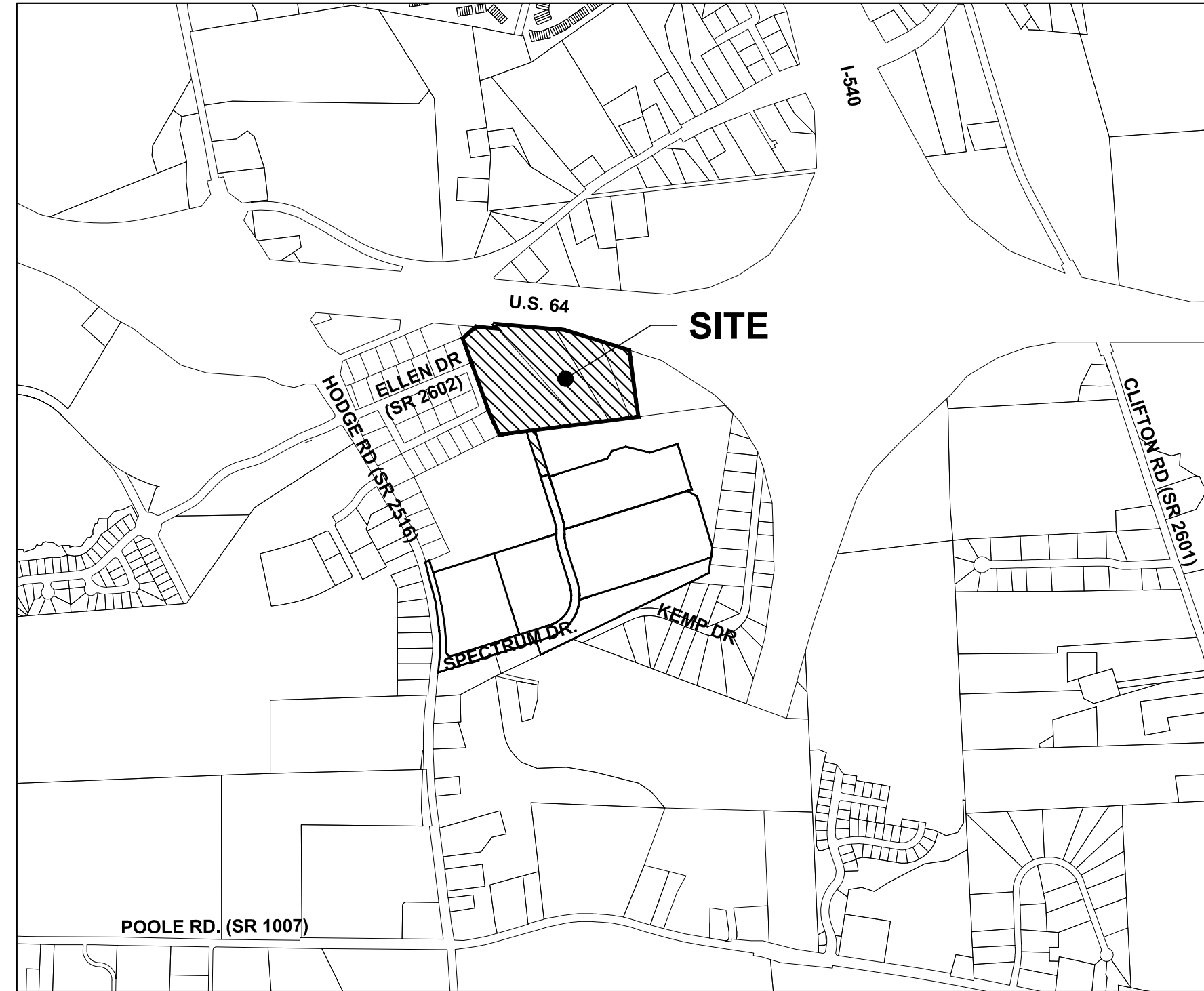


SKETCH PLAN

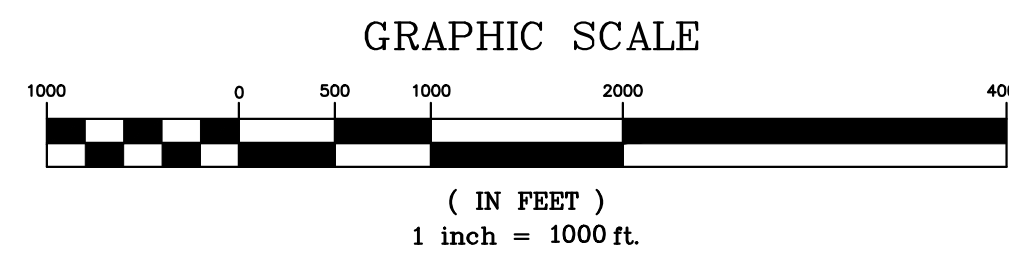
EASTGATE 540

0 ELLEN DRIVE

KNIGHTDALE, NORTH CAROLINA



VICINITY MAP
SCALE: 1"=1,000'



<p style="text-align: center;">DEVELOPER</p> <p style="text-align: center;">HODGE ROAD FUTURE PHASES, LLC</p> <p>440 S. CHURCH STREET SUITE 800 CHARLOTTE, NC 28202 PHONE (704) 295-0455</p>	<p style="text-align: center;">ENGINEER</p> <p style="text-align: center;">ADVANCED CIVIL DESIGN, INC.</p> <p>51 KILMAYNE DRIVE, SUITE 105 CARY, NC 27511 PHONE (919) 481-6290 FAX (919) 336-5127</p>
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OWNER

**DEBORAH JANE TART &
MELTON E. TART JR.**

4325 OLD FAISON ROAD
KNIGHTDALE, NC 27545
PHONE (919) 266-2237

OWNER

JOYCE C. LILES

4040 CLIFTON ROAD
KNIGHTDALE, NC 27545
PHONE (919) 266-0303

OWNER


**JAMES EARL RICHARDSON &
GRAHAM EDWARD RICHARDSON**


5829 COFFEY STREET
RALEIGH, NC 27604



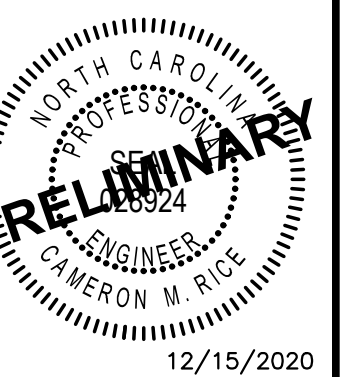
<u>INDEX OF DRAWINGS</u>	
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
SKETCH PLAN	C-3
ILLUSTRATIVE BUILDING ELEVATIONS	C-4

O:\19-0001-988\NC\Production Drawings\SKETCH PLANS\0001-988 SPOOT.DWG COVER SHEET Dec 15, 2020 - 5:58:43pm crice

PLAN PREPARED BY:

ADVANCED
 CIVIL DESIGN
 ENGINEERS SURVEYORS
 51 Kilmayne Drive, Suite 105
 Cary, North Carolina 27511
 ph 919.481.6290
 fax 919.336.5127

PLAN PREPARED FOR:

TRINITY CAPITAL

0 Ellen Drive, Knightdale, NC 27545 - Wake County
EASTGATE 540
SKETCH PLAN
 FOR
TRINITY CAPITAL ADVISORS, LLC
COVER SHEET



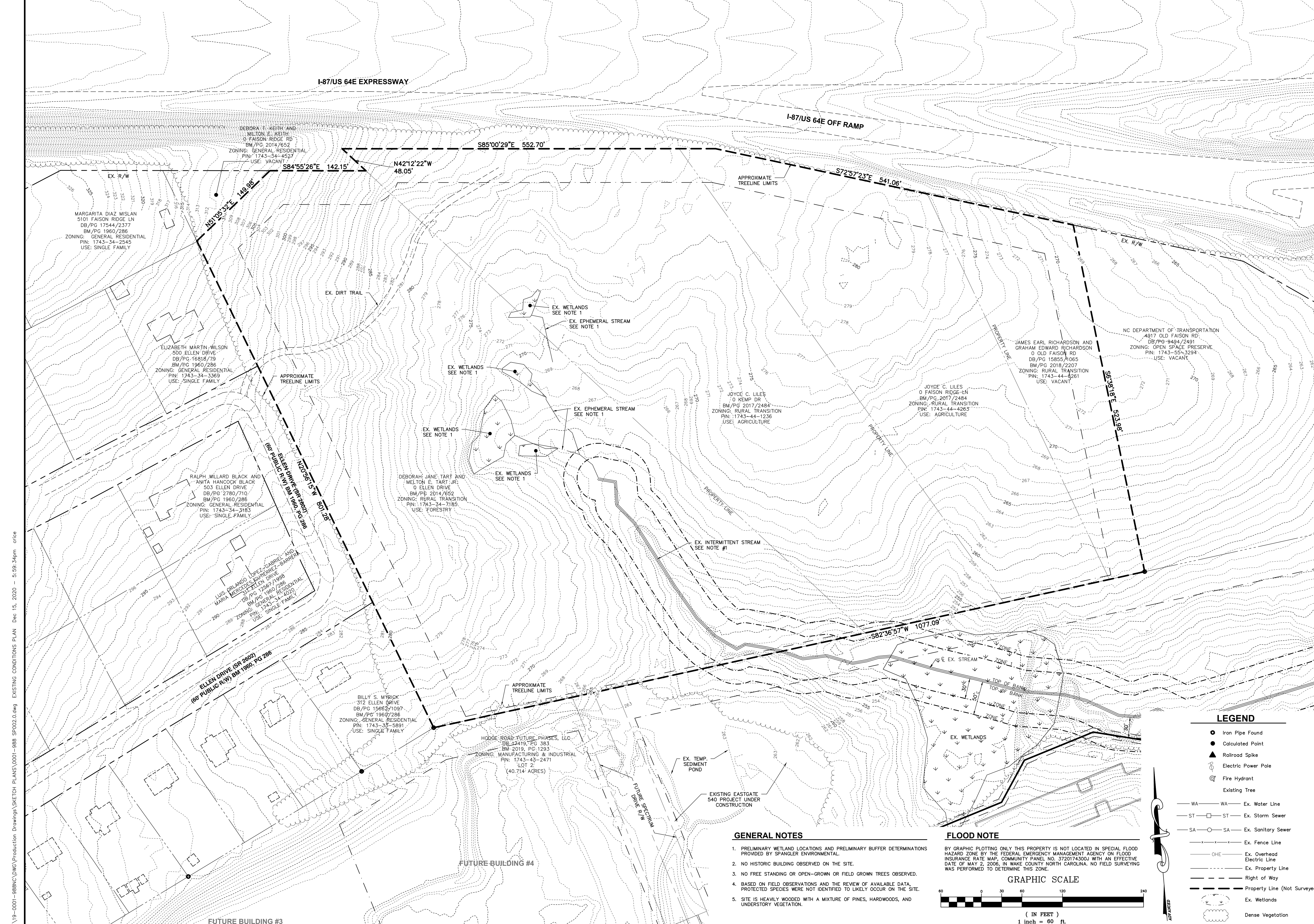
Issue Dates:	Client Review	Town Submittal #1	Town Submittal #2	Town Submittal #3
10/30/2020				
11/03/2020				
12/03/2020				
12/15/2020				

Date: 12/15/2020
Scale: 1" = 1,000'

Drawn By: JRR Checked By: CMR

Project Number:
19-0001-988

Drawing Number:
C-1

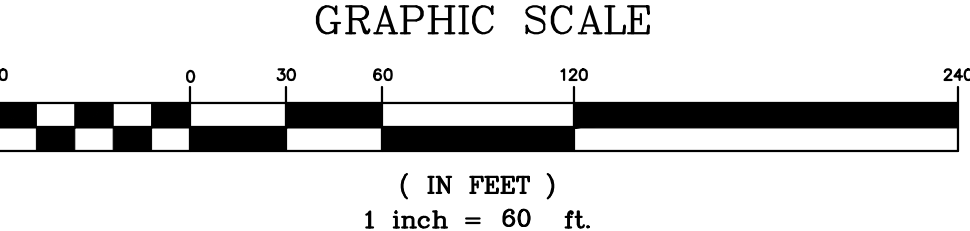


C:\19-0001-988BNC\Production Drawings\SKETCH PLANS\001-988 SPOD2.C.dwg EXISTING CONDITIONS PLAN Dec 15, 2020 - 5:59:34pm crice

- GENERAL NOTES**
1. PRELIMINARY WETLAND LOCATIONS AND PRELIMINARY BUFFER DETERMINATIONS PROVIDED BY SPANGLER ENVIRONMENTAL.
 2. NO HISTORIC BUILDING OBSERVED ON THE SITE.
 3. NO FREE STANDING OR OPEN-GROWN OR FIELD GROWN TREES OBSERVED.
 4. BASED ON FIELD OBSERVATIONS AND THE REVIEW OF AVAILABLE DATA, PROTECTED SPECIES WERE NOT IDENTIFIED TO LIKELY OCCUR ON THE SITE.
 5. SITE IS HEAVILY WOODED WITH A MIXTURE OF PINES, HARDWOODS, AND UNDERSTORY VEGETATION.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD ZONE BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3720174300J WITH AN EFFECTIVE DATE OF MAY 2, 2006, IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.



- LEGEND**
- Iron Pipe Found
 - Calculated Point
 - ▲ Railroad Spike
 - ⊕ Electric Power Pole
 - ⊕ Fire Hydrant
 - ⊕ Existing Tree
 - WA — WA — Ex. Water Line
 - ST — ST — Ex. Storm Sewer
 - SA — SA — Ex. Sanitary Sewer
 - — — — — Ex. Fence Line
 - OHE — OHE — Ex. Overhead Electric Line
 - · · · · · Ex. Property Line
 - — — — — Right of Way
 - — — — — Property Line (Not Surveyed)
 - ⊕ Ex. Wetlands
 - ⊕ Dense Vegetation

PLAN PREPARED BY: 51 Kilmorye Drive, Suite 105
Cary, North Carolina 27511
ph 919.461.6990
fax 919.336.5127
ENGINEERS SURVEYORS

PLAN PREPARED FOR: TRINITY CAPITAL

O Ellen Drive, Knightdale, NC 27545 — Wake County

EASTGATE 540
SKETCH PLAN
FOR
TRINITY CAPITAL ADVISORS, LLC
EXISTING CONDITIONS PLAN

NORTH CAROLINA
PROFESSIONAL
ENGINEER
CAMERON M. RICE
12/15/2020

Issue Dates:	10/30/2020 — Client Review
	11/03/2020 — Town Submittal #1
	12/03/2020 — Town Submittal #2
	12/15/2020 — Town Submittal #3

Date: 12/15/2020
Scale: 1" = 60'

Drawn By: JRR
Checked By: CMR

Project Number:
19-0001-988

Drawing Number:
C-2

GENERAL NOTES

1. THE APPROVED 404 USAGE INDIVIDUAL PERMIT (SAW-2014-02127) SHALL BE REVISED TO INCLUDE IMPACTS TO BUFFERS, STREAMS, AND WETLANDS FOR THIS PROJECT.
2. PROJECT SHALL BE COMPLIANT WITH SECTIONS 8.5-8.11 OF THE UDO.
3. OUTDOOR STORAGE IS NOT PERMITTED.
4. A TIA OR UPDATED TIA WILL BE REQUIRED.
5. THE UAA WILL NEED TO BE UPDATED.
6. PARKING LOT REQUIRED TO HAVE CURB AND GUTTER PER UDO 10.4B.

LEGEND

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- ⊕ Electric Power Pole
- ⊕ Fire Hydrant
- Surface Flow Arrow
- Ex. Fence Line
- Ex. Property Line
- Property Line (Not Surveyed)
- Proposed Storm Sewer
- Proposed Swale
- Ex. Wetlands
- Loading Dock Pavement Section
- Buffer Yard D Replanted Areas in this Phase
- Type A Buffer Yard (UDO 8.7.A.1)

TOWN OF KNIGHTDALE WATER ALLOCATION POLICY

PROPOSED BUILDING #7 WILL BE A PART OF THE EASTGATE 540 PROJECT. NOTWITHSTANDING THE TOWN'S WATER ALLOCATION POLICY (ORDINANCE # 15-10-05-001) REQUIREMENT OF 50 POINTS, DUE TO THE UNIQUE CONTRIBUTION TO THE TOWN'S TAX BASE, THE PROJECT SHALL ONLY BE REQUIRED TO ACHIEVE 47 TOTAL POINTS TO MERIT WATER ALLOCATION. CALCULATIONS ARE SHOWN BELOW:

PROPOSED WAREHOUSE/DISTRIBUTION CENTER - 1,204,000 SF
 1,204,000 SF > 500,000 SF (REQUIRED)

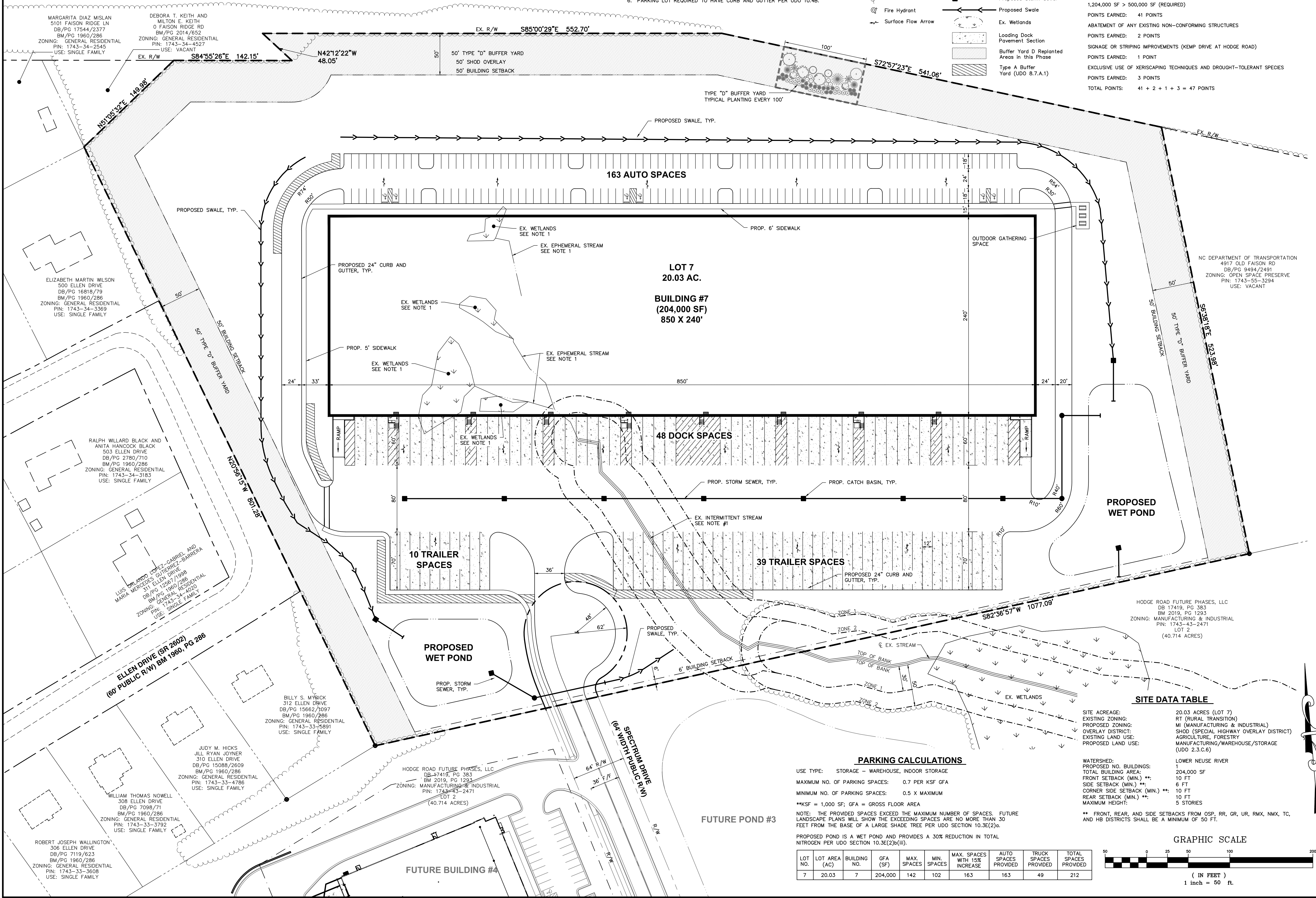
POINTS EARNED: 41 POINTS

ABATEMENT OF ANY EXISTING NON-CONFORMING STRUCTURES
 POINTS EARNED: 2 POINTS

SIGNAGE OR STRIPING IMPROVEMENTS (KEMP DRIVE AT HODGE ROAD)
 POINTS EARNED: 1 POINT

EXCLUSIVE USE OF XERISCAPING TECHNIQUES AND DROUGHT-TOLERANT SPECIES
 POINTS EARNED: 3 POINTS

TOTAL POINTS: 41 + 2 + 1 + 3 = 47 POINTS



LOT 7
 20.03 AC.
BUILDING #7
 (204,000 SF)
 850 X 240'

163 AUTO SPACES

48 DOCK SPACES

10 TRAILER SPACES

39 TRAILER SPACES

PROPOSED WET POND

PROPOSED WET POND

FUTURE POND #3

FUTURE BUILDING #4

PARKING CALCULATIONS

USE TYPE: STORAGE - WAREHOUSE, INDOOR STORAGE

MAXIMUM NO. OF PARKING SPACES: 0.7 PER KSF GFA

MINIMUM NO. OF PARKING SPACES: 0.5 X MAXIMUM

**KSF = 1,000 SF; GFA = GROSS FLOOR AREA

NOTE: THE PROVIDED SPACES EXCEED THE MAXIMUM NUMBER OF SPACES. FUTURE LANDSCAPE PLANS WILL SHOW THE EXCEEDING SPACES ARE NO MORE THAN 30 FEET FROM THE BASE OF A LARGE SHADE TREE PER UDO SECTION 10.3E(2)(i).

PROPOSED POND IS A WET POND AND PROVIDES A 30% REDUCTION IN TOTAL NITROGEN PER UDO SECTION 10.3E(2)(ii).

LOT NO.	LOT AREA (AC)	BUILDING NO.	GFA (SF)	MAX. SPACES	MIN. SPACES	MAX. SPACES WITH 15% INCREASE	AUTO SPACES PROVIDED	TRUCK SPACES PROVIDED	TOTAL SPACES PROVIDED
7	20.03	7	204,000	142	102	163	163	49	212

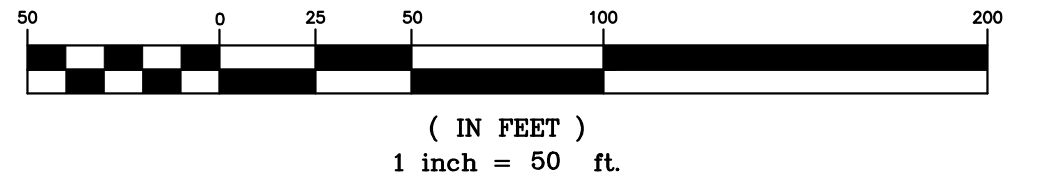
SITE DATA TABLE

SITE ACREAGE: 20.03 ACRES (LOT 7)
 EXISTING ZONING: RT (RURAL TRANSITION)
 PROPOSED ZONING: MI (MANUFACTURING & INDUSTRIAL)
 OVERLAY DISTRICT: SHOD (SPECIAL HIGHWAY OVERLAY DISTRICT)
 EXISTING LAND USE: AGRICULTURE, FORESTRY
 PROPOSED LAND USE: MANUFACTURING/WAREHOUSE/STORAGE (UDO 2.3.C.6)

WATERSHED: LOWER NEUSE RIVER
 PROPOSED NO. BUILDINGS: 1
 TOTAL BUILDING AREA: 204,000 SF
 FRONT SETBACK (MIN.) **: 10 FT
 SIDE SETBACK (MIN.) **: 6 FT
 CORNER SIDE SETBACK (MIN.) **: 10 FT
 REAR SETBACK (MIN.) **: 10 FT
 MAXIMUM HEIGHT: 5 STORIES

** FRONT, REAR, AND SIDE SETBACKS FROM OSP, RR, GR, UR, RMX, NMX, TC, AND HB DISTRICTS SHALL BE A MINIMUM OF 50 FT.

GRAPHIC SCALE



PLAN PREPARED BY:
 ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
 51 Kilmorye Drive, Suite 105
 Cary, North Carolina 27511
 ph 919.461.6990
 fax 919.336.5127

PLAN PREPARED FOR:
 TRINITY CAPITAL

0 Ellen Drive, Knightdale, NC 27545 - Wake County
EASTGATE 540
SKETCH PLAN
 FOR
TRINITY CAPITAL ADVISORS, LLC
SKETCH PLAN

PRELIMINARY
 NORTH CAROLINA PROFESSIONAL ENGINEER
 CHAMERON M. RICE
 12/15/2020

Issue Dates:
 10/30/2020 - Client Review
 11/03/2020 - Town Submittal #1
 12/03/2020 - Town Submittal #2
 12/15/2020 - Town Submittal #3

Date: 12/15/2020
 Scale: 1" = 50'

Drawn By: JRR
 Checked By: CMR

Project Number:
19-0001-988

Drawing Number:
C-3

o:\19-0001-988NC\DWG\Production Drawings\SKETCH PLANS\0001-988 SFD04.0.dwg ILLUSTRATIVE BUILDING ELEVATIONS Dec 15, 2020 - 6:11:41pm crice



PLAN PREPARED BY:
51 Kilmorye Drive, Suite 105
Cary, North Carolina 27511
ph 919.484.6990
fax 919.336.5127
ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:
TRINITY CAPITAL

0 Ellen Drive, Knightdale, NC 27545 — Wake County
EASTGATE 540
SKETCH PLAN
FOR
TRINITY CAPITAL ADVISORS, LLC
ILLUSTRATIVE BUILDING ELEVATIONS

PRELIMINARY
NORTH CAROLINA
PROFESSIONAL
ENGINEER
CAMERON M. RICE
12/15/2020

Issue Dates:
10/30/2020 — Client Review
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12/15/2020 — Town Submittal #3

Date: 12/15/2020
Scale: NOT TO SCALE
Drawn By: JRR
Checked By: CMR
Project Number:
19-0001-988
Drawing Number:
C-4