



NOT TO SCALE



NORTH

ELEVATE RIVERVIEW APARTMENTS

KNIGHTDALE, NORTH CAROLINA

VICINITY MAP

April 28, 2021



CE GROUP

301 GLENWOOD AVE. SUITE 220
RALEIGH, NC 27603
PHONE: 919-367-8790
www.cegroupinc.com

**ELEVATE RIVERVIEW
APARTMENTS**
KNIGHTDALE, NORTH CAROLINA

**EXISTING CONDITIONS
EXHIBIT**

April 28, 2021

SITE DATA

SITE AREA:	± 28.19 ACRES
CURRENT ZONING:	RMX
PROPOSED ZONING:	PUD
MAX DENSITY:	NO MAXIMUM
BUILDING SETBACKS:	
FRONT:	0'-MIN, 25' MAX
SIDE:	10'
REAR:	N/A

PROPOSED APARTMENT BUILDINGS

(12) 1-BEDROOM UNITS & (12) 2-BEDROOM UNITS PER BUILDING
15 PROPOSED BUILDINGS = 360 PROPOSED UNITS (12.8 UNITS / AC)
180 1-BEDROOM UNITS & 180 2-BEDROOM UNITS

PARKING REQUIREMENTS

MINIMUM PARKING = 1 SPACE / BEDROOM
MAXIMUM PARKING = 2 SPACES / UNIT
MINIMUM PARKING = 540 SPACES REQUIRED
MAXIMUM PARKING = 720 SPACES REQUIRED
555 PARKING SPACES PROVIDED (INCLUDES 19 H.C. SPACES)
30 GARAGE SPACES PROVIDED
585 TOTAL SPACES PROVIDED

BICYCLE PARKING REQUIRED

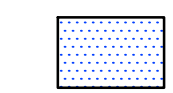
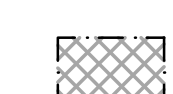

1 SPACE / 20 MOTORIZED SPACE
555 / 20 = 27.75 BICYCLE SPACES / 28 SPACES REQD.
BICYCLE PARKING PROVIDED
32 SPACES

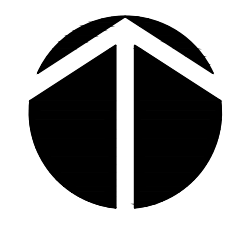
TREE COVERAGE

SITE PERIMETER = ± 5,927 LF x 20' DEPTH
= 118,540 SF / 2.72 Ac. TREE COVERAGE REQUIRED (9.7% OF SITE)
221,492 SF / 5.08 Ac. TREE COVERAGE PROVIDED (18.9% OF SITE)

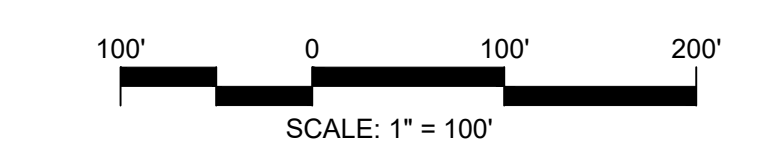
OPEN SPACE

PROPOSED DENSITY = 12.8 DU / AC
PROXIMITY ZONE = OUTSIDE ½ MILE
PROPOSED BEDROOMS = 540
PROPOSED AMENITY REDUCTION = 25%
(PROVIDING CLUBHOUSE WITH MIN. 1,500 SF & RESORT STYLE POOL WITH MIN. 2,500 SF SURFACE WATER AREA)
540 BEDROOMS x 580 SF @ +10 DENSITY > ½ MILE PROXIMITY
= 313,200 - 25% REDUCTION
= 234,900 SF / 5.39 Ac OPEN SPACE REQUIRED
117,450 SF MIN. ACTIVE OPEN SPACE
143,411 SF ACTIVE OPEN SPACE PROVIDED
292,599 SF PASSIVE OPEN SPACE PROVIDED
460,200 SF / 10.56 Ac. TOTAL OPEN SPACE PROVIDED

-  EXISTING POND
-  30' ZONE 1 NEUSE RIPARIAN BUFFER
-  20' ZONE 2 NEUSE RIPARIAN BUFFER

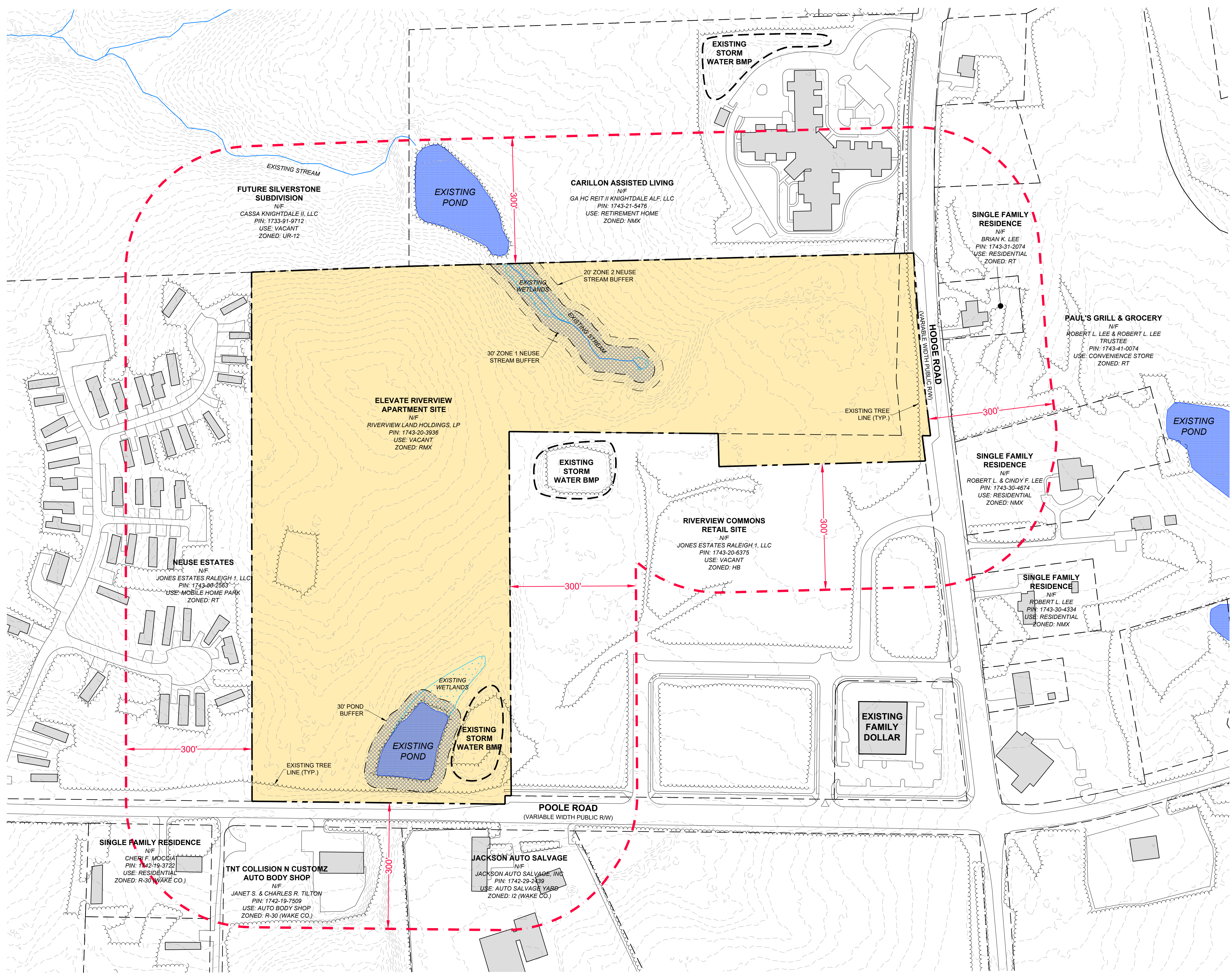


NORTH



CE GROUP

301 GLENWOOD AVE. SUITE 220
RALEIGH, NC 27603
PHONE: 919-367-8790
www.cegroupinc.com



**FUTURE SILVERSTONE
SUBDIVISION**
N/F
CASSA KNIGHTDALE II, LLC
PIN: 1733-91-9712
USE: VACANT
ZONED: UR-12

CARILLON ASSISTED LIVING
N/F
GA HC REIT II KNIGHTDALE ALF, LLC
PIN: 1743-21-5476
USE: RETIREMENT HOME
ZONED: NMX

**SINGLE FAMILY
RESIDENCE**
N/F
BRIAN K. LEE
PIN: 1743-31-2074
USE: RESIDENTIAL
ZONED: RT

PAUL'S GRILL & GROCERY
N/F
ROBERT L. LEE & ROBERT L. LEE
TRUSTEE
PIN: 1743-41-0074
USE: CONVENIENCE STORE
ZONED: RT

**ELEVATE RIVERVIEW
APARTMENT SITE**
N/F
RIVERVIEW LAND HOLDINGS, LP
PIN: 1743-20-3936
USE: VACANT
ZONED: RMX

**RIVERVIEW COMMONS
RETAIL SITE**
N/F
JONES ESTATES RALEIGH 1, LLC
PIN: 1743-20-6375
USE: VACANT
ZONED: HB

NEUSE ESTATES
N/F
JONES ESTATES RALEIGH 1, LLC
PIN: 1743-00-2563
USE: MOBILE HOME PARK
ZONED: RT

**SINGLE FAMILY
RESIDENCE**
N/F
ROBERT L. LEE
PIN: 1743-30-4334
USE: RESIDENTIAL
ZONED: NMX

SINGLE FAMILY RESIDENCE
N/F
CHERIE F. MOCCIA
PIN: 1742-19-3722
USE: RESIDENTIAL
ZONED: R-30 (WAKE CO.)

**TNT COLLISION N CUSTOMZ
AUTO BODY SHOP**
N/F
JANET S. & CHARLES R. TILTON
PIN: 1742-19-7509
USE: AUTO BODY SHOP
ZONED: R-30 (WAKE CO.)

JACKSON AUTO SALVAGE
N/F
JACKSON AUTO SALVAGE, INC.
PIN: 1742-29-2439
USE: AUTO SALVAGE YARD
ZONED: I2 (WAKE CO.)

**EXISTING FAMILY
DOLLAR**

SILVERSTONE
SUBDIVISION
ZONED UR-12

CARILLON ASSISTED LIVING - ZONED NMX

ELEVATE RIVERVIEW
APARTMENTS
KNIGHTDALE, NORTH CAROLINA

MASTER PLAN
OCTOBER 13, 2021



SITE DATA

SITE AREA: ± 28.16 ACRES
CURRENT ZONING: RMX
PROPOSED ZONING: NMX-PUD
MAX DENSITY: NO MAXIMUM
BUILDING SETBACKS:
FRONT: 0'-MIN, 25' MAX
SIDE: 10'
REAR: N/A

PROPOSED APARTMENT BUILDINGS
(5) 4-STORY: (32) 1-BEDROOM UNITS & (24) 2-BEDROOM UNITS PER BUILDING
(2) 3-STORY: (24) 1-BEDROOM UNITS & (18) 2-BEDROOM UNITS PER BUILDING

(5) 4-STORY BUILDINGS= 280 PROPOSED UNITS
(2) 3-STORY BUILDINGS= 84 PROPOSED UNITS
TOTAL UNITS= 364 UNITS (208 1BR & 156 2BR)

(30) TOWNHOME UNITS (3 BEDROOM)
APARTMENT PARKING REQUIREMENTS
(208) 1-BEDROOM UNITS REQUIRE 1/BED = 208 SPACES
(156) 2-BEDROOM UNITS REQUIRE 2/UNIT = 312 SPACES
TOTAL PARKING REQUIRED = 520 SPACES

493 PARKING SPACES PROVIDED (INCLUDES 33 H.C. SPACES)
18 GARAGE SPACES PROVIDED
511 TOTAL SPACES PROVIDED

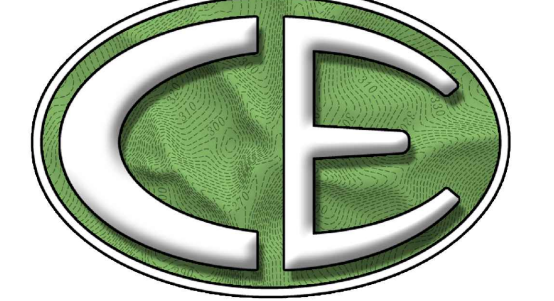
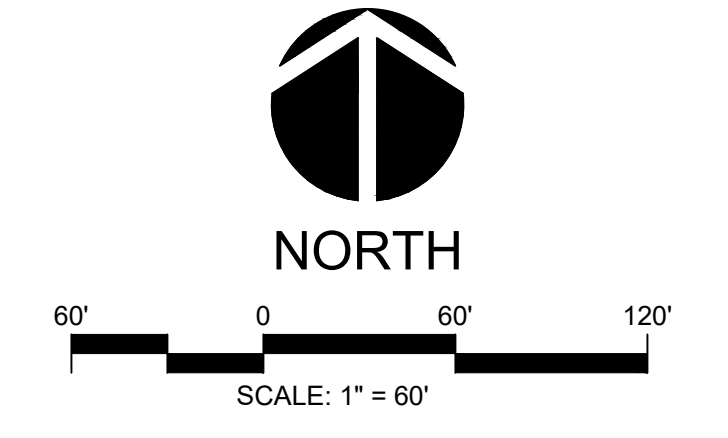
54 ON-STREET PARKING SPACES PROVIDED
OVERALL TOTAL SPACES PROVIDED - 565 SPACES

BICYCLE PARKING REQUIRED
1 SPACE / 20 MOTORIZED SPACE
520/20 = 26 BICYCLE SPACES / 26 SPACES REQD.
BICYCLE PARKING PROVIDED
32 SPACES

TREE COVERAGE
SITE PERIMETER = ± 5,927 LF x 20' DEPTH
= 118,540 SF / 2.72 AC. TREE COVERAGE REQUIRED (9.7% OF SITE)
212,410 SF / 4.88 AC. TREE COVERAGE PROVIDED (17.3% OF SITE)

RECREATION OPEN SPACE
PROPOSED DENSITY = 13.99 DU / AC
PROXIMITY ZONE = OUTSIDE 1/2 MILE
PROPOSED OVERALL BEDROOMS = 610
PROPOSED AMENITY REDUCTION = 25%
(PROVIDING CLUBHOUSE WITH MIN. 1,500 SF & RESORT STYLE POOL WITH MIN. 2,500 SF SURFACE WATER AREA)
610 BEDROOMS x 580 SF @ +10 DENSITY > 1/2 MILE PROXIMITY
= 353,800 - 25% REDUCTION
= 265,350 SF / 6.09 AC OPEN SPACE REQUIRED
132,675 SF MIN. ACTIVE OPEN SPACE
178,674 SF ACTIVE OPEN SPACE PROVIDED
108,447 SF PASSIVE OPEN SPACE PROVIDED
287,021 SF / 6.59 AC. TOTAL OPEN SPACE PROVIDED (23.4%)

- TREE SAVE AREA
- PASSIVE OPEN SPACE
- ACTIVE OPEN SPACE
- EXISTING POND
- 30' ZONE 1 NEUSE RIPARIAN BUFFER
- 20' ZONE 2 NEUSE RIPARIAN BUFFER
- PARKING TREE LOCATION W/60' RADIUS
- STREET TREES @ 40' O.C.



CE GROUP
301 GLENWOOD AVE. SUITE 220
RALEIGH, NC 27603
PHONE: 919-367-8790
www.cegroupinc.com

FUTURE COMMERCIAL
COMPONENT OF MIXED
USE DEVELOPMENT

RIVERVIEW
COMMONS
RETAIL SITE
± 19.22 Ac
ZONED - HB
POTENTIAL
+/- 132,100 SF

DEVELOPMENT DEPICTED ON FUTURE
MIXED USE IS CONCEPTUAL OF HOW
PARCEL COULD BE DEVELOPED AND
IS SUBJECT TO CHANGE.

MOBILE HOME PARK - ZONED RT

ROADWAY STUB
(54' PUBLIC ROW - 27' B-B)

ROADWAY EXTENSION
(64' PUBLIC ROW - 37' B-B)

WIDENED TO 1/2 100' BOULEVARD ROADWAY SECTION
POOLE ROAD SR 1007
(VARIABLE WIDTH PUBLIC ROW)

SILVERSTONE SUBDIVISION
ZONED UR-12

CARILLON ASSISTED LIVING - ZONED NMX

ELEVATE RIVERVIEW APARTMENTS
KNIGHTDALE, NORTH CAROLINA

MASTER PLAN
OCTOBER 13, 2021

SITE DATA

SITE AREA: ± 28.16 ACRES
CURRENT ZONING: RMX
PROPOSED ZONING: NMX-PUD
MAX DENSITY: NO MAXIMUM
BUILDING SETBACKS: FRONT: 0'-MIN, 25' MAX
SIDE: 10'
REAR: N/A

PROPOSED APARTMENT BUILDINGS

(5) 4-STORY: (32) 1-BEDROOM UNITS & (24) 2-BEDROOM UNITS PER BUILDING
(2) 3-STORY: (24) 1-BEDROOM UNITS & (18) 2-BEDROOM UNITS PER BUILDING

(5) 4-STORY BUILDINGS= 280 PROPOSED UNITS
(2) 3-STORY BUILDINGS= 84 PROPOSED UNITS
TOTAL UNITS= 364 UNITS (208 1BR & 156 2BR)

APARTMENT PARKING REQUIREMENTS

(208) 1-BEDROOM UNITS REQUIRE 1/BED = 208 SPACES
(156) 2-BEDROOM UNITS REQUIRE 2/UNIT = 312 SPACES
TOTAL PARKING REQUIRED = 520 SPACES




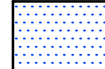



493 PARKING SPACES PROVIDED (INCLUDES 33 H.C. SPACES)
18 GARAGE SPACES PROVIDED
511 TOTAL SPACES PROVIDED

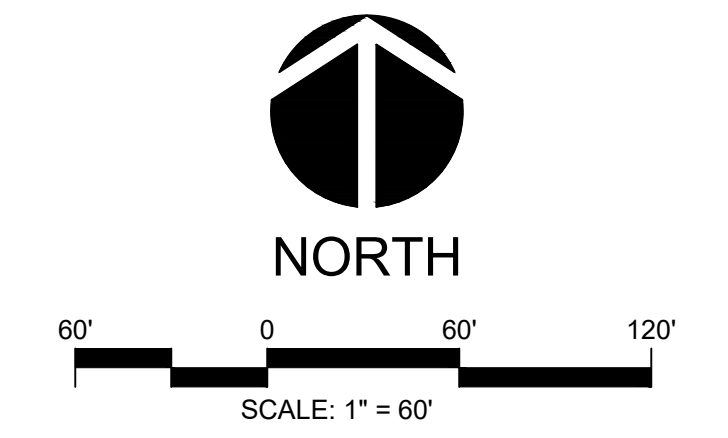
54 ON-STREET PARKING SPACES PROVIDED
OVERALL TOTAL SPACES PROVIDED - 565 SPACES

BICYCLE PARKING REQUIRED
1 SPACE / 20 MOTORIZED SPACE
520/20 = 26 BICYCLE SPACES / 26 SPACES REQD.
BICYCLE PARKING PROVIDED
32 SPACES

TREE COVERAGE
SITE PERIMETER = ± 5,927 LF x 20' DEPTH
= 118,540 SF / 2.72 AC. TREE COVERAGE REQUIRED (9.7% OF SITE)
212,410 SF / 4.88 AC. TREE COVERAGE PROVIDED (17.3% OF SITE)

RECREATION OPEN SPACE
PROPOSED DENSITY = 13.99 DU / AC
PROXIMITY ZONE = OUTSIDE 1/2 MILE
PROPOSED OVERALL BEDROOMS = 610
PROPOSED AMENITY REDUCTION = 25%
(PROVIDING CLUBHOUSE WITH MIN. 1,500 SF & RESORT STYLE POOL WITH MIN. 2,500 SF SURFACE WATER AREA)
610 BEDROOMS x 580 SF @ +10 DENSITY > 1/2 MILE PROXIMITY
= 353,800 - 25% REDUCTION
= 265,350 SF / 6.09 AC OPEN SPACE REQUIRED
132,675 SF MIN. ACTIVE OPEN SPACE
178,674 SF ACTIVE OPEN SPACE PROVIDED
108,447 SF PASSIVE OPEN SPACE PROVIDED
287,021 SF / 6.59 AC. TOTAL OPEN SPACE PROVIDED (23.4%)

-  TREE SAVE AREA
-  PASSIVE OPEN SPACE
-  ACTIVE OPEN SPACE
-  EXISTING POND
-  30' ZONE 1 NEUSE RIPARIAN BUFFER
-  20' ZONE 2 NEUSE RIPARIAN BUFFER
-  STREET TREES @ 40' O.C.



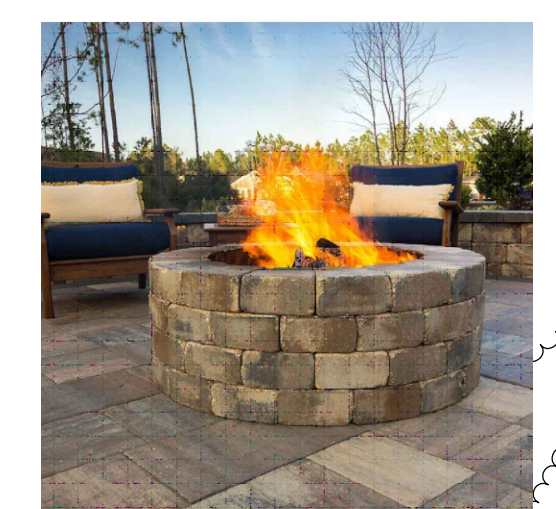
CE GROUP
301 GLENWOOD AVE. SUITE 220
RALEIGH, NC 27603
PHONE: 919-367-8790
www.cegroupinc.com



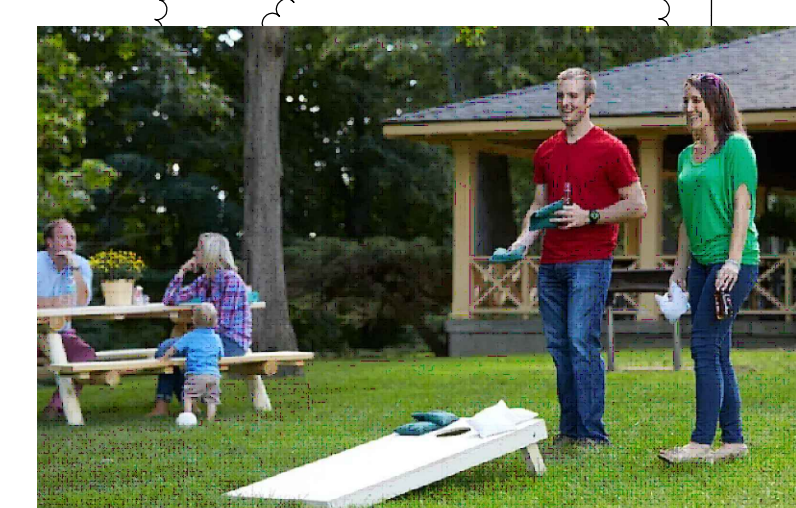
PICKLEBALL



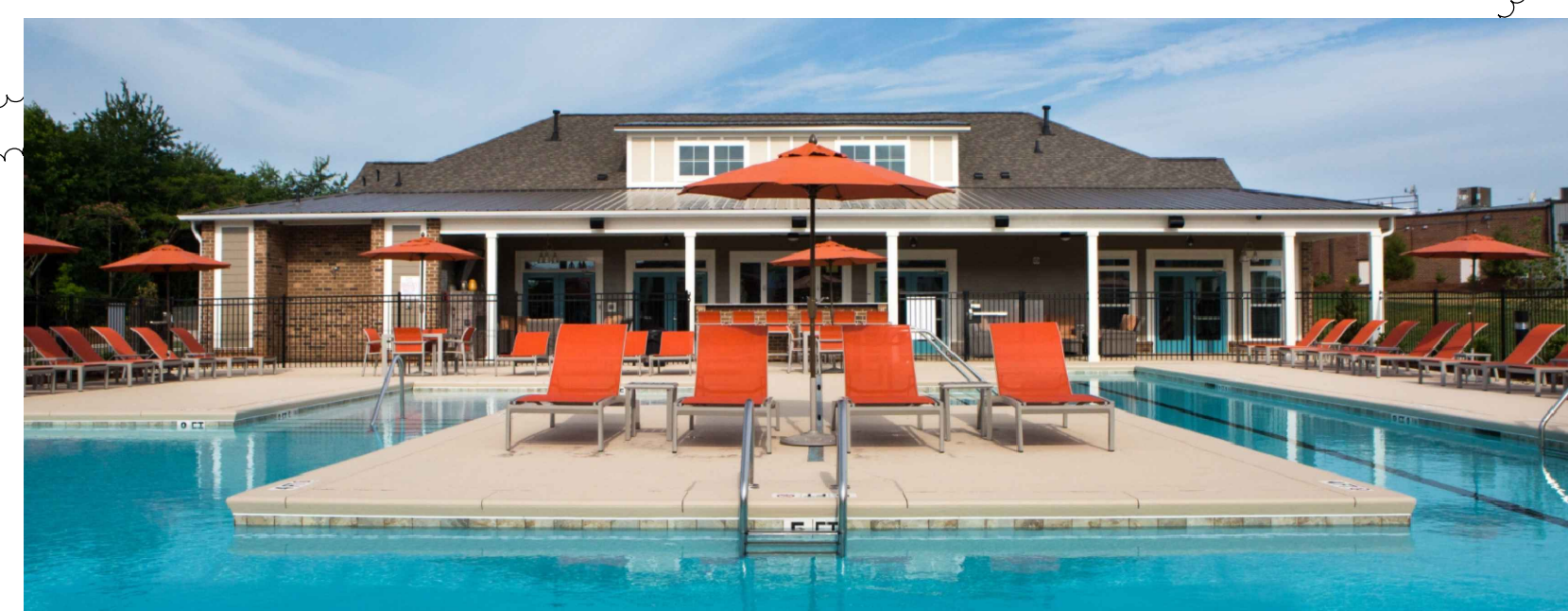
DOG PARK



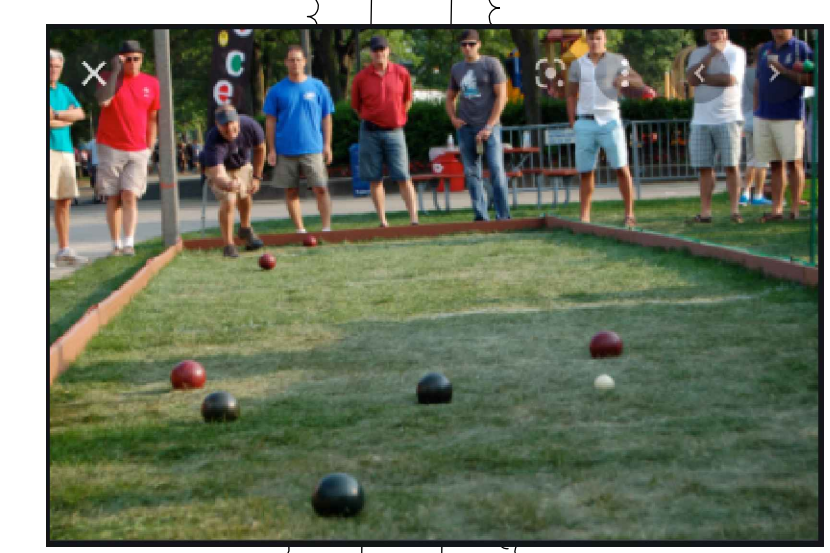
FIRE PITS



CORN HOLE



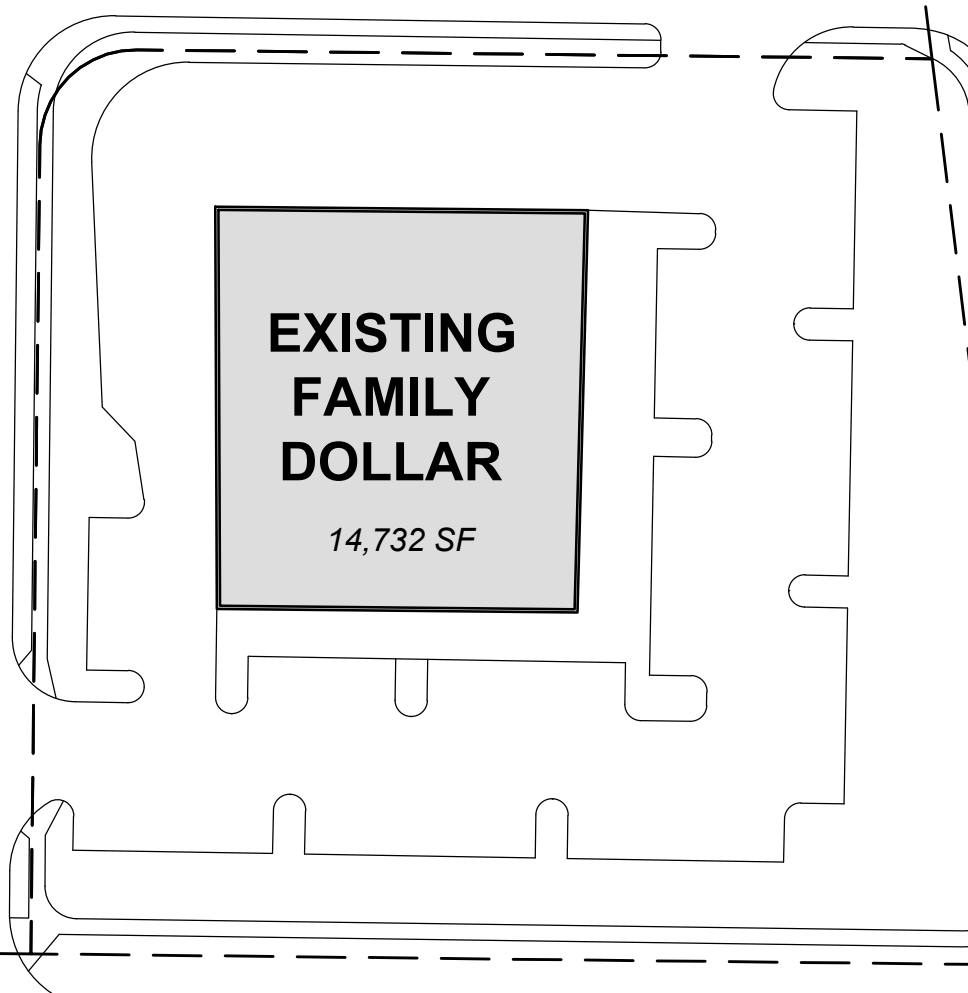
LARGE CLUBHOUSE WITH RESORT STYLE POOL



BOCCÉ BALL



FOOD TRUCK AREA



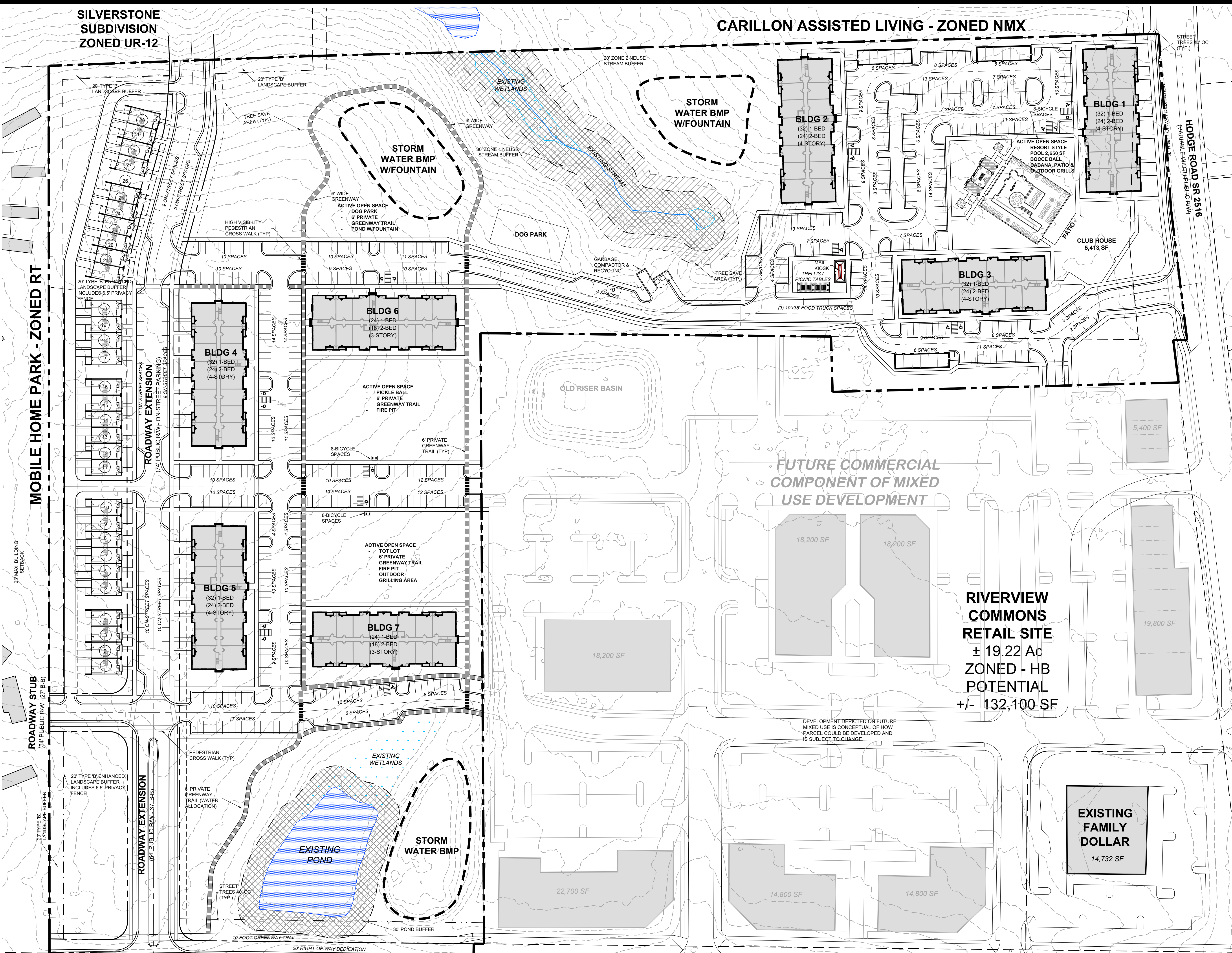
WIDENED TO 1/2 100' BOULEVARD ROADWAY SECTION
POOLE ROAD SR 1007
(VARIABLE WIDTH PUBLIC RW)

SILVERSTONE
SUBDIVISION
ZONED UR-12

CARILLON ASSISTED LIVING - ZONED NMX

ELEVATE RIVERVIEW
APARTMENTS
KNIGHTDALE, NORTH CAROLINA

SITE PLAN
OCTOBER 13, 2021



SITE DATA

SITE AREA: ± 28.16 ACRES
CURRENT ZONING: RMX
PROPOSED ZONING: NMX-PUD
MAX DENSITY: NO MAXIMUM
BUILDING SETBACKS:
FRONT: 0'-MIN, 25' MAX
SIDE: 10'
REAR: N/A

PROPOSED APARTMENT BUILDINGS

(5) 4-STORY: (32) 1-BEDROOM UNITS & (24) 2-BEDROOM UNITS PER BUILDING
(2) 3-STORY: (24) 1-BEDROOM UNITS & (18) 2-BEDROOM UNITS PER BUILDING
(30) TOWNHOME UNITS (3 BEDROOM)

APARTMENT PARKING REQUIREMENTS

(208) - 1-BEDROOM UNITS REQUIRE 1/BED = 208 SPACES
(158) - 2-BEDROOM UNITS REQUIRE 2/UNIT = 312 SPACES
TOTAL PARKING REQUIRED = 520 SPACES
493 PARKING SPACES PROVIDED (INCLUDES 33 H.C. SPACES)
18 GARAGE SPACES PROVIDED
511 TOTAL SPACES PROVIDED

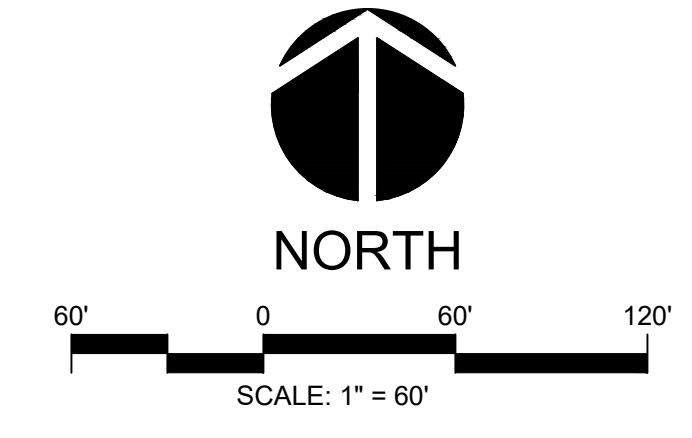
54 ON-STREET PARKING SPACES PROVIDED
OVERALL TOTAL SPACES PROVIDED - 565 SPACES

BICYCLE PARKING REQUIRED
1 SPACE / 20 MOTORIZED SPACE
520/20 = 26 BICYCLE SPACES / 26 SPACES REQD.
BICYCLE PARKING PROVIDED
32 SPACES

TREE COVERAGE
SITE PERIMETER = ± 5,927 LF x 20' DEPTH
= 118,540 SF / 2.72 AC. TREE COVERAGE REQUIRED (9.7% OF SITE)
212,410 SF / 4.88 AC. TREE COVERAGE PROVIDED (17.3% OF SITE)

RECREATION OPEN SPACE
PROPOSED DENSITY = 13.99 DU / AC
PROXIMITY ZONE = OUTSIDE 1/2 MILE
PROPOSED OVERALL BEDROOMS = 610
PROPOSED AMENITY REDUCTION = 25%
(PROVIDING CLUBHOUSE WITH MIN. 1,500 SF & RESORT STYLE POOL WITH MIN. 2,500 SF SURFACE WATER AREA)
610 BEDROOMS x 580 SF @ ±10 DENSITY > 1/2 MILE PROXIMITY
= 353,800 - 25% REDUCTION
= 265,350 SF / 6.09 AC OPEN SPACE REQUIRED
132,675 SF MIN. ACTIVE OPEN SPACE
178,674 SF ACTIVE OPEN SPACE PROVIDED
108,447 SF PASSIVE OPEN SPACE PROVIDED
287,021 SF / 6.59 AC. TOTAL OPEN SPACE PROVIDED (23.4%)

RIVERVIEW
COMMONS
RETAIL SITE
± 19.22 Ac
ZONED - HB
POTENTIAL
+/- 132,100 SF



CE GROUP
301 GLENWOOD AVE. SUITE 220
RALEIGH, NC 27603
PHONE: 919-367-8790
www.cegroupinc.com

ELEVATE RIVERVIEW APARTMENTS
AT
RIVERVIEW COMMONS
PLANNED UNIT DEVELOPMENT OVERVIEW



VISION FOR RIVERVIEW COMMONS

Location and History

Riverview Commons occupies the corner of Poole and Hodge Roads on the southeast outskirts of Knightdale. The property consists of three parcels. The corner tract of 1.93 acres is currently occupied by a Family Dollar. The Family Dollar lot is surrounded by a larger tract, approximately 19 acres, which is zoned HB (the “Commercial Site”). The Commercial Site, in turn, is surrounded by an L-shaped tract of approximately 27 acres, currently zoned RMX (the “Residential Site”).

These tracts were first identified for development in the 2000s. The original developer planned a Food Lion-anchored strip center on the Commercial Site, with outparcels on Poole and Hodge, to be surrounded by apartments or other residences on the Residential Site. It seems that this plan was torpedoed by the Great Recession in 2008. The only part ever built is the building now holding a Family Dollar, which was originally intended to be a Walgreen’s or other pharmacy to complement the Food Lion.

The Commercial Site and Residential Site were stripped of trees and partially graded, but then left vacant for the past decade or more. The sites are currently mostly covered with young scrub pine trees and brush, and are used for illegal trash dumping.

New Growth

The area around Riverview Commons is seeing rapid development. Just to the north, the Silverstone subdivision has begun construction, and when completed will include 276 single family homes and 103 townhomes. Directly east of Silverstone is Stone River, to include another 401 single family homes and 102 townhomes. The Eastgate 540 industrial development is nearing full buildout just up Hodge Road, creating many well-paying jobs in the immediate area. The completion of 540 is on the horizon, which will create a large interchange on Poole Road less than ½ mile from Riverview Commons. Just to the south of Poole Road, we understand that another large single-family subdivision is in the works.

It is time for the Riverview Commons site to be resurrected and put to productive use for the Town of Knightdale.

New Mixed-Use Activity Center in Two Phases

The KnightdaleNext 2035 Comprehensive Plan envisions an Activity Center in this area to serve as a gateway to Knightdale from the future 540 interchange. Riverview Commons is uniquely suited to be that gateway.

Signature Property Group builds and owns luxury apartment communities in all three major North Carolina metropolitan areas. We have identified the Riverview Commons Residential Site as an ideal location for our next community, tentatively branded “Elevate Riverview”. Elevate Riverview will consist of 364 attractive apartment homes and 30 townhomes, all with luxurious touches and plenty of amenities so that residents can live, work, play, and entertain without driving away from the community. The community will be configured to mimic traditional city blocks, with sophisticated, brick façade street fronting buildings surrounding active open spaces.

The owners of the Commercial Site are actively marketing the property and seeking a qualified developer to complete the buildout of this activity center. The Commercial Site is already zoned HB, and is ideal for a mix of retail and commercial uses. The construction of Silverstone, Elevate Riverview, and the other nearby residential developments will make the Commercial Site very attractive to developers and high-quality anchor tenants.

Our design for the Residential Site has been carefully constructed to maximize interaction with the Commercial Site. The two sites will be integrated closely together with sidewalks, greenway access for pedestrians and bicycles, and multiple convenient automobile connections. Elevate Riverview residents will enjoy a walkable community that is open to the surrounding single-family neighborhoods, creating a positive feedback loop to drive property values and business success for the entire area.

When complete, the Residential Site and Commercial Site will constitute a fantastic new mixed use activity center to serve as a new gateway to Knightdale.

DEVELOPMENT DETAILS

Signature has constructed many new apartment communities around North Carolina, adapting our style to meet changing markets and local aesthetics. The KnightdaleNext 2035 Comprehensive Plan envisions activity centers that create a sense of place and are uniquely Knightdale. We plan to bring our best ideas from recent years to create just such a community.

Elevate Riverview will be a hub of activity for residents and visitors. Our 364 well-appointed apartment homes will be built in urban-style 4 story, elevator served buildings and 3 story walkups. In keeping with the newly adopted Knightdale Uniform Development Ordinance, all buildings will all have internal unit entrances, flat roof architecture, articulated brick facades, and plentiful balconies and porches for our residents to enjoy.

On the western boundary of the Residential Site, we will build 30 townhomes. This will increase the variety of housing available in the area and provide a transition to the Silverstone neighborhood to the north. The townhomes will be 2-story, 3-bedroom units with rear-access garages and gracious front porches opening to the new connector street. These townhomes will be held for rental as part of Elevate Riverview, and residents of the townhomes will have full access to all Elevate Riverview amenities.

We have created an internal street layout reminiscent of a grid-style downtown. Each of our buildings will front on an internal street or external public road, and many units will have direct walkouts to on-street parking. The buildings surround attractive open spaces with many amenities for residents and visitors to enjoy.

This street grid, accompanied by sidewalks and greenways, will connect seamlessly to the Commercial Site. The overall Riverview Commons site will be a complete mixed-use development when fully built out.

**ELEVATE RIVERVIEW
APARTMENTS**
KNIGHTDALE, NORTH CAROLINA

MASTER PLAN
OCTOBER 13, 2021

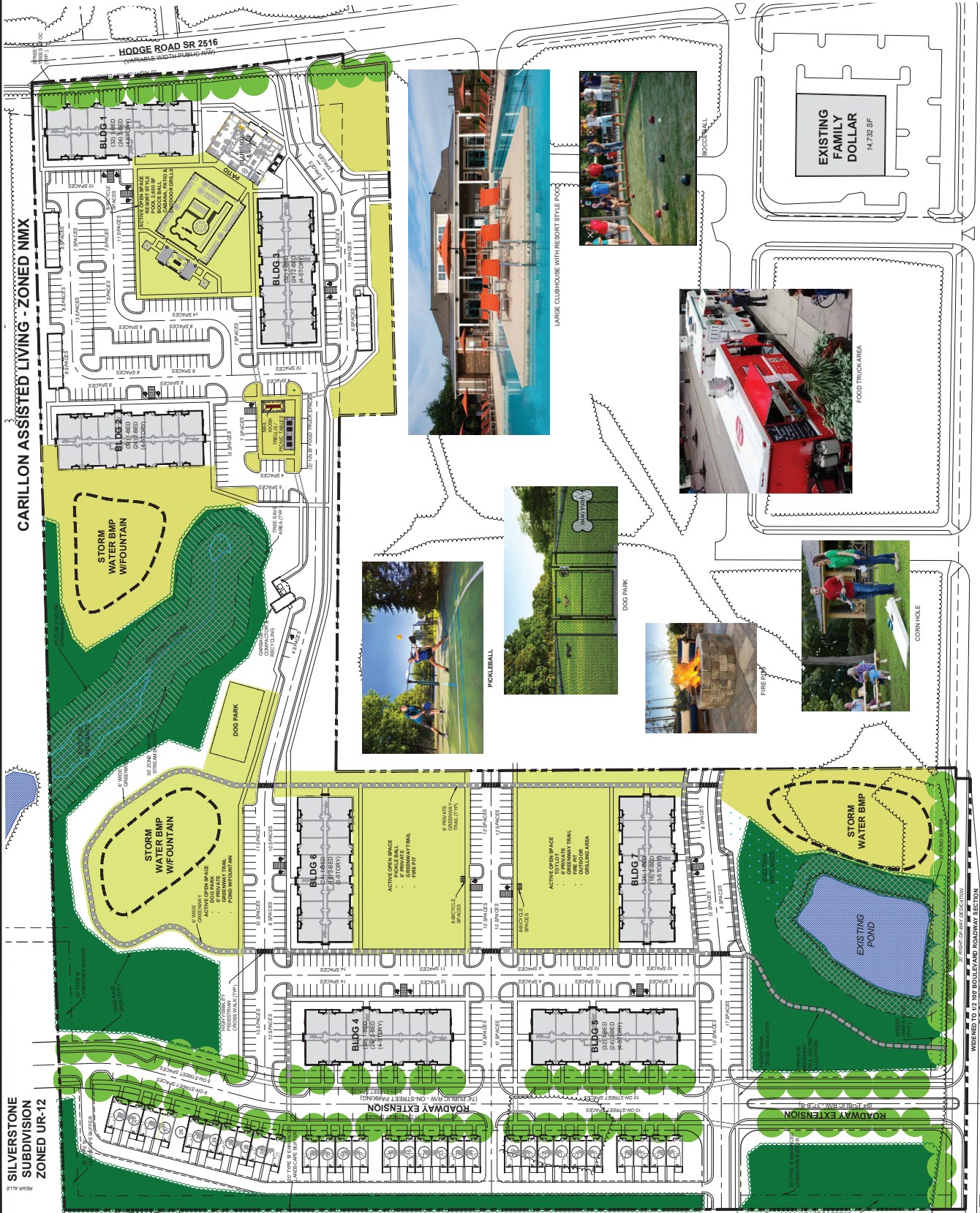
SITE DATA
 200 ACRES
 100% DEVELOPMENT
 CURRENT ZONING: NC 100
 MAXIMUM BUILDING SETBACKS: 10 FT
 SIDE SETBACK: 10 FT
 FRONT SETBACK: 10 FT
 (15-4-STORY) (201) 1-BEDROOM UNITS & 754 2-BEDROOM UNITS PER BUILDING
 (12-4-STORY) (201) 1-BEDROOM UNITS & 118 2-BEDROOM UNITS PER BUILDING
 (100) TOWNHOME UNITS (3-BEDROOM)
 APARTMENT PARKING REQUIREMENTS
 (200) 1-BEDROOM UNITS REQUIRE 118D + 208 SPACES
 (200) 2-BEDROOM UNITS REQUIRE 200D + 300 SPACES
 (200) TOWNHOME UNITS REQUIRE 200D + 300 SPACES
 483 PARKING SPACES PROVIDED (INCLUDES 33 H.C. SPACES)
 511 TOTAL SPACES PROVIDED
 14.6M STREET PARKING SPACES PROVIDED
 OVERALL TOTAL SPACES PROVIDED - 866 SPACES
 BICYCLE PARKING REQUIRED
 200D + 28 BICYCLE SPACES / 28 SPACES REQ'D.
 32 SPACES PROVIDED
 TREE COVERAGE
 SITE PERMITS # 1-2021-F-007 (SPT) H
 212,410 SF A.M. AC. TREE COVERAGE PROVIDED (12.3% OF SITE)
 RECREATION OPEN SPACE
 PROPOSED DENSITY = 1,330 DU / AC
 PROPOSED OVERALL RECREATION = 670
 PROPOSED OVERALL RECREATION WITHIN 1,000 SF OF A RESORT STYLE POOL WITHIN PROVIDING CLUBHOUSE WITHIN 1,000 SF OF A RESORT STYLE POOL WITHIN
 2,000 SF BOULEVARD WATER AREA
 2,000 SF BOULEVARD WATER AREA
 13,800 SF ANN. ACTIVE OPEN SPACE REQUIRED
 13,800 SF ANN. ACTIVE OPEN SPACE PROVIDED
 108,447 SF ANN. ACTIVE OPEN SPACE PROVIDED
 287,021 SF / 1,689 AC. TOTAL OPEN SPACE PROVIDED (23.4%)

- TREE SAVE AREA
- PASSIVE OPEN SPACE
- ACTIVE OPEN SPACE
- EXISTING POND
- 30' ZONE 1 NEIGSE RIPARIAN BUFFER
- 20' ZONE 2 NEIGSE RIPARIAN BUFFER
- STREET TREES @ 47' O.C.

301 GLENWOOD AVE, SUITE 220
 PHOENIX, AZ 85004
 PHONE: 602-998-0980
 WWW.CEGROUP.COM



CE GROUP
 301 GLENWOOD AVE, SUITE 220
 PHOENIX, AZ 85004
 PHONE: 602-998-0980
 WWW.CEGROUP.COM



SILVERSTONE
 SUBDIVISION
 ZONED UR-12

MOBILE HOME PARK - ZONED RT
 ROADWAY SR 2516

ROADWAY EXTENSION
 ROADWAY EXTENSION

ROADWAY EXTENSION
 ROADWAY EXTENSION

ROADWAY EXTENSION
 ROADWAY EXTENSION

ROADWAY EXTENSION
 ROADWAY EXTENSION

ROADWAY EXTENSION
 ROADWAY EXTENSION

ROADWAY EXTENSION
 ROADWAY EXTENSION

ROADWAY EXTENSION
 ROADWAY EXTENSION

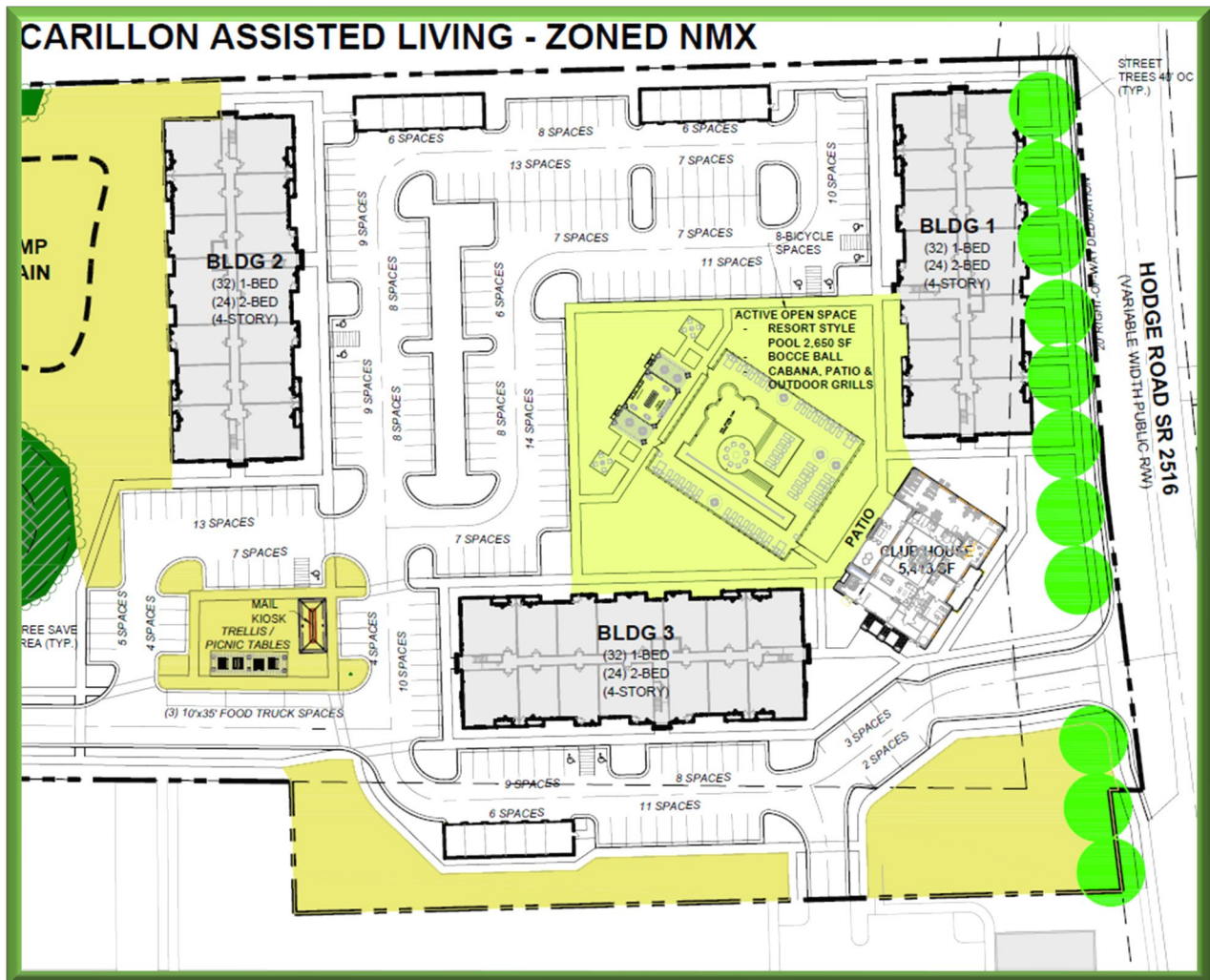
ROADWAY EXTENSION
 ROADWAY EXTENSION

W/ENDED TO 10' 0" BY BOULEVARD ROADWAY SECTION
 HODGE ROAD SR 2516
 10' 0" W/ENDED TO 10' 0" BY BOULEVARD ROADWAY SECTION

Amenities and Open Space

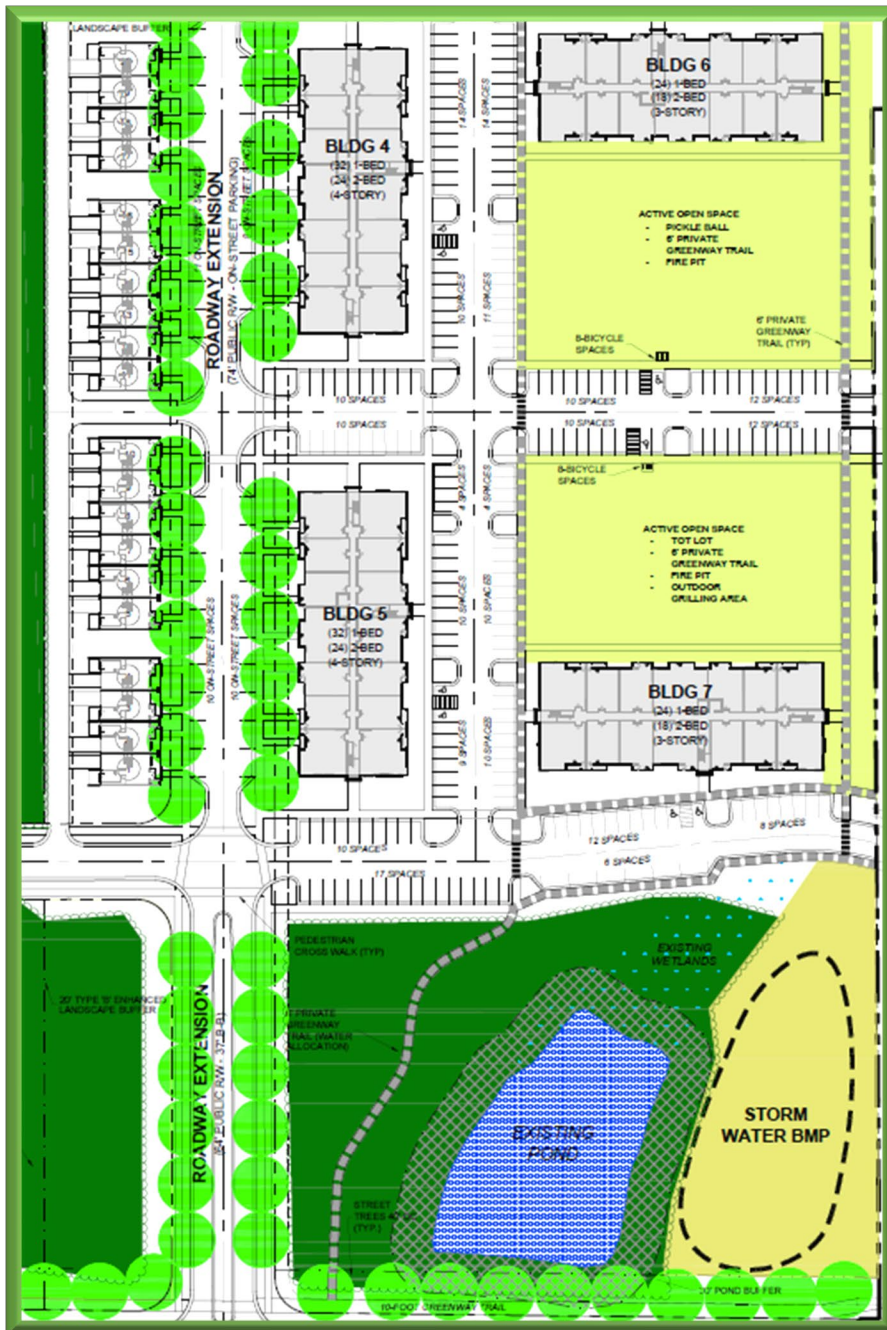
All Signature communities are built with open space and amenities designed to delight our residents and their guests, and Elevate Riverview will take our amenity package to the next level. On the Hodge Road side of the community, our main entrance will welcome residents to our spacious clubhouse. The clubhouse will include a gourmet coffee bar, pool table and gathering areas for entertaining and a fully-equipped 24-hour fitness center. We have recently redesigned our clubhouses to include private workspaces for residents who need to work remotely but want a change of scenery from working in their apartments.

In an open courtyard behind the clubhouse, residents and their guests will enjoy a 2,500 square foot resort style pool with a central lounging island. The pool area will incorporate an outdoor kitchen and entertaining area with active amenities such as a bocce ball court.



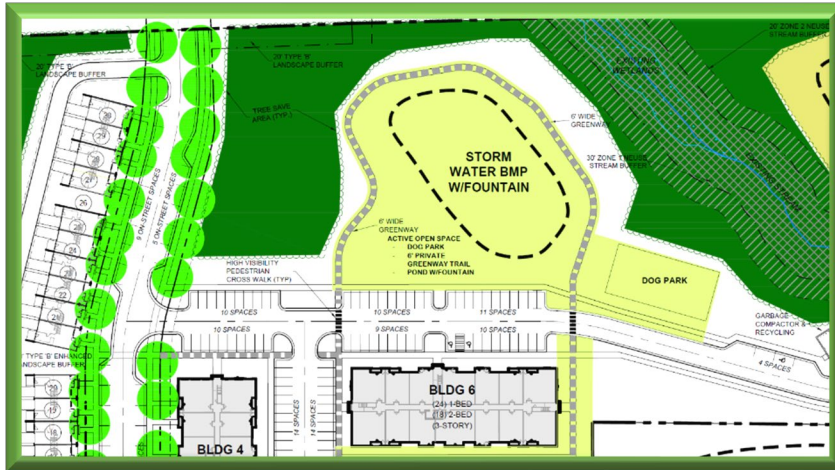
The clubhouse and pool area will be tightly integrated with two 4-story apartment buildings, and the entire assemblage will be visible from Hodge Road. This will present a unique, coordinated façade of sophisticated buildings to drivers arriving to Knightdale from the future 540 interchange.

On the western, Poole Road side of the property, we have designed a central park feel with expansive active open spaces framed by four distinguished buildings. This large commons area will include amenities such as a playground and pickle ball court. A dog park with agility equipment will be located nearby.



The new connector street will be fronted by stately buildings on both sides. Each townhome and each ground floor apartment unit will have a front porch with a direct sidewalk connection to on-street parking. This will create an active, engaging urban streetscape.

From the connector street, pedestrians, bicyclists, and motorists will be able to access the Commercial Site via drive aisles and sidewalks, without having to travel on Poole Road.

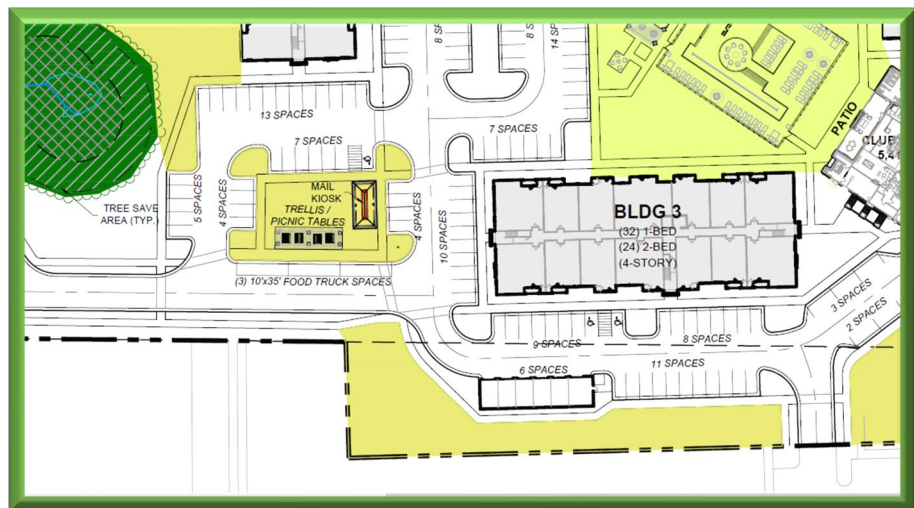


A greenway, more than ½ mile in length, will run throughout the western side of the property. This greenway will enable residents and guests to enjoy views of the existing natural pond and woods.

The greenway will also incorporate our stormwater

ponds, which will be attractively landscaped and provided with fountains.

To help jumpstart the development of Riverview Commons as an activity center, we have designed a food truck court near the clubhouse and adjacent to the Commercial Site. Elevate Riverview will host local food truck businesses in regular



events that are open to the public, which will help draw attention to this area and give it a reputation not only as a great place to live, but for dining and entertainment as well.

Please see the attached Appendix 1 for conceptual floor plans and elevations of our apartment buildings, townhomes, and clubhouse.

KNIGHTDALENEXT 2035 COMPREHENSIVE PLAN

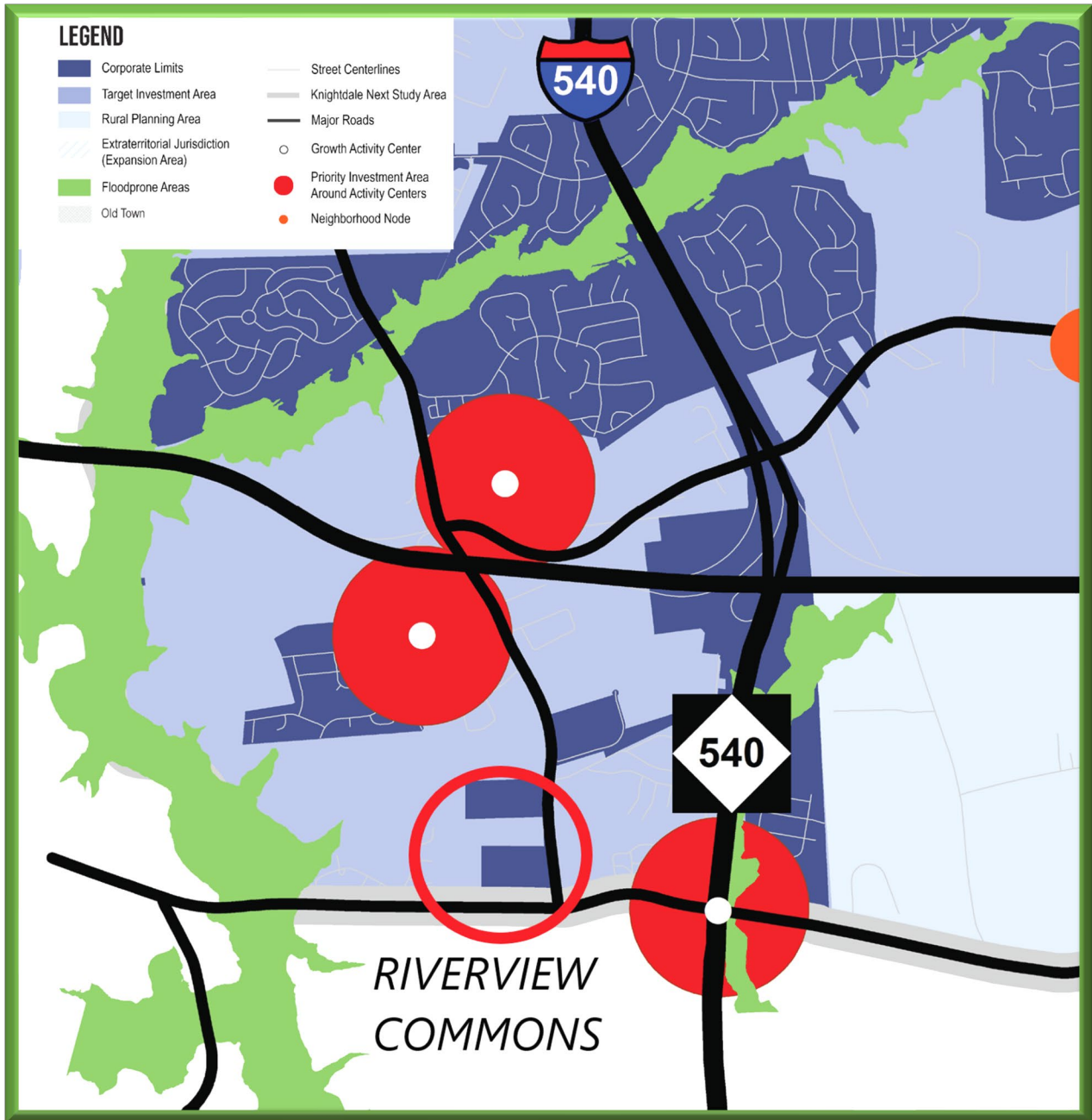
Elevate Riverview, and Riverview Commons as a whole, will support and advance the guiding principles of the KnightdaleNext 2035 Comprehensive Plan.

- **Unique Activity Centers:** Elevate Riverview is the foundation of a unique activity center and gateway at the future 540 interchange. Signature’s unique architectural and community plan harkens back to urban architecture of the early 20th century, such as that found in Old Town Knightdale, but updates it for the demands of a growing, dynamic 21st century town. Elevate Riverview will create a place that is “uniquely Knightdale.”
- **Natural environment:** Our plan for interconnected green spaces and conservation of existing ponds and woods will provide healthy habitat for birds and small animals, while also enabling residents to enjoy the outdoors.
- **Redevelopment of vacant and underutilized land:** This property was originally planned and rough graded in the 2000s, and since has been allowed to lie vacant, grow scrub pine, and become a site for illegal dumping. Bringing Riverview Commons back to life will greatly improve the corner of Poole and Hodge.
- **Compact development:** As envisioned by the Comprehensive Plan, Riverview Commons will be the activity center at the future intersection of 540 and Poole Road. Furthermore, our design features higher density 4 story buildings, which will maximize open space and natural amenities for residents and their guests.
- **Great neighborhoods and expanded home choices:** Elevate Riverview will provide the only apartment rental option in southwest Knightdale. The surrounding area is being rapidly developed with single-family homes. Elevate Riverview will provide options for young professionals moving to Knightdale for the growing employment opportunities in the nearby Eastgate 540 industrial complex.

The location of Elevate Riverview and Riverview Commons aligns with the Growth Framework for Knightdale as the priority investment area and Gateway Entrance for the future 540 interchange area. It also aligns with the Growth and Conservation Map, which identifies this site as a mixed use center. The surrounding areas are designated “mixed density.” Elevate Riverview will contribute to that desired mix of housing types and densities.

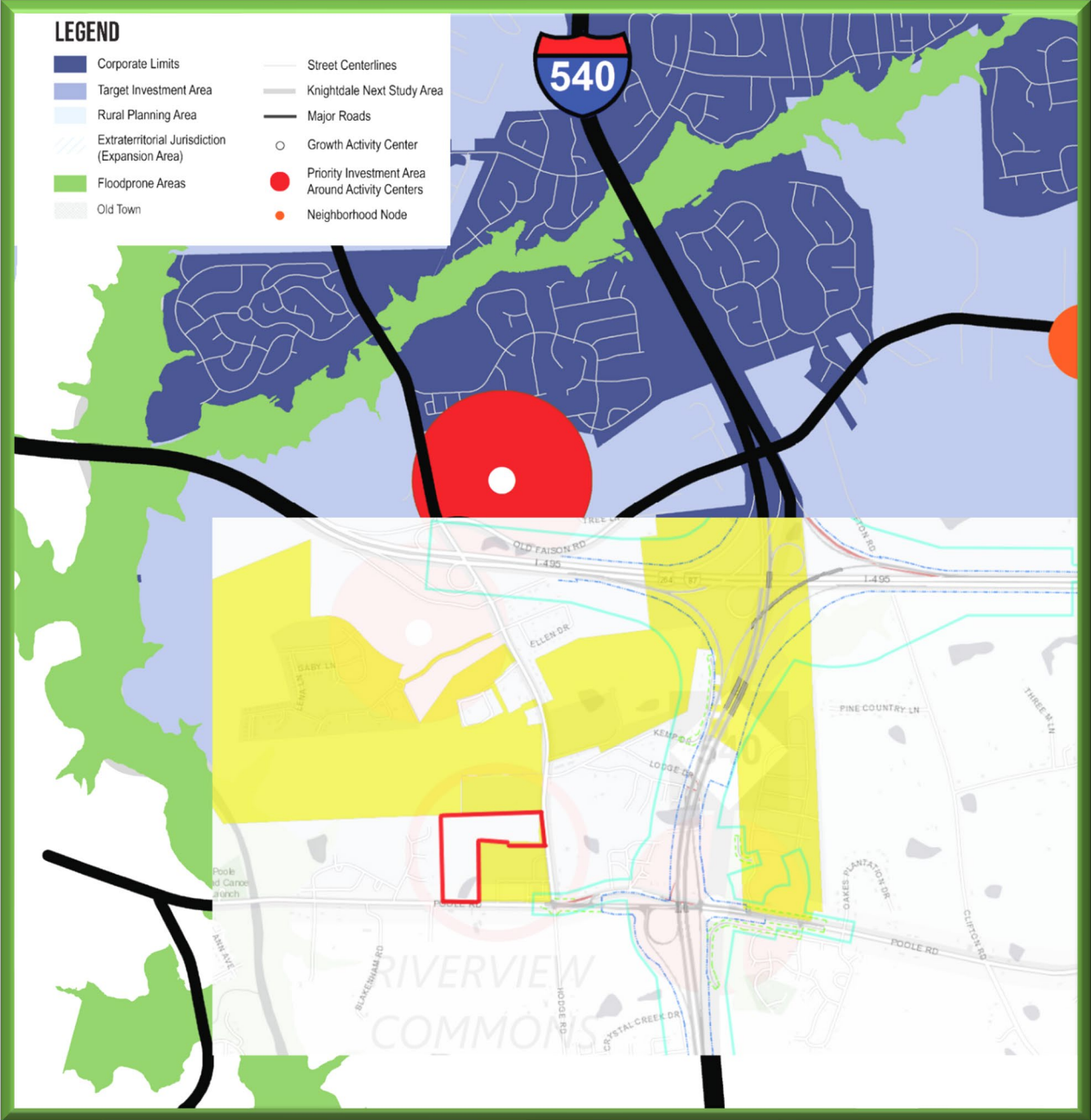
The KnightdaleNext 2035 Comprehensive plan also emphasizes trails, greenways, and connectivity. As noted above, Elevate Riverview will include a lengthy greenway system and thoughtfully planned connections to the Commercial Site enabling pedestrian, bicycle, and automobile connectivity. We will also construct a portion of the collector street planned for this area, opening up a connection from the Silverstone subdivision to Poole Road.

GROWTH FRAMEWORK MAP ALIGNMENT



GROWTH FRAMEWORK MAP

FUTURE 540 OVERLAY



UNIFIED DEVELOPMENT ORDINANCE REZONING

Elevate Riverview will be developed as a Planned Unit Development Overlay District. The base zoning is RMX, which we propose changing to NMX. A Planned Unit Development Overlay District (PUD) encourages creativity and innovation and flexibility from underlying zoning. Elevate Riverview will provide substantial tangible benefits to the Town justifying PUD rezoning, including exceptional amenities, conservation and enhancement of natural resources, and the creation of the first phase of the planned Activity Center for the future 540 interchange area. Elevate Riverview will meet or exceed the Standards of Review and required findings outlined in Section 11.2.F.3.g of the Unified Development Ordinance.

By granting PUD rezoning to Elevate Riverview, Knightdale will be furthering the goals and vision of the KnightdaleNext 2035 Comprehensive Plan, as outlined above. This site will fulfill the vision of developing a unique activity center close to the future 540 interchange.

The nature and character of this activity center should be complementary to its surroundings, now and in the future. Accordingly, in planning Elevate Riverview, we have considered the following:

- The Riverview Commons site is at the southeastern edge of Knightdale. The area to the south is in the Raleigh ETJ, and is being developed for single-family detached homes.
- The Carillon parcel to the north is a low-density design with a central, single-use building surrounded by grassy lawns. This development has low pedestrian connectivity to the Riverview Commons site and the current use of the site as an assisted living community limits its potential as a traffic source for Riverview Commons.
- North and west of Riverview Commons, and surrounding the assisted living site, Silverstone will develop 276 detached single family homes and 103 townhomes.
- Across the road from Silverstone, the Eastgate 540 industrial site is rapidly growing and adding jobs to Knightdale.
- A mobile home community occupies the land directly to the west of Riverview Commons, and the land directly south is occupied by Jackson Auto Salvage and U Pull It of Raleigh.
- Development directly to the east of Riverview Commons, across Poole Road, will be limited by the impending construction of 540 and the Poole Road interchange, The 540 right of way and interchange will impact most of the available land on that side of Poole Road.



The prevailing and planned development pattern is low density residential and light industrial. Riverview Commons will serve as a higher-density activity center, serving the surrounding lower-density areas, in alignment with the Comprehensive Plan.

In order to align Elevate Riverview with its location on the outer edge of Knightdale, and with the surrounding low-density development, the community will not include retail or commercial uses on the ground floor of the apartment buildings as suggested by Section 5.2 of the UDO. We request a site development allowance in this regard.

In lieu of providing ground floor commercial spaces, Elevate Riverview will create a lively and unique streetscape along the new connector road and internal drives by providing all ground-floor units with front porches and direct access to sidewalks, greenways, and on-street parking where available. The design of Elevate Riverview, as outlined under the Site Details section, strongly supports the modification standards of the UDO regarding place making, integrated design, common open space, landscape conservation, and other factors.

Development Plan

Riverview Commons will be developed in two phases. The current applicant, Signature Property Group, seeks to develop the first phase with the Elevate Riverview apartment community. Elevate Riverview will bring 364 high quality apartment homes to Southwest Knightdale, a housing option that does not exist at all in this area of the town. The community will also include 30 townhomes, which will serve to additionally increase housing options and provide a transition to the Silverstone development to the north.

Architectural Style

Elevate Riverview’s architectural style will be “uniquely Knightdale”! In designing the look and feel of our buildings, we were inspired by some of the 1920’s-1930’s era urban architecture that survives in Old Town Knightdale, updated for a thriving, dynamic 21st century community. Predominately brick facades call to mind stately downtown streetscapes. By organizing the buildings into a city block style arrangement, with direct access to streets and sidewalks from ground floor porches, we will create a lively streetscape.



These buildings will surround engaging and attractive common areas. On the Hodge Road side of the development, our clubhouse will serve as a cornerstone and focal point for the entrance to the development. In the courtyard behind the clubhouse will be a large, resort-style pool, outdoor kitchen and dining areas, and other activity areas for residents and their guests.

Our clubhouse has been newly redesigned to reflect the evolving needs of apartment dwellers. In addition to the traditional lounge and leasing office uses, we have added quiet, private workspaces for residents who need to work remotely. We are also providing a gourmet coffee bar so residents can get their morning coffee before heading to work, and a bar area that residents can use to entertain their guests. The clubhouse also incorporates a pet spa, package room, and maintenance facilities.

On the Poole Road side of the development, a large commons area will include playgrounds, pickleball courts, and other active uses. It will also encompass a greenway over ½ mile in length winding from Poole Road. It will connect the entire development to Poole Road, and to a picturesque natural pond and wetland area that will be conserved and enhanced.

The many amenities and programs that Elevate Riverview will provide for its residents will encourage them to work, play, and dine on the property instead of driving elsewhere for their needs. Although not a full-service grocery store, the Family Dollar at the corner of Poole and Hodge puts basic grocery and other shopping needs within easy walking or biking distance for our residents.

Other Development Plan Allowances

We note that UDO Section 6.7 requires a “front entrance” for apartment buildings onto a public street. In lieu of a “front entrance”, all of our ground floor units on the street side will have a front porch with direct access to sidewalks and on-street parking. This will create a lively streetscape and encourage pedestrian activity. The arrangement also aligns with the façade articulation standard requiring that usable front porches occupy 30% of the façade. Please note that each unit will also have an internal entrance in accordance with UDO Section 6.7.

We also noted a conflict between the 10-foot minimum setback requirement of Section 6.7 and the tree planting requirement of Section 7.4 L. It is not practicable to have a 5-foot planting strip occupied by canopy trees in front of an apartment building that is only 10 feet from the street, along with a 6-foot sidewalk. In preparing our site plan, therefore, we have opted to set our buildings approximately 20 feet from the street, which provides room for the required sidewalks and street trees. We will seek staff feedback during the construction drawing phase to find ways to maximize the attractiveness of the development and the health of the street trees, within the intent of the UDO.

Water Allocation

Elevate Riverview qualifies for water allocation under the Knightdale Water Allocation ordinance. The calculation of water allocation points is attached as Appendix 2.

Transportation Improvements

Davenport has prepared and submitted to the Town a Transportation Impact Analysis for Elevate Riverview, dated October 15, 2021. A copy of this TIA is included with this submission. As recommended by the TIA, we will construct the following improvements to Poole and Hodge Roads:

- Hodge Road access: new southbound right turn lane with 100 feet of storage, new northbound left turn lane with 100 feet of storage. This will complete Hodge Road to its designed width, and eliminate the strange narrowing that currently appears just in front of the Elevate Riverview site.
- Poole Road access: new eastbound left turn lane with 100 feet of storage, new westbound right turn lane with 100 feet of storage.

In addition, we will construct the connector street between the Silverstone development to the north and Poole Road, through the western side of Elevate Riverview.

CONCLUSION

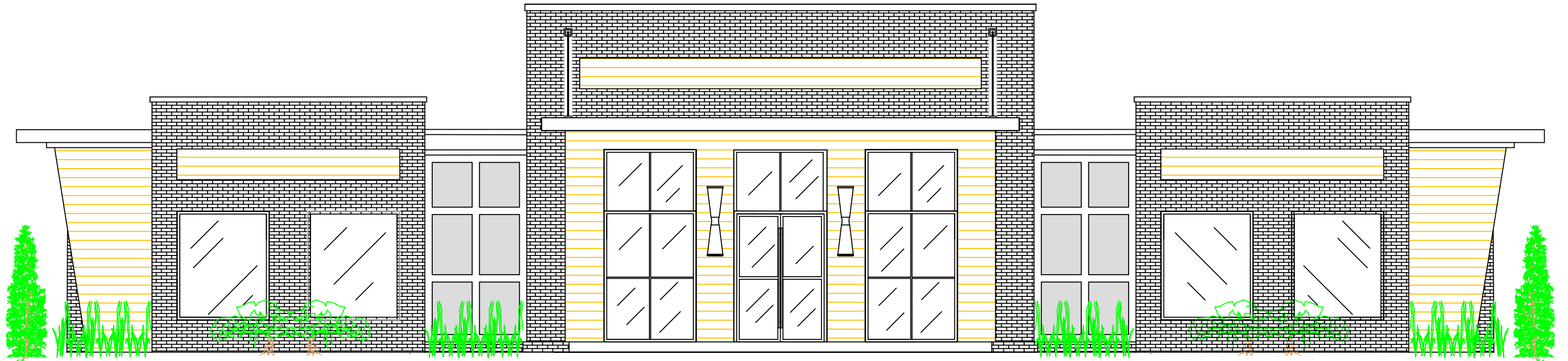
Elevate Riverview is the first phase of the overall Riverview Commons mixed-use development. The retail and commercial site is being actively marketed for development. The ongoing development of housing in the area, including the 394 total housing units to be added by Elevate Riverview, will encourage retail and commercial developers to develop the remaining land. When fully developed, Riverview Commons will be a live-work-play-shop mixed-use activity center.

The Elevate Riverview phase will create a lively, urbanized area where residents can live, play, work, and entertain. The community will attract new residents and new investment to Southwest Knightdale. Approval of PUD rezoning for Elevate Riverview will further the objectives of the UDO and enable the development of the overall Riverview Commons site in support of the KnightdaleNext 2035 Comprehensive Plan.

APPENDIX 1

CONCEPTUAL FLOOR PLANS AND ELEVATIONS

1. *Clubhouse Front Elevation*
2. *Clubhouse Floorplan*
3. *Four-story Apartment Building Street Elevation*
4. *Four-story Apartment Building Floorplan (1st Story)*
5. *Townhome Front Elevation*
6. *Townhome Floorplan*



CLUBHOUSE FRONT ELEVATION
NEW CONCEPT FOR RIVERVIEW, KNIGHTDALE
WITH PARAPET WALL
REVISED 8-5-2021

NOT USED

FINISH SCHEDULE				
SPACE NAME	CEILING HEIGHT	FLOOR FINISH	CEILING & WALL FINISH	BASE TRIM
FITNESS CENTER	10'-0"	RUBBER MAT	PAINTED GWB	PAINTED WOOD
CLUBROOM & LEASING AREA	VARIABLES	STAINED CONCRETE	PAINTED GWB	PAINTED WOOD
ALL OTHER ROOMS & SPACES	10'-0"	STAINED CONCRETE	PAINTED GWB	PAINTED WOOD

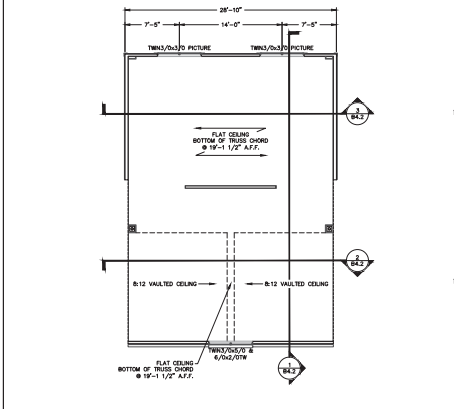
- FINISH SCHEDULE NOTES:**
- FINISHED PROVIDED FOR PRICING PURPOSES ONLY. ALL FINISHED ARE SUBJECT TO OWNER APPROVAL.
 - G.C. TO COORDINATE WITH OWNER FOR COLOR SELECTION.
 - GYPSUM WALL BOARD INSTALLED IN BATHROOMS SHALL BE MOISTURE RESISTANT TYPE.
 - ALL CLOSETS SHALL RECEIVE THE SAME FLOOR/WALL/CEILING FINISH AS ADJACENT SPACE.
 - PAINT FINISHES:
 - ALL WALLS TO BE EGGSHELL FINISH
 - ALL TRIM & PAINTED DOORS TO BE SEMI-GLOSS FINISH
 - ALL CEILINGS TO BE FLAT FINISH
 - ABBREVIATIONS:
 - GWB = GYPSUM WALL BOARD
 - IN BATHROOMS, WALL & PARTITIONS WITHIN 2 FT OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 4 FT ABOVE THE FLOOR.

- NOTES:**
- ALL WORK TO BE IN ACCORDANCE WITH 2018 NORTH CAROLINA BUILDING CODE.
 - G.C. TO COORDINATE WITH OWNER FOR TYPE, QUANTITY, AND FINAL LAYOUT FOR ALL EXERCISE EQUIPMENT AND FURNITURE.
 - REFERENCE SHEET B2.1 FOR ENLARGED KITCHENETTE, BREAK ROOM, AND BATHROOM PLANS.
 - REFERENCE SHEET B2.1 FOR ACCESSIBILITY REQUIREMENTS AND DETAILS.
 - REFERENCE STRUCTURAL SHEETS FOR FOUNDATION AND FRAMING REQUIREMENTS.
 - FRAME WALL CONTINUOUS TO CLEARSTORY CEILING ABOVE.
 - G.C. TO COORDINATE CUSTOM FIELD-BUILT FLOOR-TO-CEILING CUBBY SHELF.
 - G.C. TO COORDINATE CUSTOM FIELD-BUILT FLOOR-TO-CEILING BOOKSHELF.

- DOOR NOTES:**
- NOMINAL DOOR WIDTHS INDICATED ON THESE PLANS. G.C. TO VERIFY ROUGH OPENING SIZES WITH DOOR MANUFACTURER PRIOR TO CONSTRUCTION.
 - EXTERIOR DOORS TO BE 8/0 TALL WOOD-EDGED STEEL ENTRY DOOR. FULL LITE 1/2" LOW-E TEMPERED GLASS, 3/0 SIDE HINGED PANELS, FLUSH BOLT 1 PANEL FOR DOUBLE DOORS. U-FACTOR=0.31, SHGC=0.25, DOUBLE BORE, DEADBOLT, SELF-CLOSING HARDWARE, WOOD FRAME JAMB WITH WEATHERSTRIPPING & ADA THERMAL BREAK SILL.
 - POOL EQUIPMENT ROOM ENTRY DOOR TO BE 6/8 TALL WOOD-EDGED HIGH DEFINITION STEEL ENTRY DOOR. 2 PANEL SMOOTH 2/8 SIDE HINGED PANELS, FLUSH BOLT 1 PANEL. U-FACTOR=0.14, DOUBLE BORE, SELF-CLOSING HARDWARE. FRAME JAMB WITH WEATHERSTRIPPING & ADA DOUBLE SADDLE SILL.
 - INTERIOR DOORS TO BE 6/8 TALL HOLLOW CORE WOOD 2 PANEL SMOOTH, SINGLE BORE, WOOD FRAME JAMB.
 - INTERIOR FULL LITE (FL) DOORS TO BE 6/8 TALL WOOD PANELS W/ FULL LITE TEMPERED GLASS, SINGLE BORE, WOOD FRAME JAMB.
 - G.C. TO COORDINATE INSTALLATION OF DOOR ACCESS CONTROL SYSTEM AS REQUIRED.

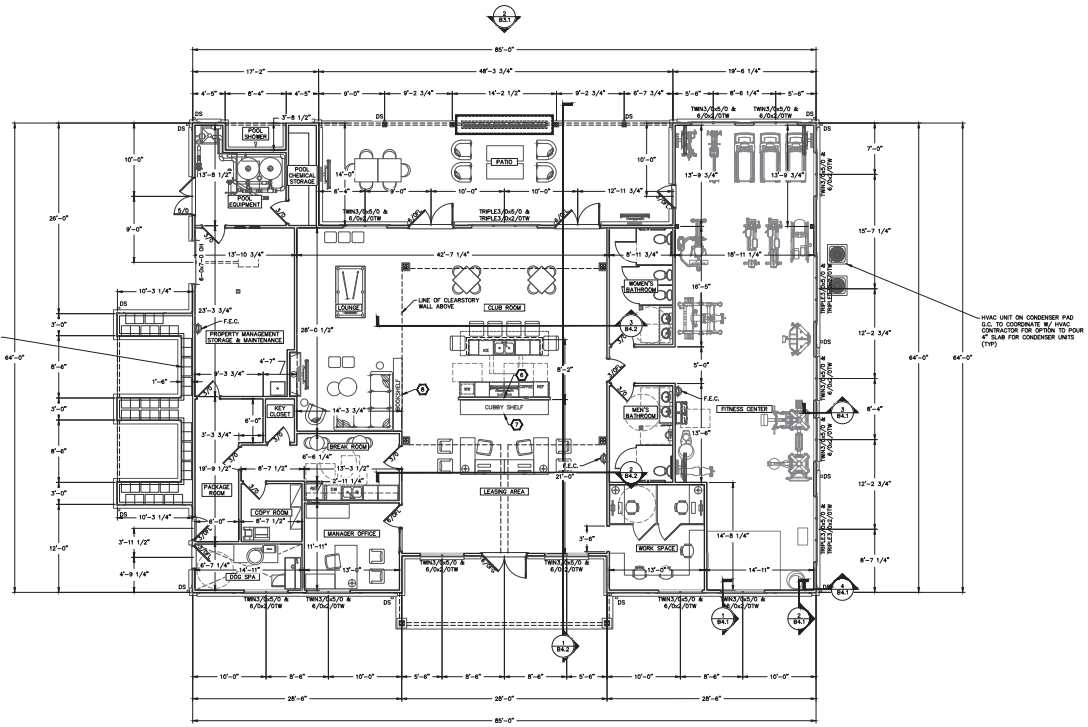
- WINDOW NOTES:**
- NOMINAL WINDOW SIZED INDICATED ON THESE PLANS. G.C. TO VERIFY ROUGH OPENING SIZE WITH WINDOW MANUFACTURER PRIOR TO CONSTRUCTION.
 - WINDOWS SHALL BE PICTURE WINDOWS, VINYL FRAME, DOUBLE PANE LOW-E AIR FILLED TEMPERED GLASS, U-FACTOR=0.30, SHGC=0.25, DP-20 (MIN), MULLED TRANSOM WINDOWS ABOVE.

NOT USED



2 FLOOR PLAN - CLEARSTORY
1/8" = 1'

NOT USED



1 FLOOR PLAN - FIRST LEVEL
1/8" = 1'

RE

Rehab Engineering, P.C.
 401 East Fourth Street, Suite 201
 Winston Salem, North Carolina 27101-4171
 www.rehabeng.com
 office 336.714.8935
 fax 336.722.8872

PRELIMINARY

Version: 1.0
 Date: 10/21/2020
 Project: 2021-10-20
 Description: Zoning Review Set - Not For Construction

ELEVATE RIVERVIEW CLUBHOUSE
 POOLE ROAD & HODGE ROAD
 KNIGHTDALE, NORTH CAROLINA 27545
 WAKE COUNTY







FLOOR PLANS

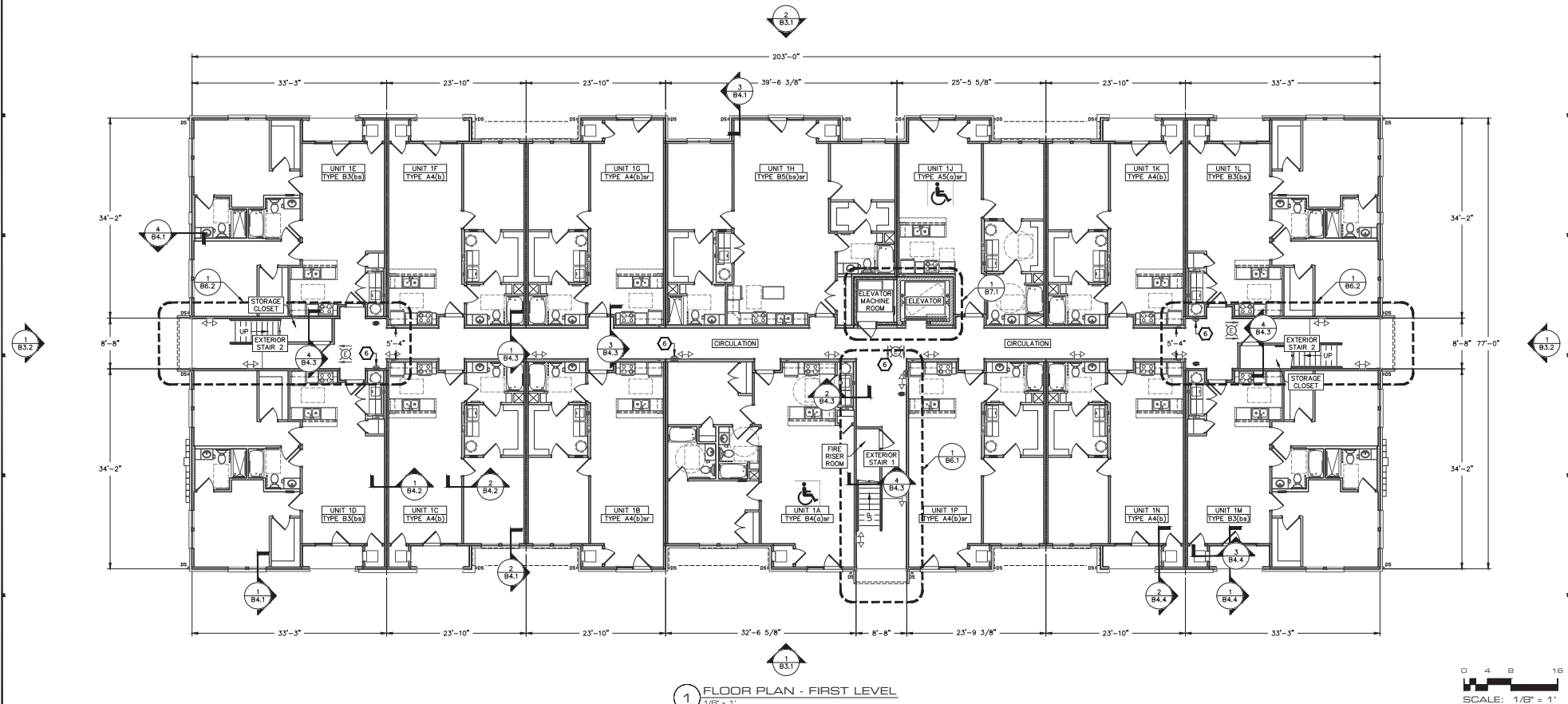
PROJECT NUMBER: 21-22
 DRAWN BY: JAD
 SHEET: Clubhouse B1.1



2 STREET ELEVATION— BUILDING TYPE 56
ELEVATION CHANGE OPTIONS

NOT USED

- WALL LEGEND:**
-  1 HOUR RATED INTERIOR BEARING FIRE PARTITION - U305
 -  1 HOUR RATED UNIT SEPARATION FIRE PARTITION - U341
 -  1 HOUR RATED EXTERIOR BEARING FIRE PARTITION - U356
 -  2 HOUR RATED INTERIOR FIRE BARRIER - U301
 -  2 HOUR RATED CMU SHAFT - U906
- NOTES:**
1. ALL WORK TO BE IN ACCORDANCE WITH 2018 NORTH CAROLINA BUILDING CODE.
 2. MAINTAIN 1 1/4" CLEAR SPACE BETWEEN TENANT SEPARATION WALL STUDS.
 3. ALL UNITS SHALL BE TYPE (c) OR TYPE (b), AS REQUIRED BY NORTH CAROLINA BUILDING CODE CHAPTER 11. SEE PROJECT SITE PLAN FOR EXACT LOCATIONS OF TYPE (c) UNITS THROUGHOUT THE PROJECT.
 4. REFERENCE ENLARGED UNIT FLOOR PLANS SHEETS B2.1-B2.5 FOR UNIT INTERIOR DIMENSIONS.
 5. REFERENCE STRUCTURAL SHEETS FOR FOUNDATION AND FRAMING REQUIREMENTS.
-  FIRE EXTINGUISHER CABINETS SHALL BE RECESSED MOUNTED INTO WALLS. FRAME ROUGH OPENING FOR CABINET 1 1/4" LARGER IN BOTH VERTICAL & HORIZONTAL DIMENSIONS. WRAP ROUGH OPENING FRAMING WITH 5/8" GYPSUM BOARD PRIOR TO INSTALLATION OF THE CABINET.



1 FLOOR PLAN - FIRST LEVEL
1/8" = 1'

0 4 8 16
SCALE: 1/8" = 1'



Rehab ENGINEERING, P.C.
401 East Fourth Street, Suite 201
Winston Salem, North Carolina 27101-4171
www.rehab-eng.com
office 336 714-8935
fax 336 722-9872

PRELIMINARY

Version:	Date:	Version Name:
P01	2021-10-20	Zoning Review Set - Not For Construction

**ELEVATE RIVERVIEW
BUILDING TYPE 56**
POOLE ROAD & HODGE ROAD
KNIGHTDALE, NORTH CAROLINA 27545
WAKE COUNTY

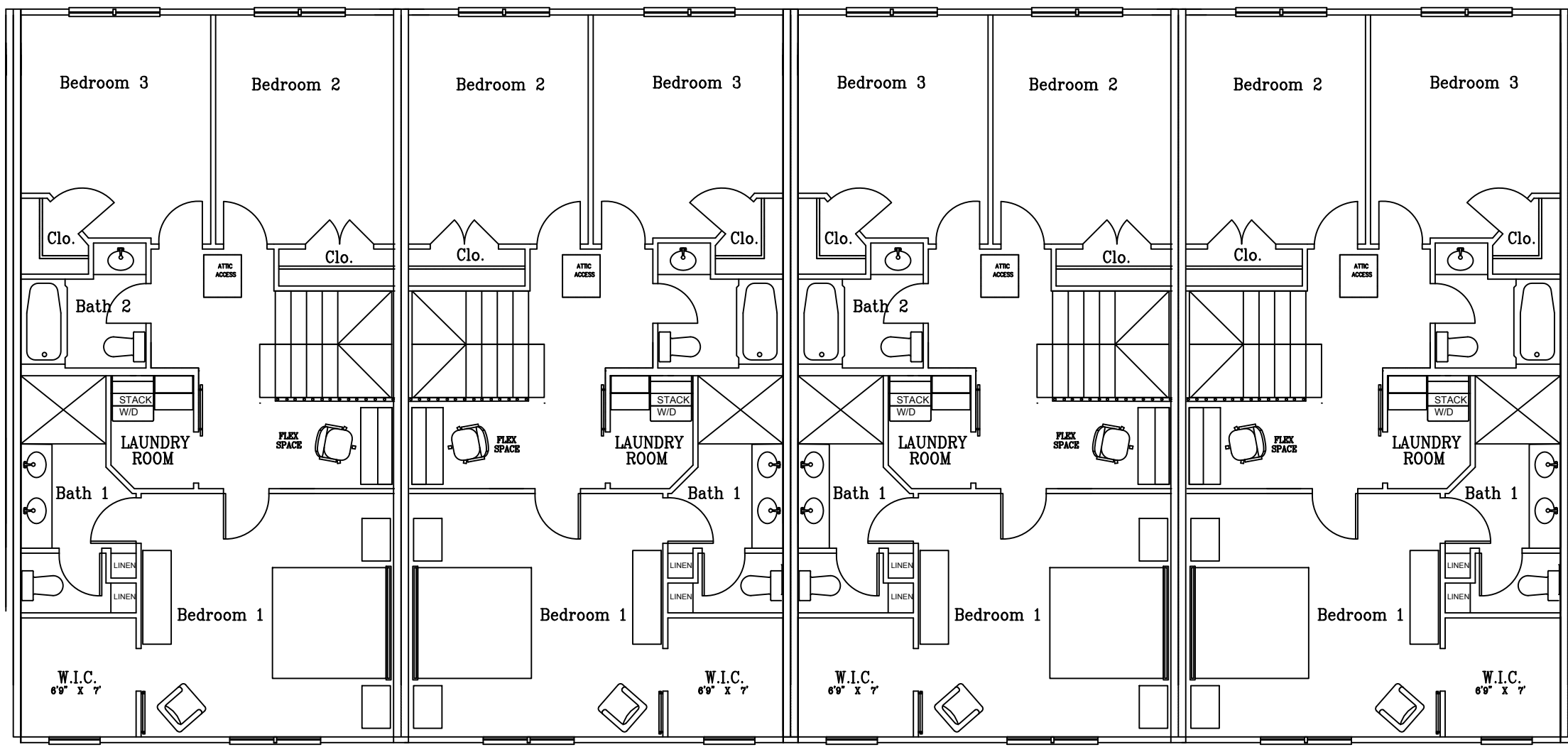
FLOOR PLAN - FIRST LEVEL

PROJECT NUMBER:
27-27
DRAWN BY:
JAD
SHEET:
**BLDG56
B1.1**

ELEVATE RIVERVIEW APTS.
KNIGHTDALE, N.C.
TOWNHOME FINISHES

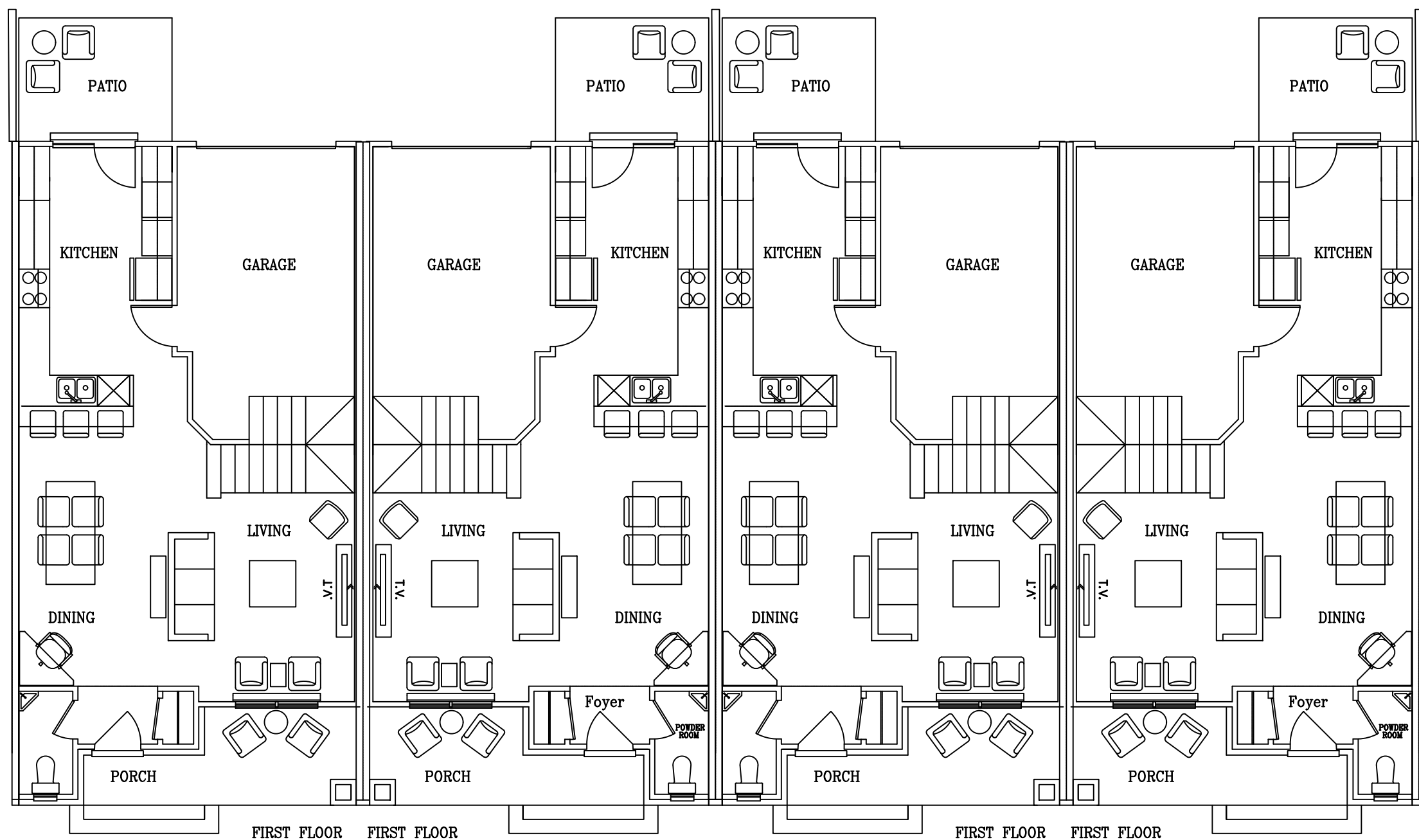


FRONT ELEVATION
FOUR UNIT BUILDING



SECOND FLOOR SECOND FLOOR

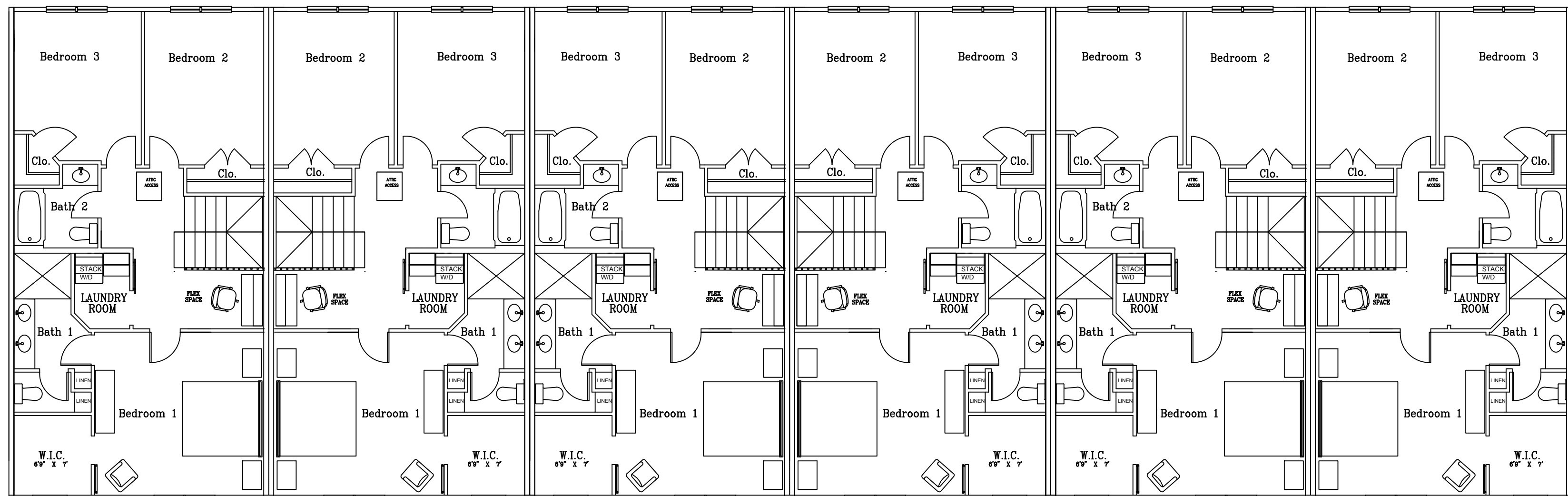
SECOND FLOOR SECOND FLOOR



FIRST FLOOR

FIRST FLOOR

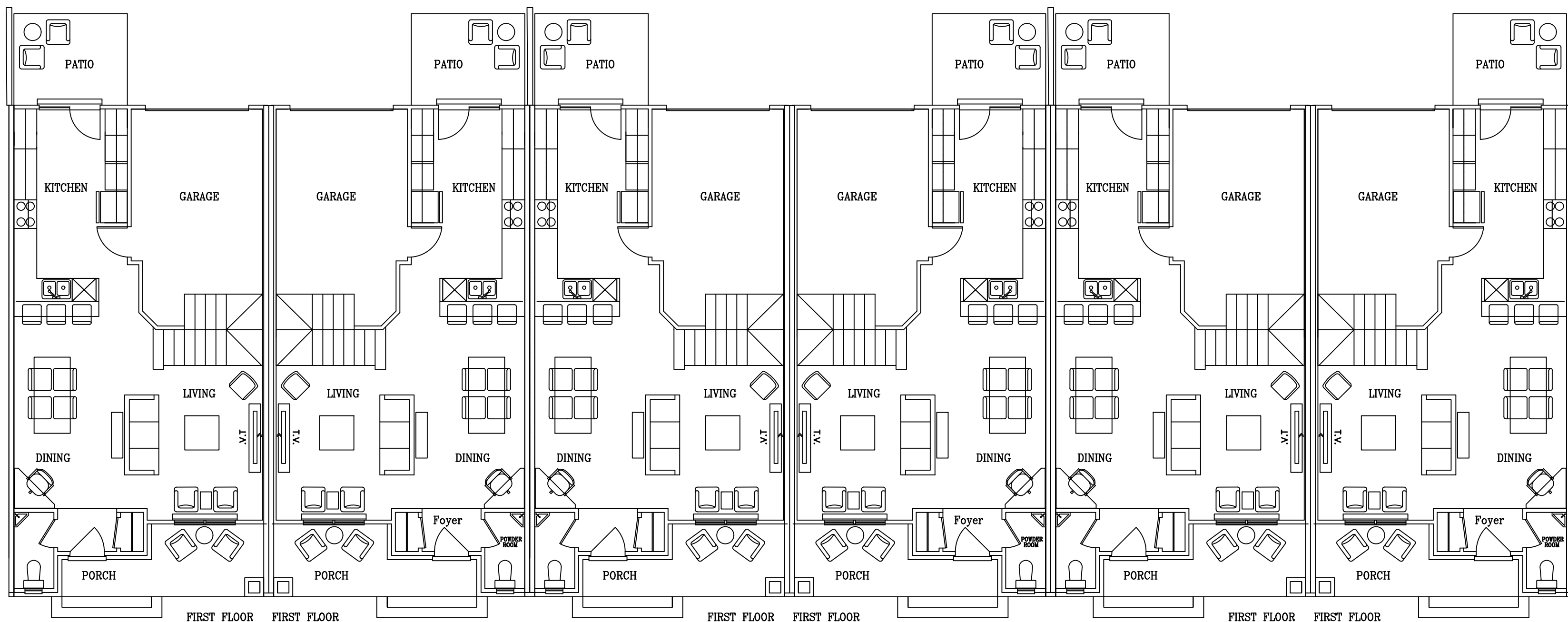
RIVERVIEW TOWN HOME LAYOUT #1



SECOND FLOOR SECOND FLOOR

SECOND FLOOR SECOND FLOOR

SECOND FLOOR SECOND FLOOR



FIRST FLOOR

FIRST FLOOR

FIRST FLOOR

APPENDIX 2

WATER ALLOCATION CALCULATION

Please note that the townhomes will not be subdivided lots, and will be held for rent as part of the apartment development. Accordingly, this calculation includes both the apartments and townhomes.

Base Points

Multifamily Residential & Condo Units 20

Bonus Points

Section 2A – Conservation of Natural Habitat 4.88 total; 2.27 required by UDO – excess >2	2
Section 2B – 2 Stormwater fountains	8
Section 2B – On-street public parking >4 stalls	4
Section 2C –Residential architectural standards	15
Section 4A – Private Greenway >2000 linear feet	2
Section 4B – Resort Style Pool	2
Section 4C – Outdoor Deck/Patio >2000 square feet	2
Section 4E – Clubhouse, >3500 square feet, no kitchen	8
Section 4F – Tennis courts (Pickleball)	5
Section 4F – IPEMA Certified Playground Equipment	4
 Total Points:	 69