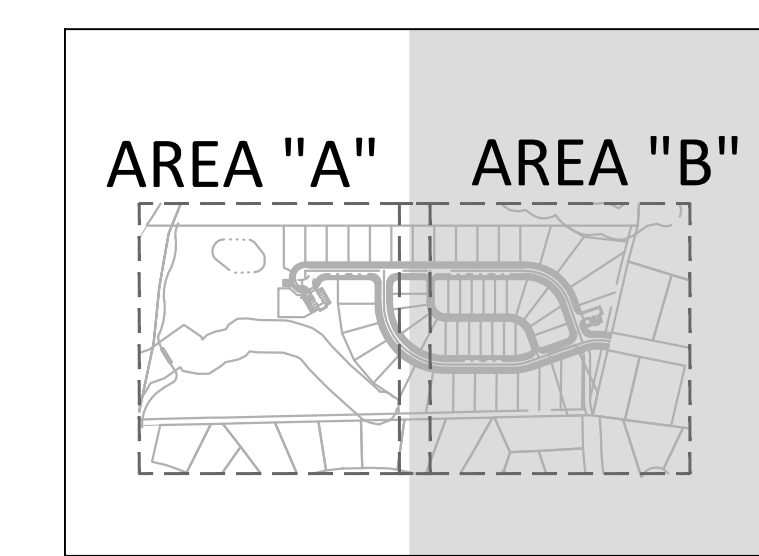
SHEET

SITE PLAN AREA "B"

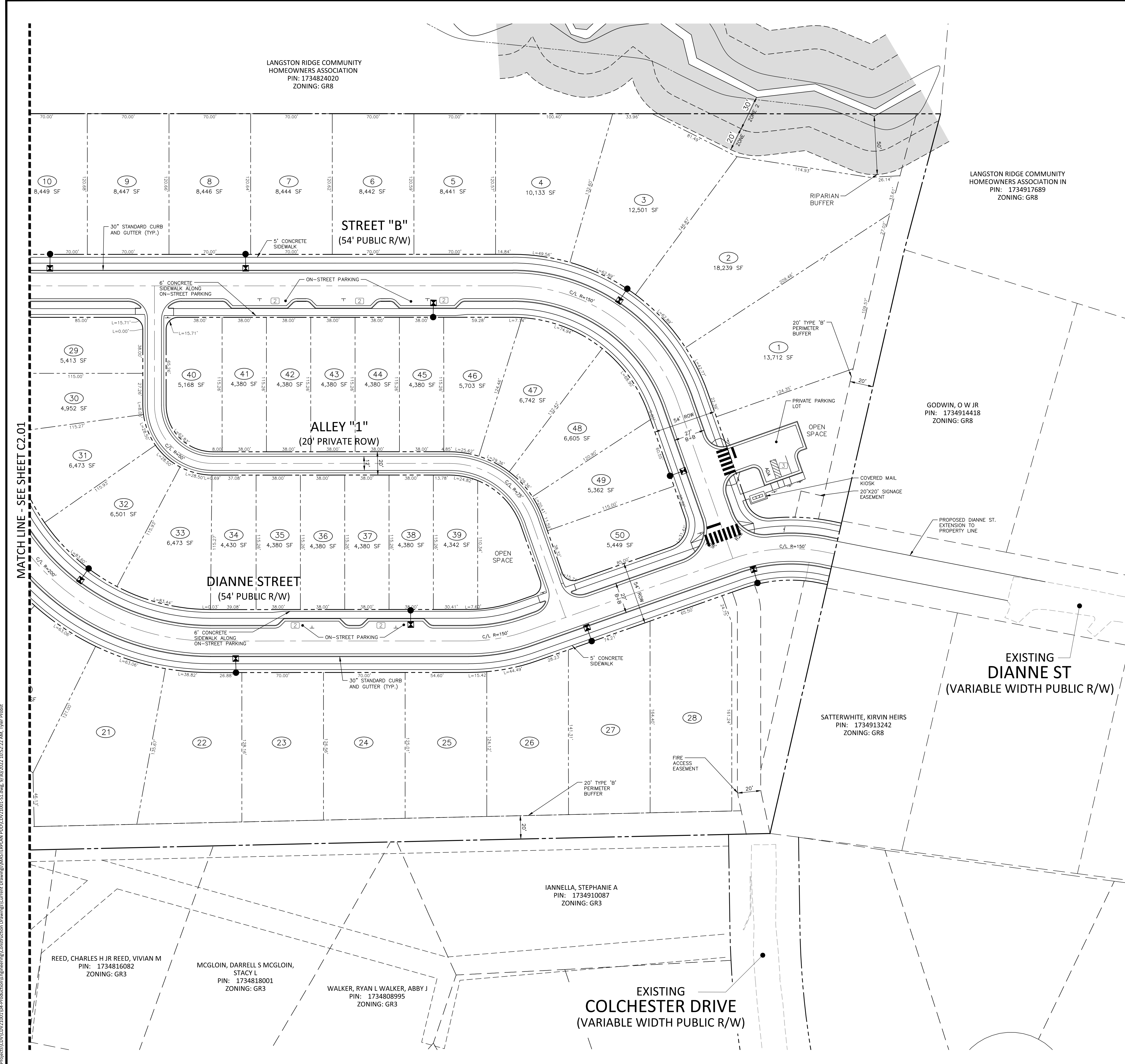
C2.02

SITE LEGEND

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	TRAIL
	WETLANDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



M:\Projects\CDV\21001\04-Production\Engineering\Construction Drawings\Current Drawings\MasterPlan_PUD\CDV21001-51.dwg, 9/30/2022 10:52:22 AM, Tyler Probst

REED, CHARLES H JR REED, VIVIAN M
PIN: 1734816082
ZONING: GR3

MCGLOIN, DARRELL S MCGLOIN,
STACY L
PIN: 1734818001
ZONING: GR3

WALKER, RYAN L WALKER, ABBY J
PIN: 1734808995
ZONING: GR3

IANNELLA, STEPHANIE A
PIN: 1734910087
ZONING: GR3

SATTERWHITE, KIRVIN HEIRS
PIN: 1734913242
ZONING: GR8

GODWIN, O W JR
PIN: 1734914418
ZONING: GR8

EXISTING
DIANNE ST
(VARIABLE WIDTH PUBLIC R/W)

EXISTING
COLCHESTER DRIVE
(VARIABLE WIDTH PUBLIC R/W)

LANGSTON RIDGE COMMUNITY
HOMEOWNERS ASSOCIATION
PIN: 1734824020
ZONING: GR8

LANGSTON RIDGE COMMUNITY
HOMEOWNERS ASSOCIATION IN
PIN: 1734917689
ZONING: GR8

STREET "B"
(54' PUBLIC R/W)

ALLEY "1"
(20' PRIVATE ROW)

DIANNE STREET
(54' PUBLIC R/W)



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

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CLIENT

CAROLINA DEVELOPMENT GROUP, LLC
10136 MIZNER LANE
RALEIGH, NC
MARK PURYEAR
PHONE: 919. 931. 2300

POSTED SPEED = 25 MPH
DESIGN SPEED = 30 MPH

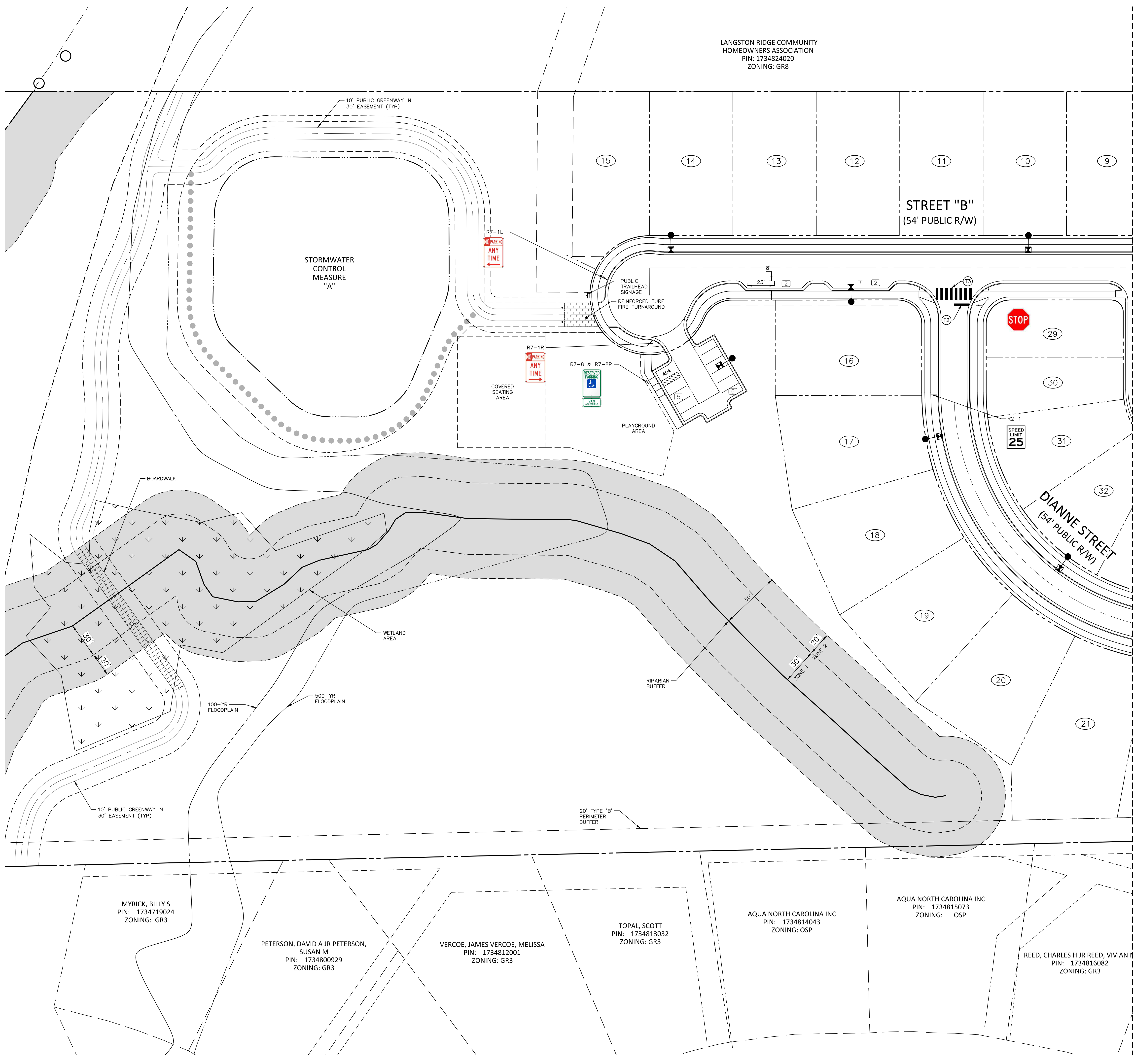
1. ALL NEW SIGNS WILL INCLUDE PRISMATIC SHEETING AND WILL CONFORM TO THE LATEST RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.
2. ALL SIGNS MUST MEET MUTCD GUIDELINES FOR LETTER HEIGHT, LETTER CASE AND SIGN COLOR.

PAVEMENT MARKING LEGEND

LANE LINES/MARKINGS

- T2 24" WHITE STOPBAR
- T3 24" WHITE CROSSWALK LINE (HIGH VISIBILITY)

SITE SIGN KEY



MATCH LINE - SEE SHEET C2.02



**RIVER POINTE
MASTER PLAN
105 AND 107 COLCHESTER DRIVE
KNIGHTDALE, NC 27545**



REVISIONS

NO.	DATE
1	
2	
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4	
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6	

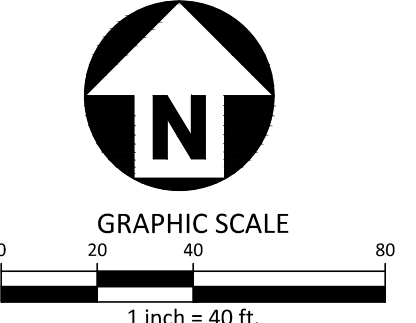
PLAN INFORMATION

PROJECT NO. CDV21001
 FILENAME CDV21001-S1
 CHECKED BY JCM
 DRAWN BY RJF/CNM
 SCALE 1" = 40'
 DATE 09.30.2022

SHEET

PAVEMENT MARKING AND SIGNAGE PLAN AREA "A"

C2.10



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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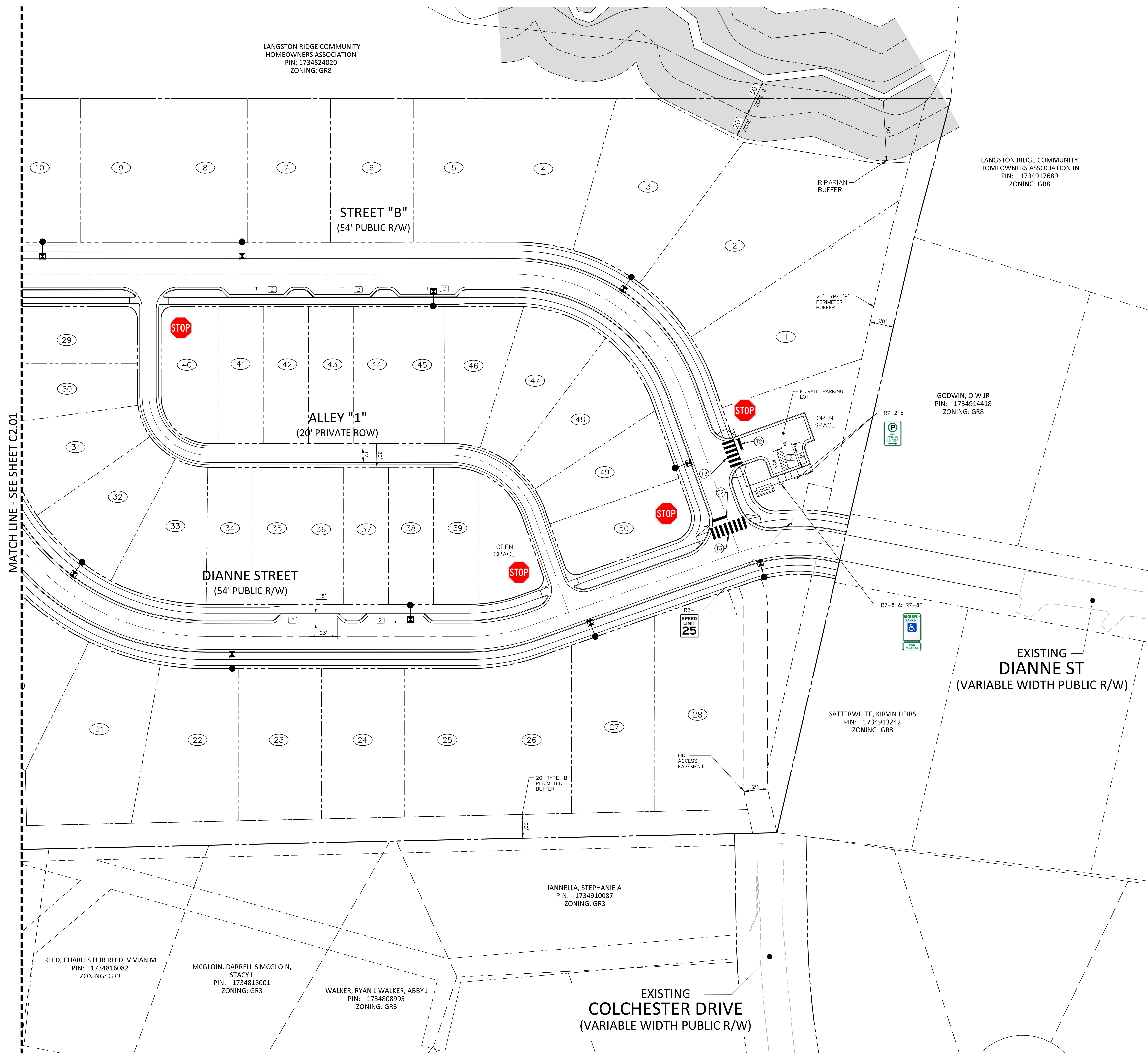
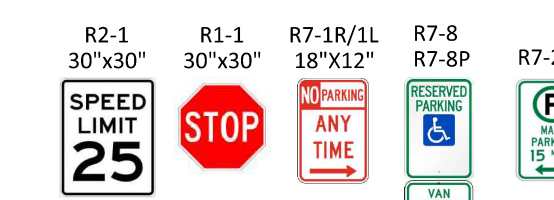
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DESIGN SPEED = 30 MPH

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2. ALL SIGNS MUST MEET MUTCD GUIDELINES FOR LETTER HEIGHT, LETTER CASE AND SIGN COLOR.

PAVEMENT MARKING LEGEND

- LANE LINES/MARKINGS**
- T2 24" WHITE STOPBAR
 - T3 24" WHITE CROSSWALK LINE (HIGH VISIBILITY)

SITE SIGN KEY



**RIVER POINTE
MASTER PLAN
105 AND 107 COLCHESTER DRIVE**
KNIGHTDALE, NC 27545



REVISIONS

NO.	DATE
1	
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4	
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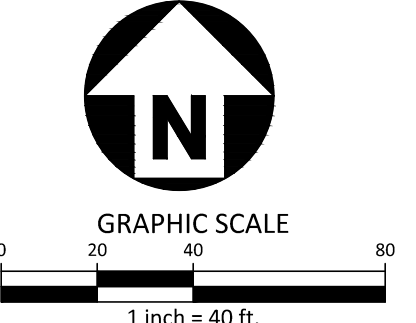
PLAN INFORMATION

PROJECT NO. CDV21001
 FILENAME CDV21001-S1
 CHECKED BY JCM
 DRAWN BY RJF/CNM
 SCALE 1" = 40'
 DATE 09.30.2022

SHEET

PAVEMENT MARKING AND SIGNAGE PLAN AREA "B"

C2.11



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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REED, CHARLES H JR REED, VIVIAN M
PIN: 1734816082
ZONING: GR3

MCGLOIN, DARRELL S MCGLOIN,
STACY L
PIN: 1734818001
ZONING: GR3

WALKER, RYAN L WALKER, ABBY J
PIN: 1734808995
ZONING: GR3

IANNELLA, STEPHANIE A
PIN: 1734910087
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PIN: 1734913242
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PIN: 1734914418
ZONING: GR8

LANGSTON RIDGE COMMUNITY
HOMEOWNERS ASSOCIATION IN
PIN: 1734917689
ZONING: GR8

LANGSTON RIDGE COMMUNITY
HOMEOWNERS ASSOCIATION
PIN: 1734824020
ZONING: GR8

EXISTING
COLCHESTER DRIVE
(VARIABLE WIDTH PUBLIC R/W)

DIANNE STREET
(54' PUBLIC R/W)

ALLEY "1"
(20' PRIVATE ROW)

STREET "B"
(54' PUBLIC R/W)



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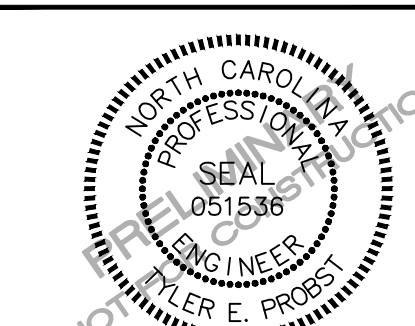
phone 919. 361. 5000
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license number: C-0293, C-187

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MARK PURYEAR
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RIVER POINTE
MASTER PLAN
105 AND 107 COLCHESTER DRIVE
KNIGHTDALE, NC 27545



REVISIONS

NO.	DATE
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2	
3	
4	
5	
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PLAN INFORMATION

PROJECT NO. CDV21001
FILENAME CDV21001-OAU1
CHECKED BY JCM
DRAWN BY RJF/CNM
SCALE 1" = 100'
DATE 09.30.2022

SHEET

OVERALL UTILITY PLAN

C3.00

UTILITY LEGEND

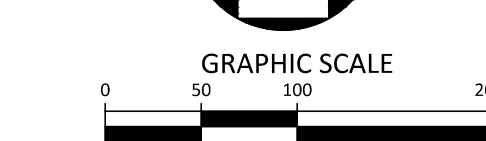
- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE

STANDARD UTILITY NOTES (AS APPLICABLE):

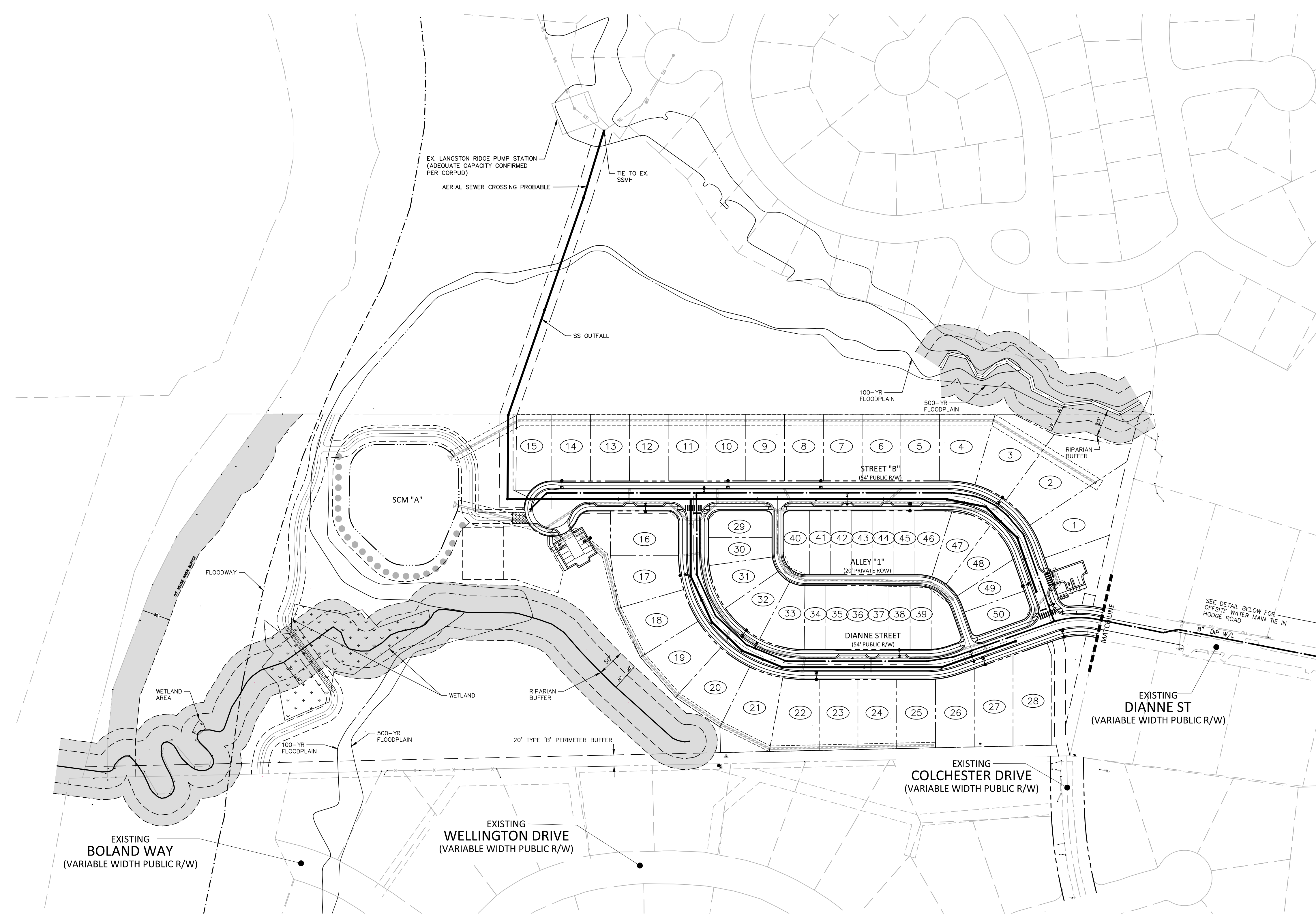
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
- WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
- WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
- 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
- MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
- ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 10' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN

OFFSITE UTILITY CONNECTION NOTES:

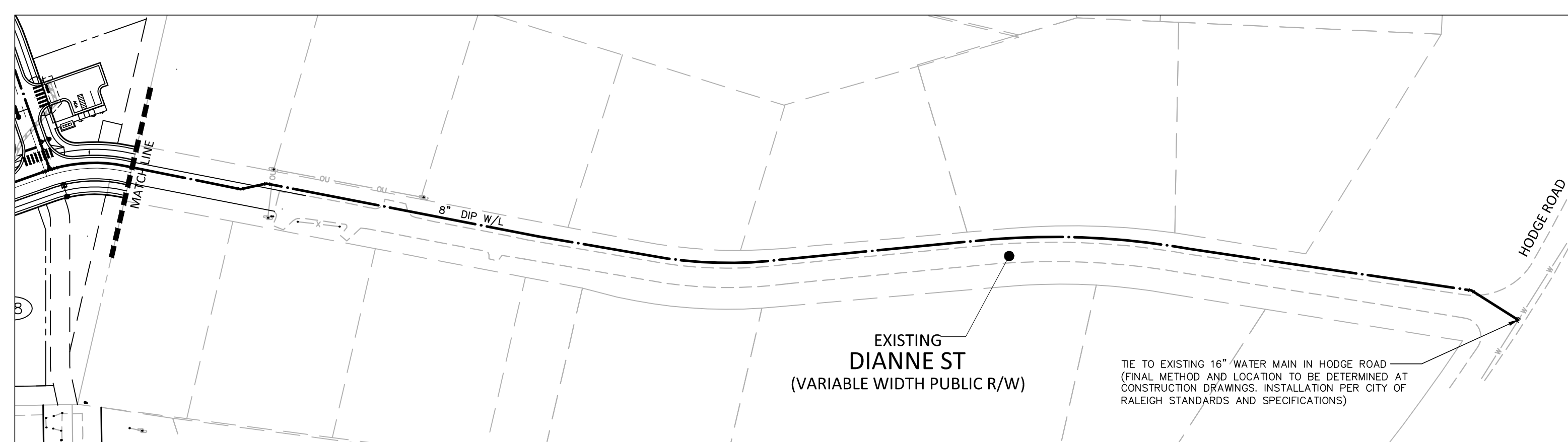
- ALL EXISTING INFORMATION SHOWN IS VIA IMAPS GIS AND IS NOT SURVEYED INFORMATION.
- IT IS UNDERSTOOD VIA COORDINATION WITH CORPUD THAT THE WATER LOOP CONNECTION IS NECESSARY TO OBTAIN REQUIRED FIRE FLOW ON SITE.
- PROPOSED UTILITIES SHALL BE PLACED A MINIMUM 5' OFF EDGE OF PAVEMENT WHERE SHOWN.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



DIANNE STREET WATER LINE EXTENSION



M:\Projects\CDV\CDV21001\04-Production\Drawings\Construction Drawings\Current Drawings\MasterPlan_PUD\CDV21001_09.30.2022_10.52.45 AM_Tyler Probst.dwg



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CLIENT

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10136 MIZNER LANE
RALEIGH, NC
MARK PURYEAR
PHONE: 919. 931. 2300

**RIVER POINTE
MASTER PLAN
105 AND 107 COLCHESTER DRIVE
KNIGHTDALE, NC 27545**



REVISIONS

NO.	DATE
1	
2	
3	
4	
5	
6	

PLAN INFORMATION

PROJECT NO. CDV21001
 FILENAME CDV21001-U1
 CHECKED BY JCM
 DRAWN BY RJF/CNM
 SCALE 1" = 40'
 DATE 09.30.2022

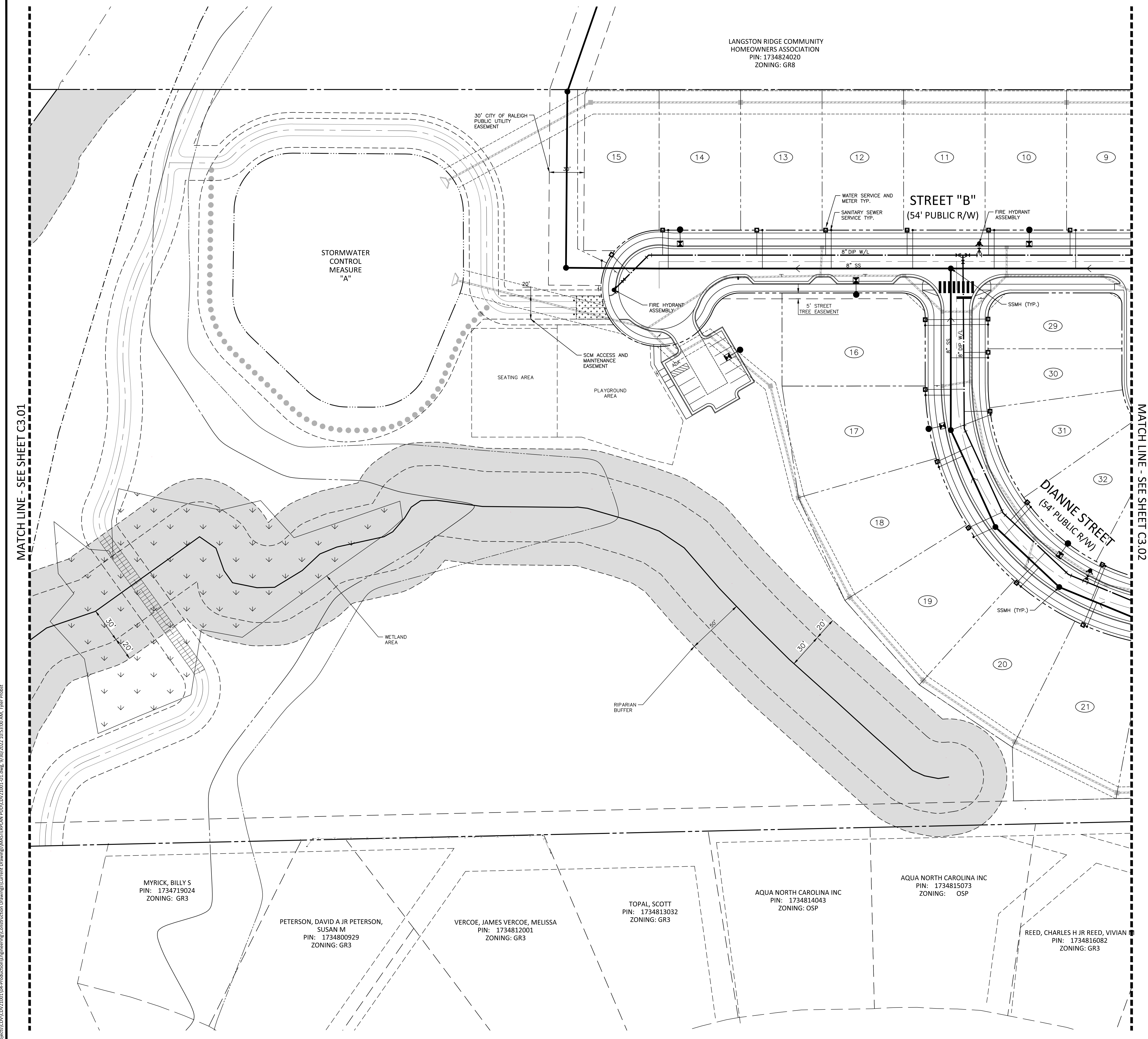
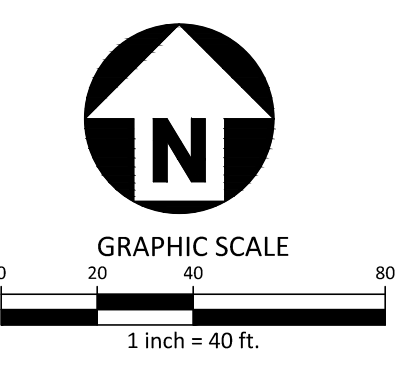
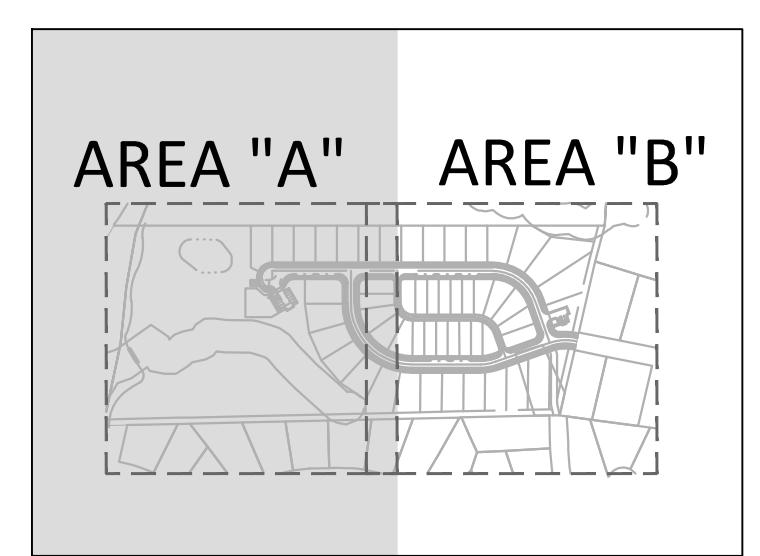
SHEET

UTILITY PLAN AREA "A"

C3.01

UTILITY LEGEND

	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
	WATER VALVE
	POST INDICATOR VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	GREASE TRAP
	SEWER FLOW DIRECTION ARROW
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	UTILITY SLEEVE
	SANITARY SEWER
	SEWER SERVICE LINE
	SEWER FORCE MAIN
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE



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REVISIONS

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PLAN INFORMATION

PROJECT NO. CDV21001
 FILENAME CDV21001-U1
 CHECKED BY JOM
 DRAWN BY RXP/CNM
 SCALE #####
 DATE 09.30.2022

SHEET

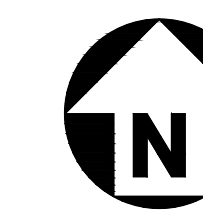
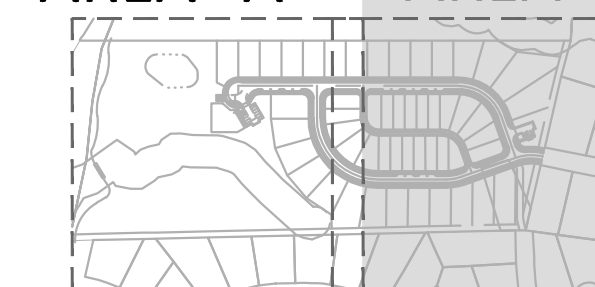
UTILITY PLAN AREA "B"

C3.02

UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
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- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE

AREA "A" AREA "B"



GRAPHIC SCALE
1 inch = 40 ft.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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LANGSTON RIDGE COMMUNITY HOMEOWNERS ASSOCIATION
PIN: 1734824020
ZONING: GR8

LANGSTON RIDGE COMMUNITY HOMEOWNERS ASSOCIATION IN
PIN: 1734917689
ZONING: GR8

GODWIN, O W JR
PIN: 1734914418
ZONING: GR8

SATTERWHITE, KIRVIN HEIRS
PIN: 1734913242
ZONING: GR8

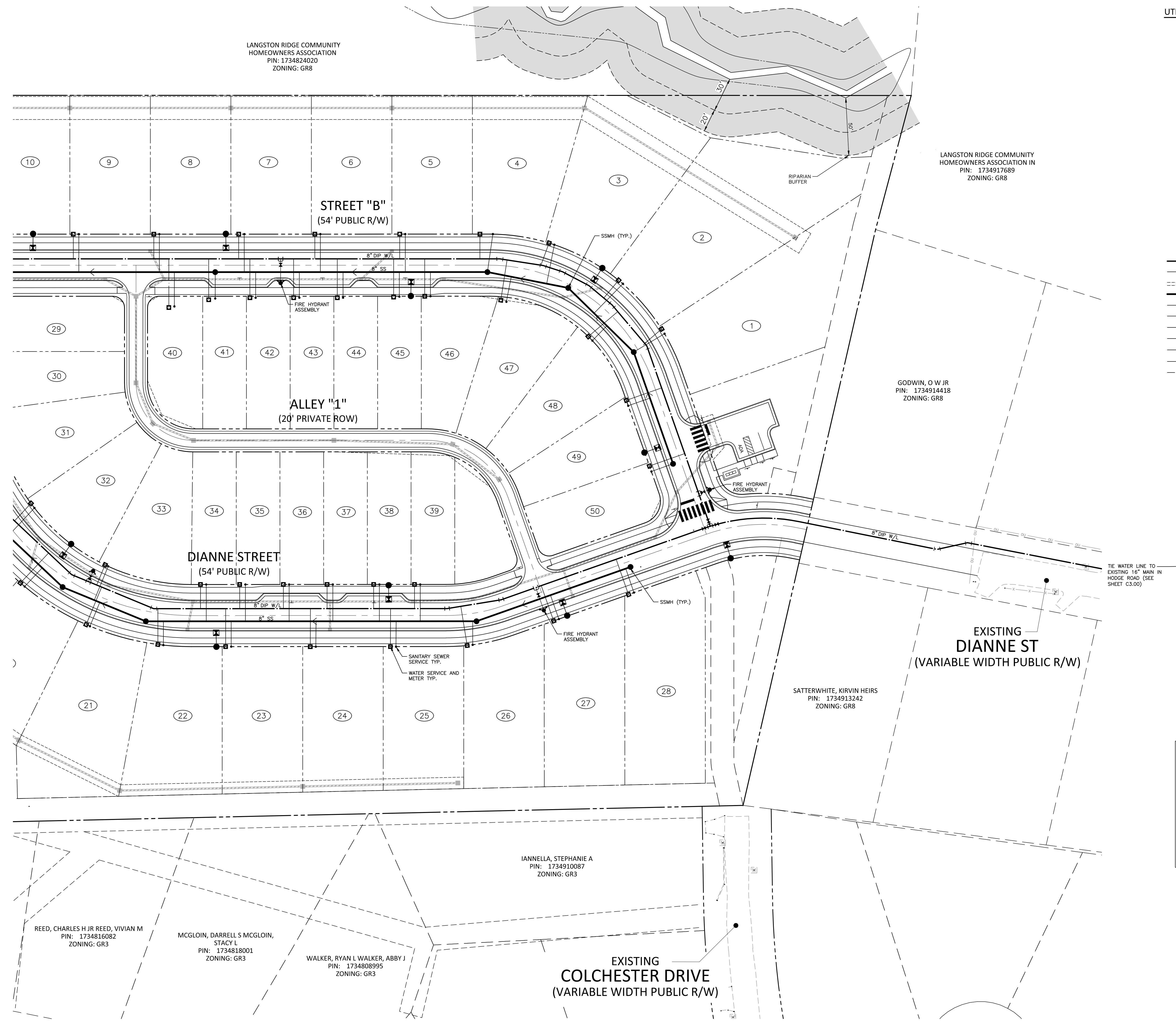
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PIN: 1734910087
ZONING: GR3

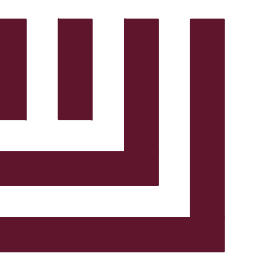
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ZONING: GR3

MCGLOIN, DARRELL S MCGLOIN, STACY L
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ZONING: GR3

WALKER, RYAN L WALKER, ABBY J
PIN: 1734808995
ZONING: GR3

EXISTING COLCHESTER DRIVE
(VARIABLE WIDTH PUBLIC R/W)





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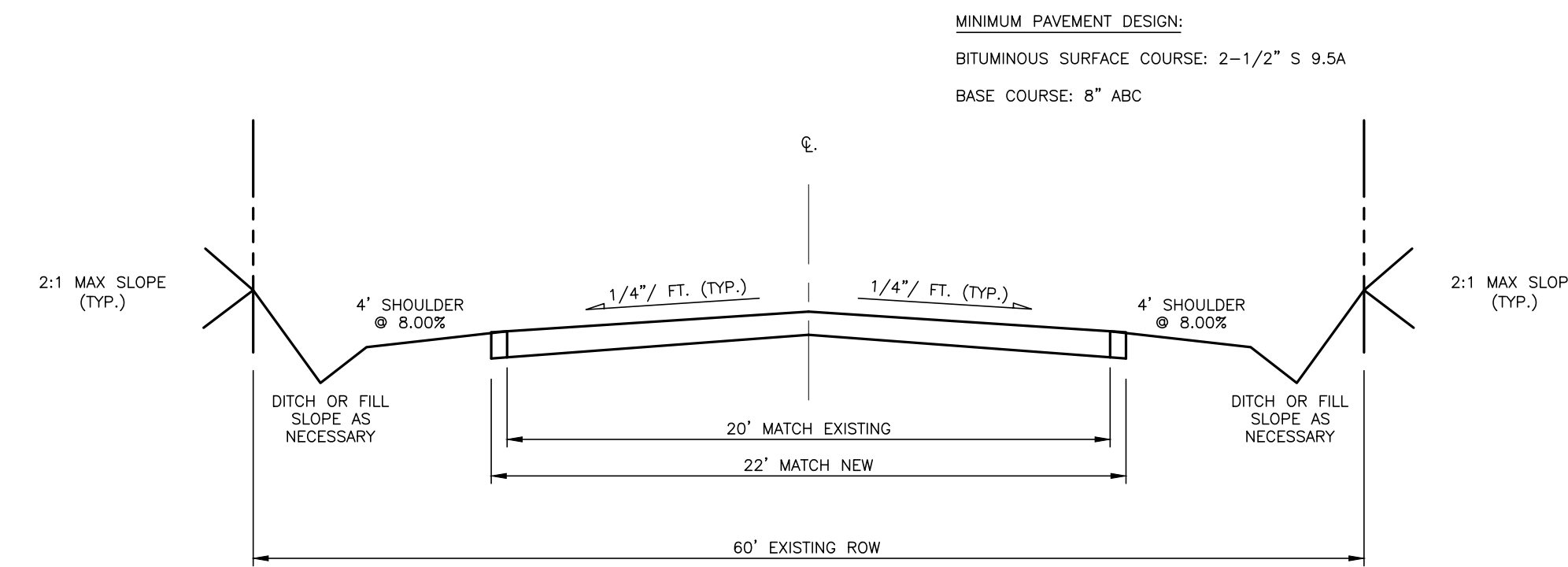
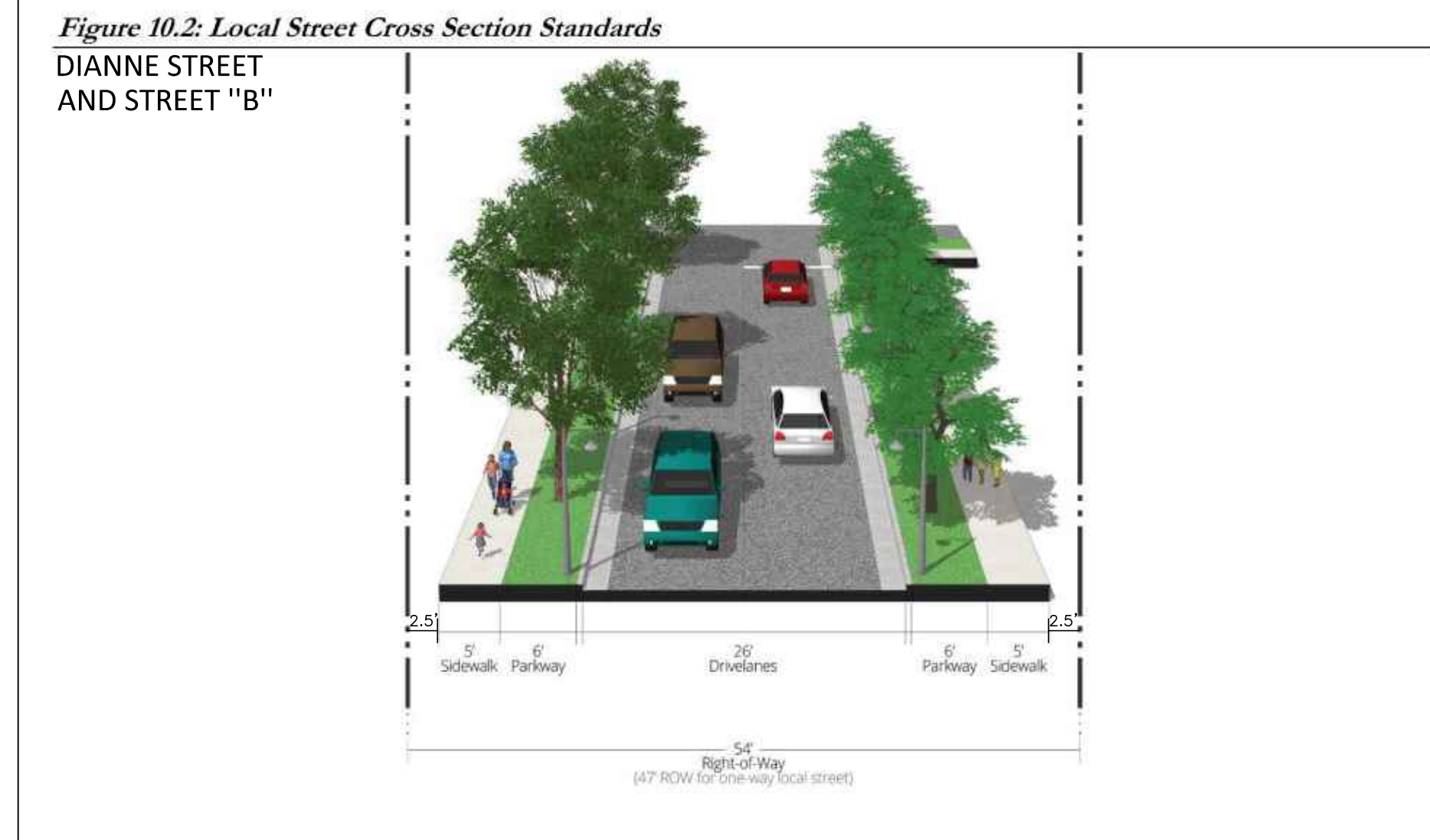
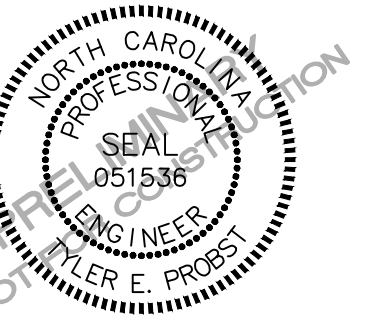
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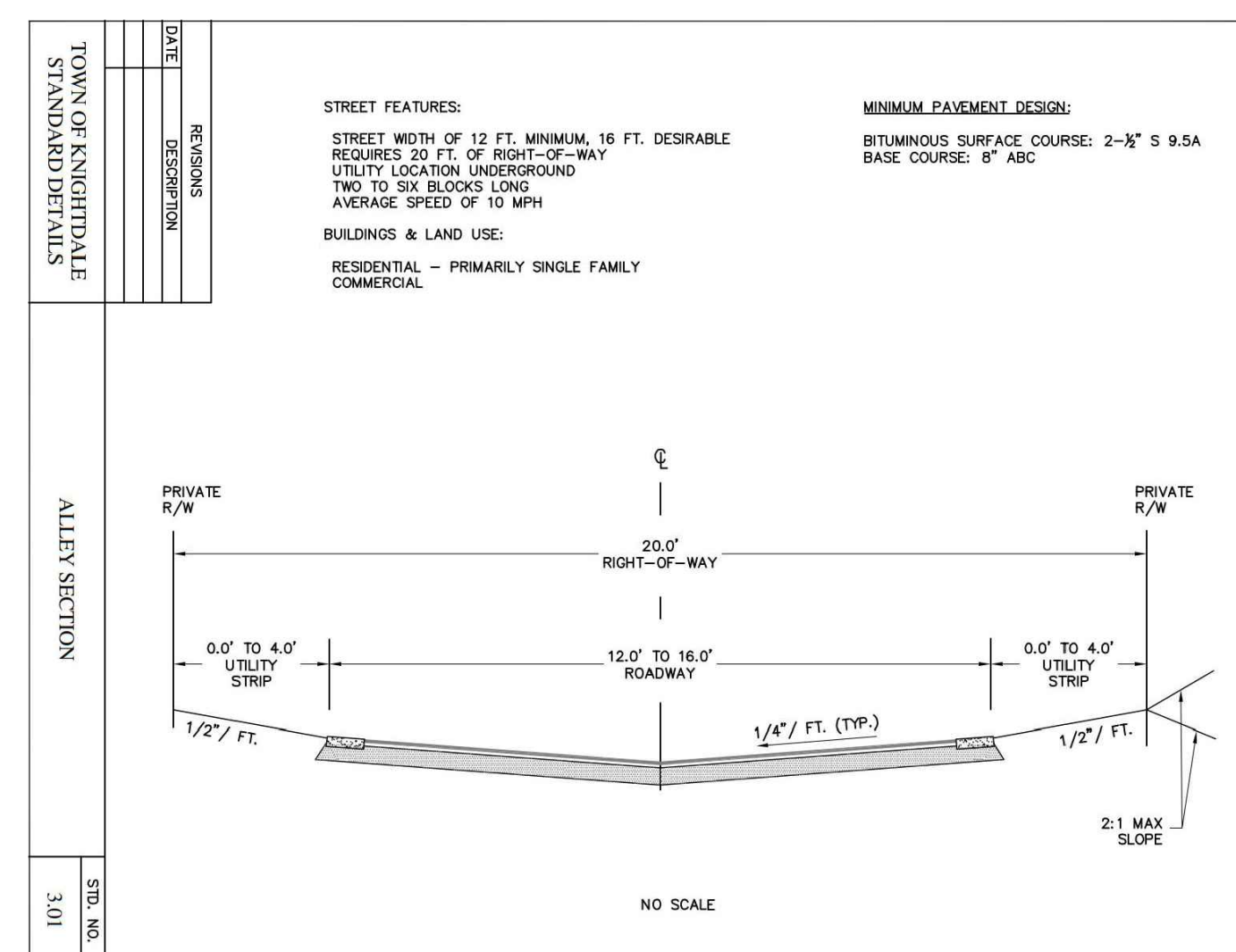
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**RIVER POINTE
MASTER PLAN
105 AND 107 COLCHESTER DRIVE
KNIGHTDALE, NC 27545**



DIANNE STREET EXTENSION



DATE	REVISION

TOWN OF KNIGHTDALE
STANDARD DETAILS

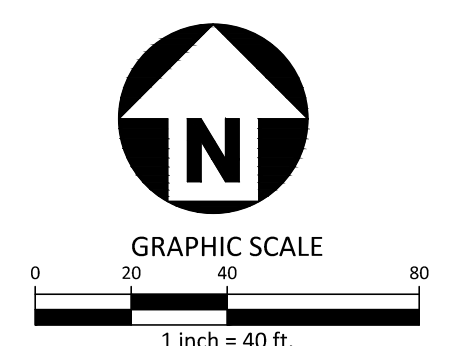
ALLEY SECTION

DATE: 3/01

NO. 3/01

STREET FEATURES:
STREET WIDTH OF 12 FT. MINIMUM, 16 FT. DESIRABLE
REQUIRES 20 FT. OF RIGHT-OF-WAY
UTILITY LOCATION UNDERGROUND
TWO TO SIX BLOCKS LONG
AVERAGE SPEED OF 10 MPH
BUILDINGS & LAND USE:
RESIDENTIAL - PRIMARILY SINGLE FAMILY
COMMERCIAL

MINIMUM PAVEMENT DESIGN:
BITUMINOUS SURFACE COURSE: 2-1/2" S 9.5A
BASE COURSE: 8" ABC



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE
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PLAN INFORMATION

PROJECT NO. CDV21001
FILENAME CDV21001-D1
CHECKED BY JCM
DRAWN BY RJF/CNM
SCALE NTS
DATE 09.30.2022

SHEET

TYPICAL SECTIONS

C8.00



McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

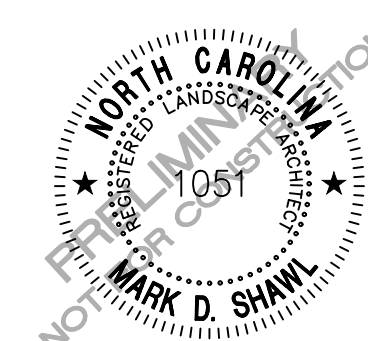
phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CLIENT

CAROLINA DEVELOPMENT GROUP, LLC
10136 MIZNER LANE
RALEIGH, NC
MARK PURYEAR
PHONE: 919. 931. 2300

**RIVER POINTE
MASTER PLAN
105 AND 107 COLCHESTER DRIVE
KNIGHTDALE, NC 27545**



REVISIONS

NO.	DATE
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PLAN INFORMATION

PROJECT NO. CDV21001
 FILENAME CDV21001-L5.01
 CHECKED BY XOX
 DRAWN BY XOX
 SCALE 1" = 40'
 DATE 09.30.2022

SHEET

**LANDSCAPE PLAN AREA
"A"**

L5.00

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMP
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE

PLANT SCHEDULE

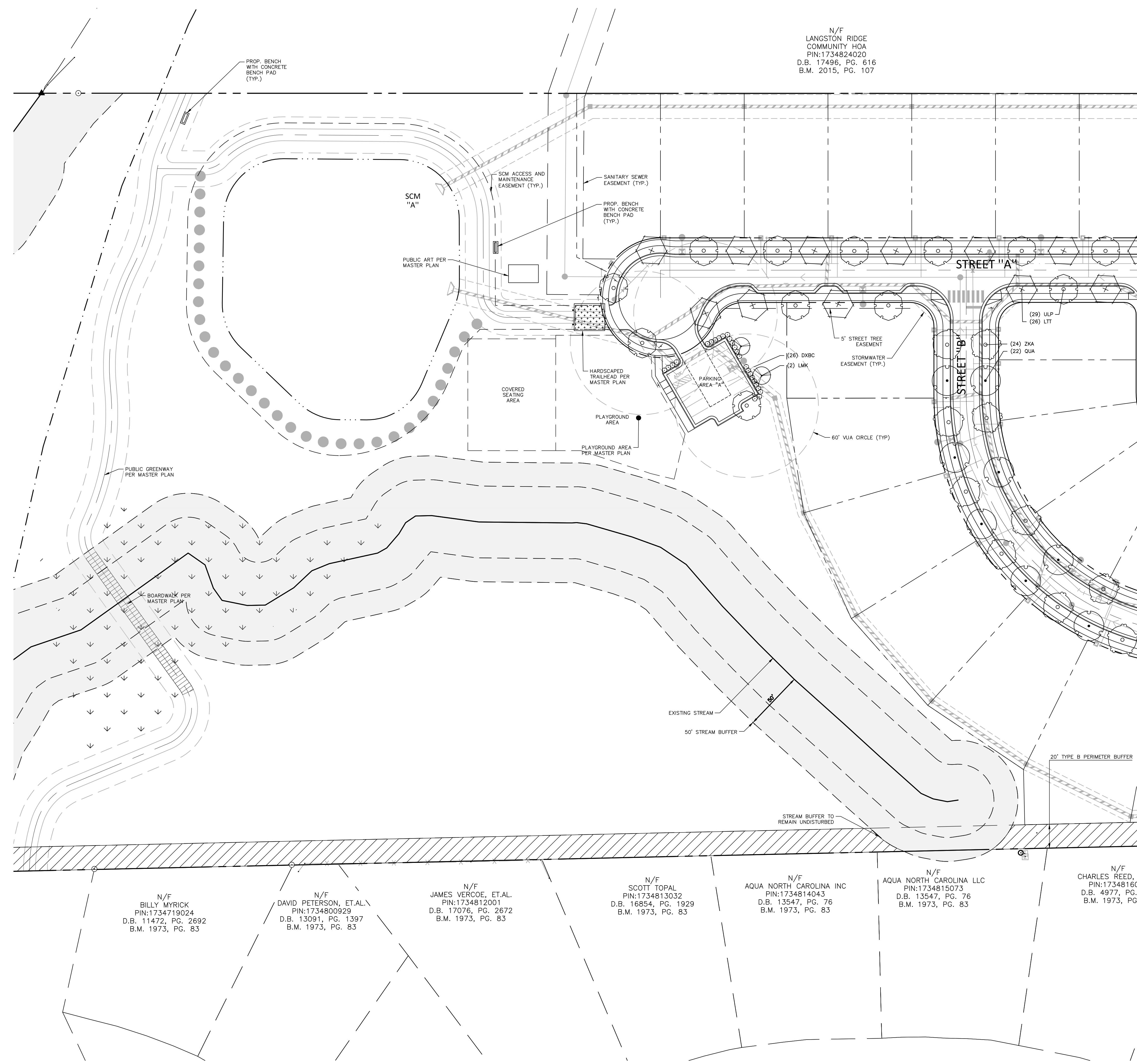
TREES	CODE	BOTANICAL / COMMON NAME
	QUA	Quercus acutissima Sawtooth Oak
	QSS	Quercus shumardii Shumard Red Oak
	ULP	Ulmus parvifolia Lacebark Elm
	ZKA	Zelkova serrata Sawleaf Zelkova
		20' TYPE B PERIMETER BUFFER

NOTES:

1. SEE LANDSCAPE DETAILS SHEET L5.02 FOR STREET TREE AND PARKING BUFFER CALCULATIONS.

OPEN SPACE DATA

SEATING AREA	PROPOSED	6,864 SF
		1 TABLE / 1,700 SF (6,864 / 1,700 SF = 4 TABLES MIN.) 1 SEAT / 215 SF (6864 / 215 SF = 32 SEATS MIN.) 60 SF OF SHADED AREA / TABLE (60 X 4 = 240 SF MIN.)
PLAYGROUND AREA	PROPOSED	7,650 SF
		* PLAY AREA REQUIREMENTS CAN BE WITH A COMBINATION OF PLAY STRUCTURES, NATURAL PLAY, AND PLAY LAWN. (MIN. OF 1 PLAY STRUCTURE WITHIN PLAY AREA) 2 LF OF SEATING / 450 SF (7,650 / 450 SF = 17 LF TOTAL) (3 X 6' BENCHES = 18 LF)



N/F BILLY MYRICK
PIN:1734719024
D.B. 11472, PG. 2692
B.M. 1973, PG. 83

N/F DAVID PETERSON, ET.AL.
PIN:1734800929
D.B. 13091, PG. 1397
B.M. 1973, PG. 83

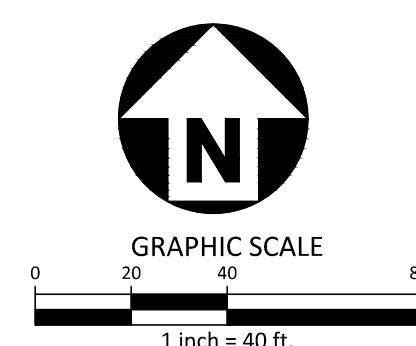
N/F JAMES VERCOE, ET.AL.
PIN:1734812001
D.B. 17076, PG. 2672
B.M. 1973, PG. 83

N/F SCOTT TOPAL
PIN:1734813032
D.B. 16854, PG. 1929
B.M. 1973, PG. 83

N/F AQUA NORTH CAROLINA INC
PIN:1734814043
D.B. 13547, PG. 76
B.M. 1973, PG. 83

N/F AQUA NORTH CAROLINA LLC
PIN:1734815073
D.B. 13547, PG. 76
B.M. 1973, PG. 83

N/F CHARLES REED, ET AL.
PIN:1734816082
D.B. 4977, PG. 83
B.M. 1973, PG. 83



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\CDV\CDV21001\04-Production\Engineering\Construction Drawings\Current Drawings\MasterPlan_PUD\CDV21001-L5.dwg, 9/30/2022 10:58:25 AM, Tyler Probst



McADAMS

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2905 Meridian Parkway
Durham, NC 27713

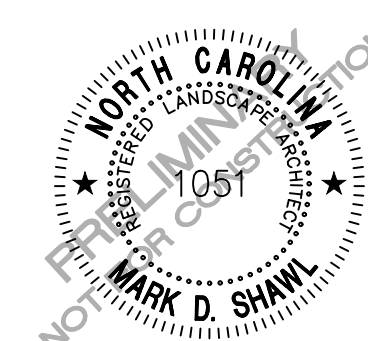
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MASTER PLAN
105 AND 107 COLCHESTER DRIVE**
KNIGHTDALE, NC 27545



REVISIONS

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5	
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PLAN INFORMATION

PROJECT NO. CDV21001
FILENAME CDV21001-L51
CHECKED BY MDS
DRAWN BY JJB
SCALE 1" = 40'
DATE 09.30.2022

SHEET

**LANDSCAPE PLAN AREA
"B"**

L5.01

SITE LEGEND

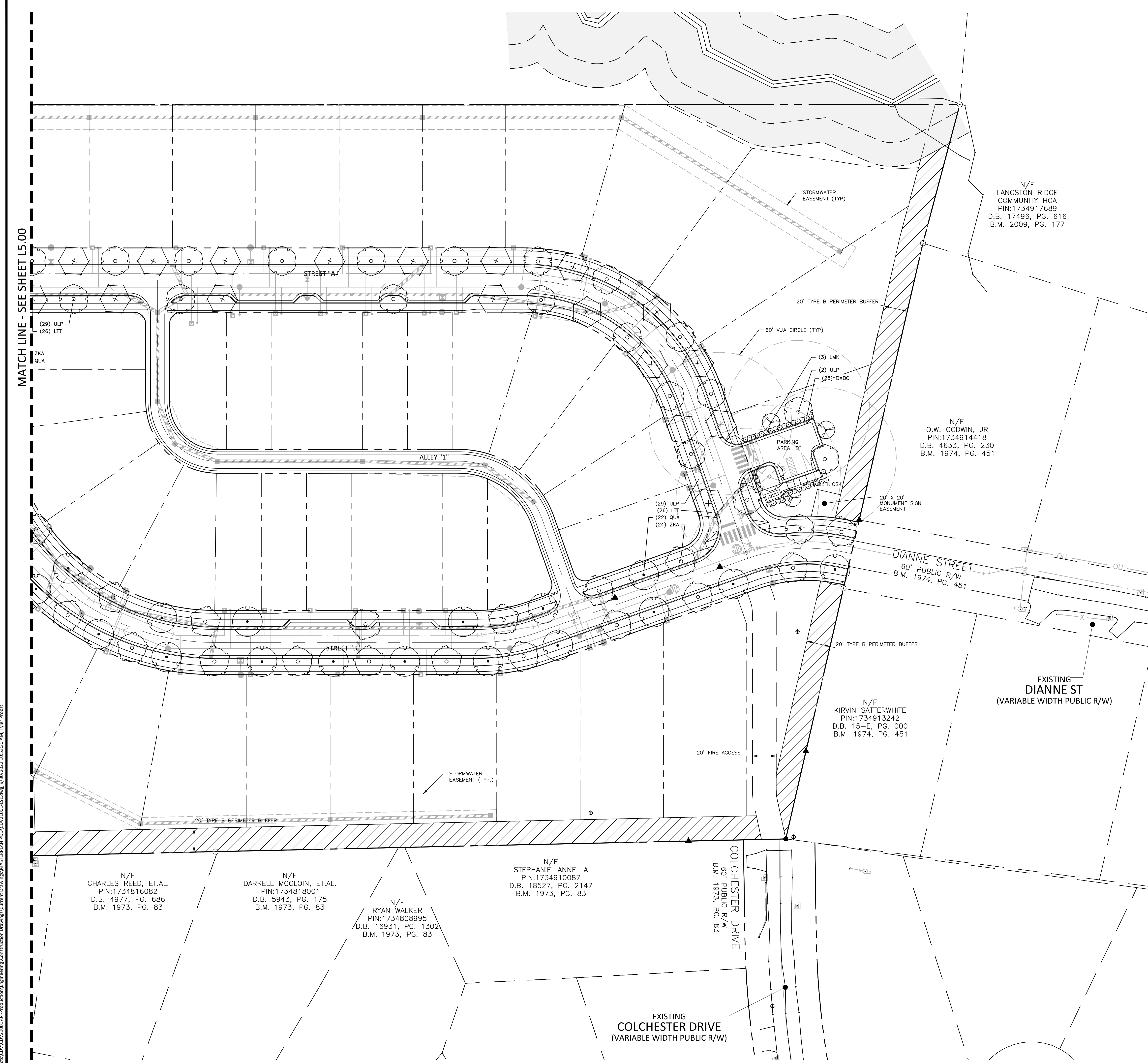
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	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	QUA	Quercus acutissima Sawtooth Oak
	QSS	Quercus shumardii Shumard Red Oak
	ULP	Ulmus parvifolia Lacebark Elm
	ZKA	Zelkova serrata Sawleaf Zelkova
		20' TYPE B PERIMETER BUFFER

NOTES:

1. SEE LANDSCAPE DETAILS SHEET L5.02 FOR STREET TREE AND PARKING BUFFER CALCULATIONS.



N/F
LANGSTON RIDGE
COMMUNITY HOA
PIN:1734917689
D.B. 17496, PG. 616
B.M. 2009, PG. 177

N/F
O.W. GODWIN, JR
PIN:1734914418
D.B. 4633, PG. 230
B.M. 1974, PG. 451

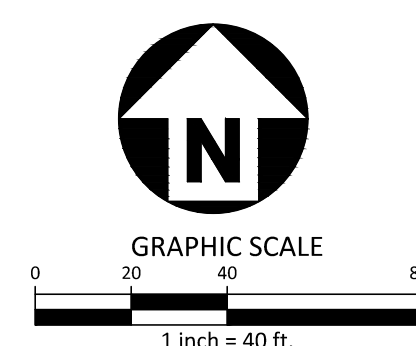
N/F
KIRVIN SATTERWHITE
PIN:1734913242
D.B. 15-E, PG. 000
B.M. 1974, PG. 451

N/F
STEPHANIE IANNELLA
PIN:1734910087
D.B. 18527, PG. 2147
B.M. 1973, PG. 83

N/F
RYAN WALKER
PIN:1734808995
D.B. 16931, PG. 1302
B.M. 1973, PG. 83

N/F
DARRELL MCGLOIN, ET.AL.
PIN:1734818001
D.B. 5943, PG. 175
B.M. 1973, PG. 83

N/F
CHARLES REED, ET.AL.
PIN:1734816082
D.B. 4977, PG. 686
B.M. 1973, PG. 83



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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GENERAL LANDSCAPE NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- SUBSTITUTIONS OF SPECIFIC PLANTS CAN ONLY OCCUR WITH PRIOR WRITTEN PERMISSION OF BOTH OWNER AND LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY AMERICAN HORT - AMERICANHORT.ORG.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- ALL TREES MUST BE PLANTED AFTER OCTOBER 1 AND BEFORE MARCH 31.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- ALL TREE PLANTINGS SHALL BE MULCHED WITH 3 INCHES OF SHREDDED BARK OR 4 INCHES OF PINE STRAW IN A 3 FOOT RADIUS AROUND THE TREE, OR TO THE DRILLLINE, WHICHEVER IS GREATER. THE MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE THEREAFTER. MULCH SHALL NOT COVER THE ROOT COLLAR.

MAINTENANCE NOTES:

- WARRANTY: INSTALLER SHALL REPAIR OR REPLACE ANY PLANTINGS THAT FAIL IN MATERIALS, WORKMANSHIP, OR GROWTH WITHIN ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION. FAILURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL
 - STRUCTURAL FAILURES INCLUDING PLANTINGS FALLING OR BLOWING OVER.
- THE OWNERS OF PROPERTY SHALL BE RESPONSIBLE FOR ALL NATURAL AND PHYSICAL FEATURES REQUIRED BY CODE AND SHALL PRESERVE AND MAINTAIN THESE FEATURES IN HEALTHY GROWING CONDITIONS, REPLACE THEM WHEN NECESSARY, AND KEEP THE AREAS AROUND THEM FREE OF REFUSE AND DEBRIS IN A MANNER THAT PREVENTS REFUSE AND DEBRIS FROM WASHING ONTO PUBLIC RIGHTS-OF-WAY. FAILURE TO MAINTAIN ALL PLANTINGS IN ACCORDANCE WITH THIS PLAN MAY CONSTITUTE A VIOLATION OF THIS ORDINANCE AND MAY RESULT IN FINES. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE VEGETATION, INCLUDING BUT NOT LIMITED TO:
 - FERTILIZATION
 - PRUNING WITHIN LIMITS
 - PEST CONTROL
 - MULCHING
 - MOWING
 - PROTECTION OF THE ROOT ZONES FROM EQUIPMENT, CONSTRUCTION AND RELATED MATERIALS, ETC.
 - METHOD OF IRRIGATION
 - OTHER CONTINUING MAINTENANCE OPERATIONS

RESIDENTIAL LANDSCAPING NOTES:

- EACH SINGLE-FAMILY OR DUPLEX LOT SHALL CONTAIN A MINIMUM OF ONE CANOPY TREE FOR EVERY 2,000 SF OF LOT AREA OR FRACTION THEREOF UP TO 20,000 SF IN LOT AREA. ANY PORTION OF THE RESIDENTIAL LOT OCCUPIED BY A RECORDED UTILITY EASEMENT SHALL NOT BE INCLUDED AS PART OF THE TOTAL LOT AREA. THE LOCATION OF PLANTING TO ACCOUNT FOR PHYSICAL CONDITIONS MAY BE ADJUSTED BY THE ADMINISTRATOR.
- THE USE OF EXISTING TREES MEETING THE FOLLOWING STANDARDS TO SATISFY THIS REQUIREMENT IS ENCOURAGED. EXISTING LARGE SHADE TREES MEASURING MORE THAN 6 INCHES IN DBH MAY BE COUNTED TOWARDS FULFILLING THIS REQUIREMENT.
- REQUIRED STREET TREES MAY NOT BE COUNTED TOWARDS THE FULFILLMENT OF THE RESIDENTIAL LANDSCAPING REQUIREMENT. APART FROM REQUIRED STREET TREES, ALL OTHER TREES REQUIRED FOR RESIDENTIAL LANDSCAPING SHALL BE PLANTED WITHIN THE PRIVATE LOT.
- FOUNDATION PLANTINGS CONSISTING OF EVERGREEN SHRUBS SHALL BE INSTALLED ALONG THE ENTIRE FOUNDATION WALL OF THE BUILDING. PLANT INSTALLATION SHALL BE A MINIMUM OF TWO FEET IN HEIGHT PLANTED AT FOUR FOOT INTERVALS.

LANDSCAPE CALCULATIONS

PERIMETER BUFFERS

SOUTHERN PROPERTY LINE 20' TYPE B BUFFER	1,783 LF*
CANOPY TREES REQUIRED: PROVIDED:	53 (3/100 LF) 53**
UNDERSTORY TREES REQUIRED: PROVIDED:	89 (5/100 LF) 89**
SHRUBS REQUIRED: PROVIDED:	356 (20/100 LF) 356**
EASTERN PROPERTY LINE 20' TYPE B BUFFER	580 LF*
634 TOTAL LF SUBTRACTING, 54 LF STREET ROW	
CANOPY TREES REQUIRED: PROVIDED:	17 (3/100 LF) 17**
UNDERSTORY TREES REQUIRED: PROVIDED:	29 (5/100 LF) 29**
SHRUBS REQUIRED: PROVIDED:	116 (20/100 LF) 116**

*BUFFER PLANTS TO BE INSTALLED PER STANDARD BUFFER DETAILS THIS SHEET. FINAL LOCATIONS OF PLANTINGS TO BE COORDINATED WHEN ENHANCED LANDSCAPE PLANS ARE DEVELOPED.
**EXISTING PLANT MATERIAL TO BE PRESERVED IN ALL BUFFER AREAS AS PRIORITY TIER 1 TREE SAVE AREAS. WHERE SUFFICIENT MATERIAL DOES NOT MEET REQUIREMENTS, SUPPLEMENTAL PLANT MATERIAL WILL BE REQUIRED FOR BUFFER TO MEET TYPE B BUFFER OPACITY STANDARDS.

LANDSCAPE CALCULATIONS

STREET TREES

STREET "A"	1908 LF
CANOPY TREES REQUIRED: PROVIDED:	47 (1/40 LF) 47
STREET "B"	2104 LF
CANOPY TREES REQUIRED: PROVIDED:	52 (1/40 LF) 52

PARKING LOT LANDSCAPING

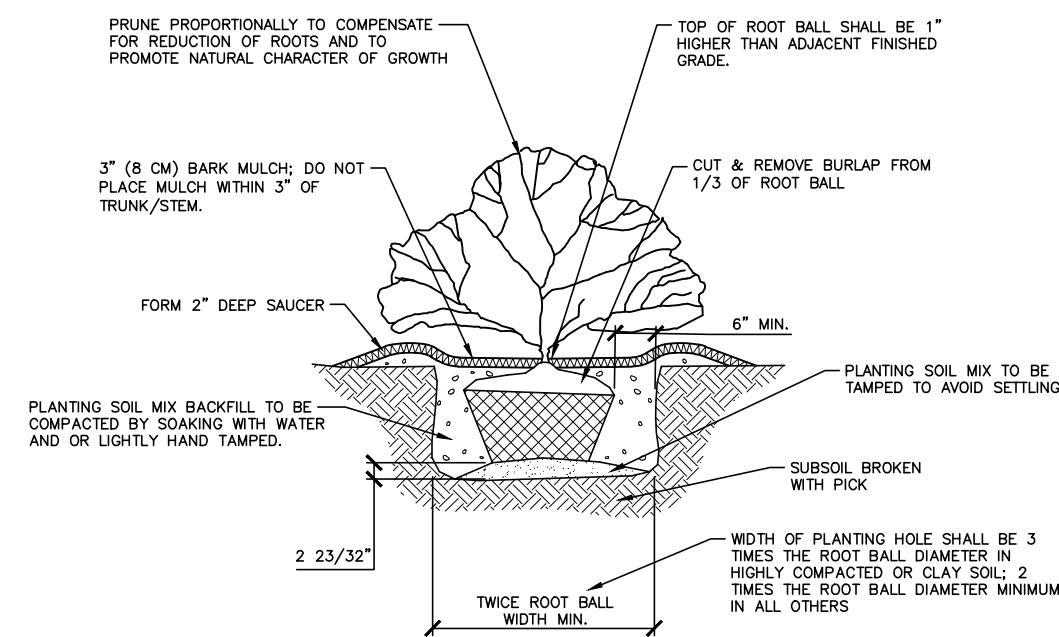
PARKING AREA "A"	10 SPACES
CANOPY TREES REQUIRED: PROVIDED:	ALL SPACES WITHIN 60' OF CANOPY TREE 1
PARKING AREA "B"	3 SPACES
CANOPY TREES REQUIRED: PROVIDED:	ALL SPACES WITHIN 60' OF CANOPY TREE 1

PARKING LOT BUFFER

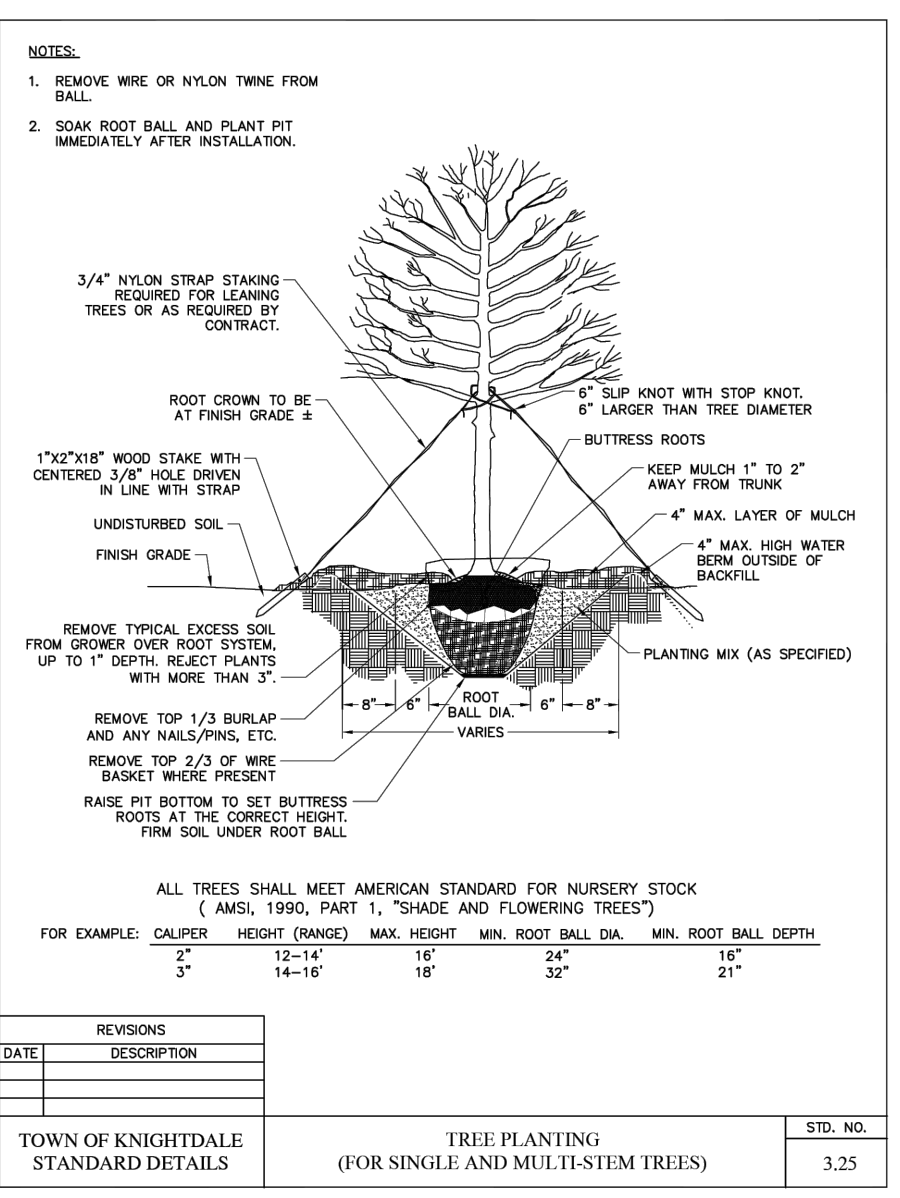
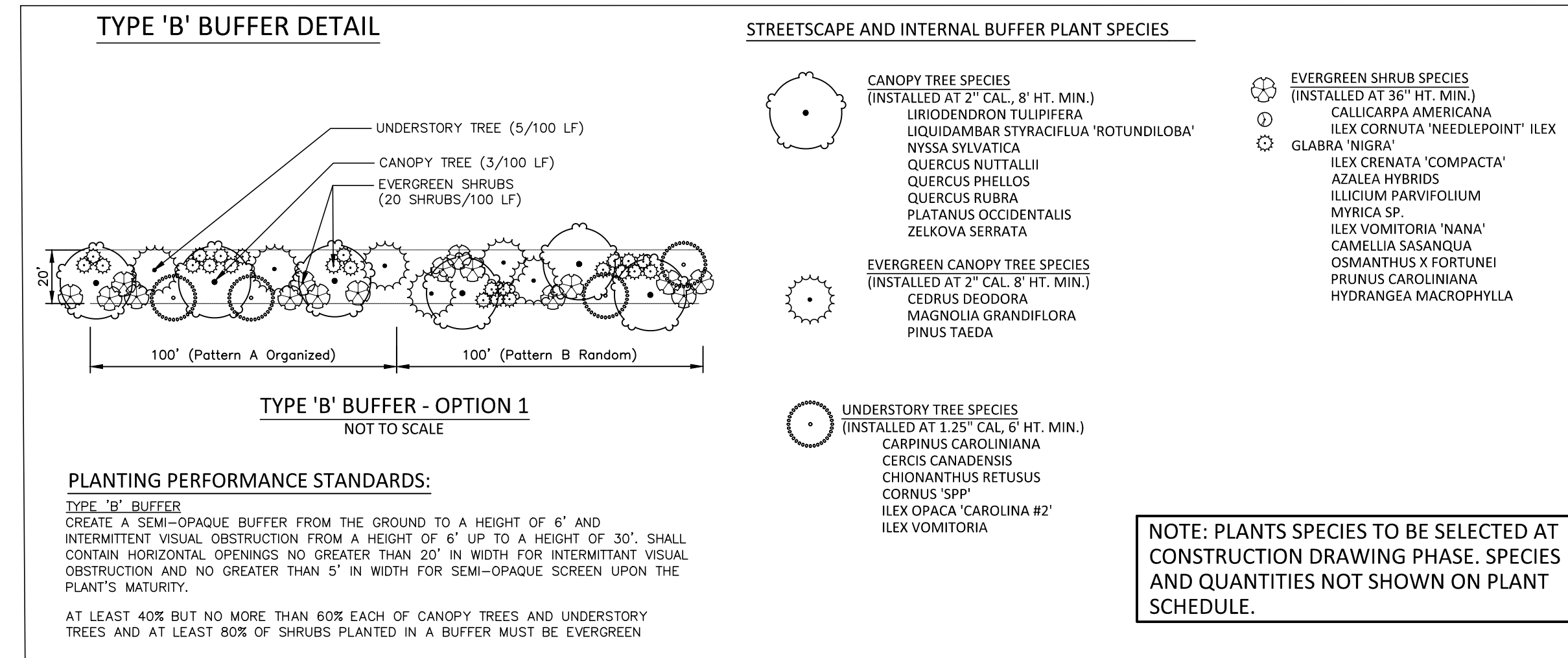
PARKING AREA "A"	93 LF
CANOPY TREES REQUIRED: PROVIDED:	(3 PER 100 LF OF FRONTAGE) 3 3
UNDERSTORY TREES REQUIRED: PROVIDED:	(2 PER 100 LF OF FRONTAGE) 2 2
UNDERSTORY TREES REQUIRED: PROVIDED:	(20 PER 100 LF OF FRONTAGE) 20 25
PARKING AREA "B"	146 LF
CANOPY TREES REQUIRED: PROVIDED:	(3 PER 100 LF OF FRONTAGE) 5 5
UNDERSTORY TREES REQUIRED: PROVIDED:	(2 PER 100 LF OF FRONTAGE) 3 3
UNDERSTORY TREES REQUIRED: PROVIDED:	(20 PER 100 LF OF FRONTAGE) 30 38

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT	CONT	REMARKS
	LMK	5	Lagerstroemia indica x fauriei 'Muskogete' Muskogete Crape Myrtle	1.5" min.	10' Min.		
	QUA	22	Quercus acutissima Sawtooth Oak	2" min	8' min		
CANOPY TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT	CONT	REMARKS
	LTT	26	Liriodendron tulipifera Tulip Tree	2" min	8' min		
	ULP	31	Ulmus parvifolia Lacebark Elm	2" min	8' min		
	ZKA	24	Zelkova serrata Sawleaf Zelkova	2" min	8' min		
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	SPACING	CONT	REMARKS
	DXBC	46	Distylium x 'PIDIST-H' Blue Cascade® Distylium	18" min		3 gal	



01 SHRUB INSTALLATION
SCALE: 3/8"=1'-0"



NO.	DATE
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PLAN INFORMATION

PROJECT NO.	CDV21001
FILENAME	CDV21001-L51
CHECKED BY	MDS
DRAWN BY	JJB
SCALE	AS SHOWN
DATE	09.30.2022

SHEET

LANDSCAPE DETAILS

L5.02

McADAMS
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LANDSCAPE DETAILS

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SITE LEGEND

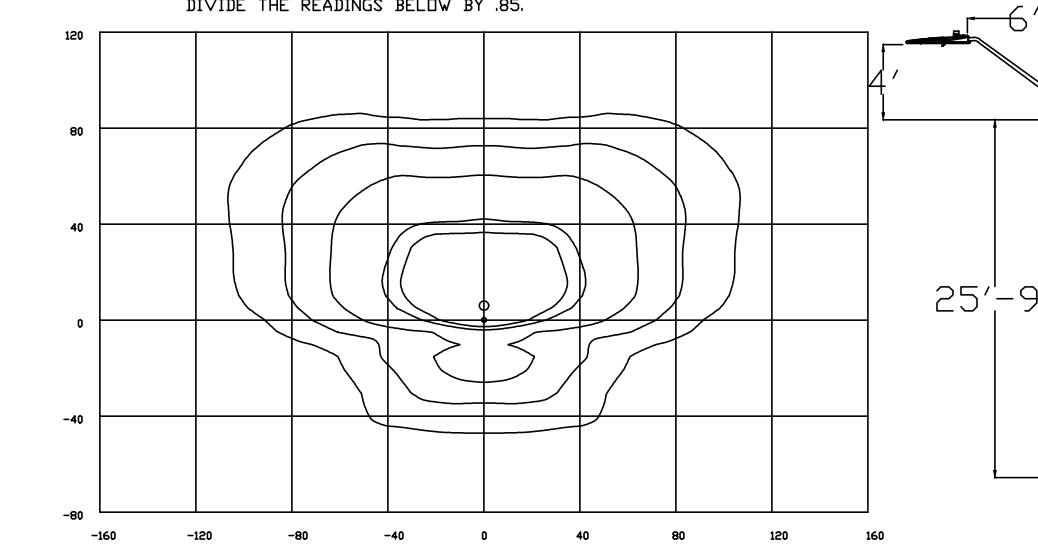
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- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- TRAIL
- WETLANDS
- OPEN SPACE - PASSIVE
- OPEN SPACE - ACTIVE

PROPERTY OWNER INFORMATION

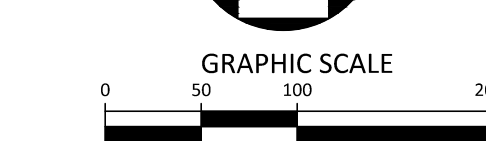
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- 2. LANGSTON RIDGE COMMUNITY HOMEOWNERS ASSOCIATION IN PIN: 1734917689 ZONING: GR8
- 3. GODWIN, O W JR PIN: 1734914418 ZONING: GR8
- 4. SATTERWHITE, KIRVIN HEIRS PIN: 1734913242 ZONING: GR8
- 5. IANNELLA, STEPHANIE A PIN: 1734910087 ZONING: GR8
- 6. WALKER, RYAN L WALKER, ABBY J PIN: 1734808955 ZONING: GR8
- 7. MCGLOIN, DARRELL S MCGLOIN, STACY L PIN: 1734818801 ZONING: GR8
- 8. REED, CHARLES H JR REED, VIVIAN M PIN: 1734816082 ZONING: GR8
- 9. AQUA NORTH CAROLINA INC PIN: 1734815073 ZONING: OSP
- 10. AQUA NORTH CAROLINA INC PIN: 1734814043 ZONING: OSP
- 11. TOPAL, SCOTT PIN: 1734813032 ZONING: GR8
- 12. VERCOE, JAMES VERCOE, MELISSA PIN: 1734812001 ZONING: GR8
- 13. PETERSON, DAVID A JR PETERSON, SUSAN M PIN: 1734809029 ZONING: GR8
- 14. MYRICK, BILLY S PIN: 1734719024 ZONING: GR8
- 15. MYRICK, BILLY S PIN: 1734706773 ZONING: OSP

ISDFOOTCANDLE CURVES

FIXTURE: LED 150 - AEL
MOUNTING HEIGHT: 30 FT
LIGHT SOURCE: 40 LEP'S, 4000K, 70 CRI
LUMENS - 16192
PATTERN: TYPE III, B3-U0-G3zero light at or above 90 degrees
NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LED LUMEN DEPRECIATION AND LUMINAIRE BIRT DEPRECIATION FOR INITIAL FOOTCANDLES. DIVISE THE READINGS BELOW BY .85.



Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
	150A	48	LED 150w Roadway - Type III - 4000K	1	16192	0.85



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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