

EXISTING CONDITIONS NOTES:
 EXISTING INFORMATION ON THIS PLAN WAS PROVIDED BY:
 - WAKE COUNTY GIS
 - MORRIS AND RITCHE ASSOCIATES, PC
 - SOIL & ENVIRONMENTAL CONSULTANTS, PA

MORRIS & RITCHE ASSOCIATES OF NC, PC
 AN AFFILIATE OF MORRIS & RITCHE ASSOCIATES, INC. WHICH PROVIDES ENGINEERING, ARCHITECTURE, PLANNING, SURVEYING & LANDSCAPE ARCHITECTURE THROUGHOUT THE MID-ATLANTIC REGION AND LANDSCAPE ARCHITECTS



Legal Description - New Parcel
 41.161 Acres
 Portion of Lands of Dement Farms LLC.
 St. Matthews Township - Wake County, North Carolina

All that certain tract or parcel of land lying and being situate in St. Matthews Township, Knightdale, Wake County, North Carolina and being more particularly described as follows:

Beginning at a 3/4" iron pipe found 0.3' above the existing ground, and being a common corner with lot 68 as shown on book of maps 1985 page 1452 in the Wake County registry, bearing NC grid coordinates Northing: 756,364.98' and Easting 2,156,999.93', and being known as the point of beginning; thence, South 89°10'15" East a distance of 1,485.18 feet to a 3/4" iron pipe, and being a common corner with lot 13 of Horton Mill subdivision recorded in book of maps 2005 page 2476; thence, South 05°49'05" West a distance of 1,084.93 feet to a 3/4" iron pipe, and being a common corner with lot 6 of the aforementioned Horton Mill subdivision and Isidoro Gonzalez Velazquez as shown in book of maps 1994 page 1073; thence, South 05°44'52" West a distance of 274.00 feet to a computed point in Horton Road (SR-2231) and lying 30.01 feet from a 3/4" bent iron pipe; thence, North 89°58'29" West a distance of 1,338.04 feet to a 1" flat iron bar found 0.8' above the existing ground next to a 5/8" iron pipe covered by a PVC pipe, and being a common corner with tract 2 of book of maps 2020 page 235; thence, North 00°23'57" West a distance of 1,372.93 feet to the point of beginning. Containing 41.161 AC.±.



5605 Chapel Hill Road, Suite 112, Raleigh, NC 27607 (984) 200-2103 www.mragla.com
 Abingdon, MD (410) 515-9000 Baltimore, MD (443) 490-7201 Laurel, MD (410) 792-9792 Towson, MD (410) 821-1690 Georgetown, DE (302) 855-5734 New Castle, DE (302) 326-2200 Leesburg, VA (703) 994-4047 Raleigh, NC (984) 200-2103

URBAN DESIGN PARTNERS
 150 Fayetteville St. Ste 1310
 Raleigh, NC 27601
 P 919.275.5002
 urbandesignpartners.com
 nc firm no: P-2671 sc coa no: C-03044

FOR REFERENCE ONLY

01/06/2023

DRB Homes

3000 RDU Center Dr., Suite 202
 Morrisville, NC 27560

Weldon Master Plan
 Overall Existing Conditions
 0 Lucas Rd., Knightdale, NC 27545



BEFORE YOU DIG!
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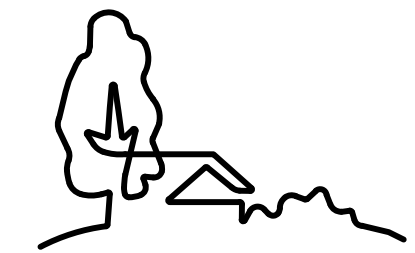


GRAPHIC SCALE
 0 40 80 160 320
 (IN FEET)
 1 inch = 80 ft.

NO. DATE: BY: REVISIONS:

Project No: 22-RDU-030
 Date: 01.06.2023
 Designed By: UDP
 Checked By: BAR
 Sheet No:

C-2.0



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PRELIMINARY DRAWING
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**Weldon
Master Plan**

Overall Site Plan
0 Lucas Rd., Knightdale, NC 27545

NO. DATE: BY: REVISIONS:

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SITE DATA

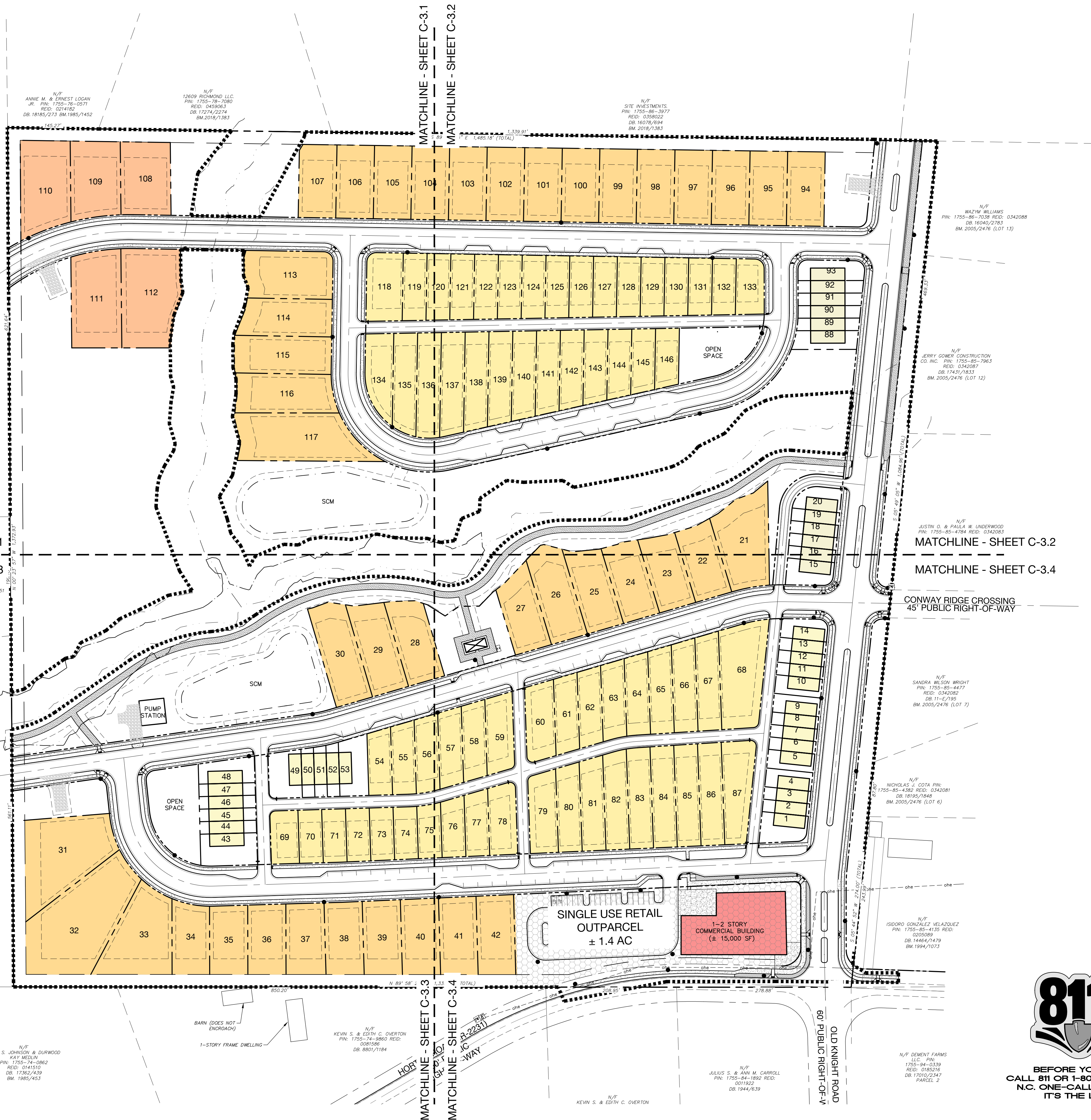
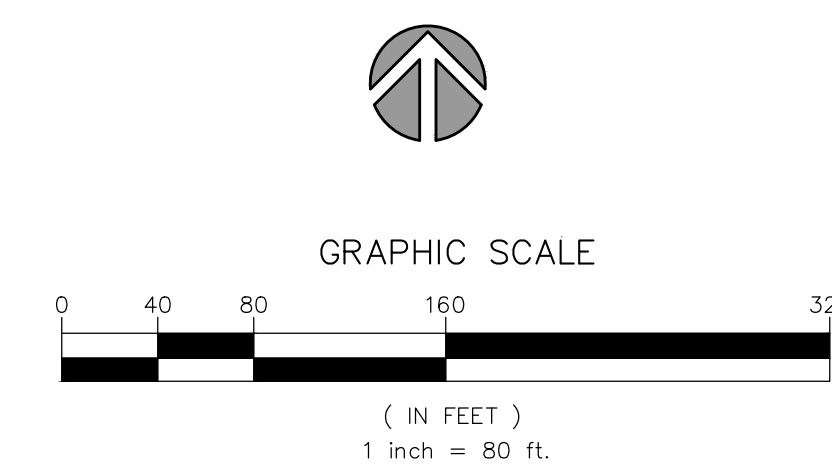
PIN: 1755757607
TOTAL SITE AREA: ± 41.0 ACRES
EXISTING ZONING: RR1
PROPOSED ZONING: RMX-PDD
EXISTING USE: AGRICULTURAL
PROPOSED USE: MIXED-USE RESIDENTIAL
TOTAL COMMERCIAL: ±15,000 SF
TOTAL RESIDENTIAL UNITS: ±146 DU MAX
TOTAL OPEN SPACE: ±11.41 ACRES

COMMERCIAL

TOTAL LAND AREA: ± 1.4 AC OUTPARCEL
BUILDINGS: 1 BLDG
PROPOSED COMMERCIAL: ± 15,000 SF
BUILDING HEIGHT: 1-2 STORIES
VEHICULAR PARKING:
REQUIRED: ± 51 - 103 SPACES
PROVIDED: ± 51 SPACES
BICYCLE PARKING:
REQUIRED: ±5 SPACES*
(* 1 SPACE PER 40 VEHICULAR PARKING)
PROPOSED: ±6 SPACES

RESIDENTIAL

LAND AREA: ± 39.5 AC
PROPOSED UNITS:
80' LOT (FRONT LOADED): ±5 PARCELS
60' LOT (FRONT LOADED): ±63 PARCELS
32' LOT (REAR LOADED): ±41 PARCELS
TOWNHOMES: ±37 DU
TOTAL: ±146
VEHICLE PARKING
TOWNHOME
REQUIRED: ±111 SPACES (1/BED)
PROPOSED: ±111 SPACES
SINGLE FAMILY
REQUIRED: ±327 SPACES (1/BED)
PROPOSED: ±327 SPACES
TOTAL: ±438 SPACES
*ALL RESIDENTIAL UNITS WERE ASSUMED 3 BEDROOMS.
PROPOSED DENSITY: ± 3.56 DU/AC



N/F ANNIE M. & ERNEST LOGAN JR. PIN: 1755-76-0571 REID: 0214162 DB: 18185/273 BM:1985/1452

N/F 12809 RICHMOND, LLC. PIN: 1755-78-7080 REID: 0459063 DB: 17274/2274 BM: 2016/7383

N/F SITE INVESTMENTS. PIN: 1755-80-1077 REID: 0358022 DB: 16078/694 BM: 2016/7383

N/F WAZEM WILLIAMS PIN: 1755-86-7038 REID: 0342088 DB: 16040/2783 BM: 2005/2476 (LOT 13)

N/F WERRY CORNER CONSTRUCTION CO. INC. PIN: 1755-85-7963 REID: 0342067 DB: 17437/6183 BM: 2005/2476 (LOT 12)

N/F JUSTIN D. & PAULA W. UNDERWOOD PIN: 1755-85-4784 REID: 0342083

N/F SANDRA WILSON WRIGHT PIN: 1755-85-4477 REID: 0342082 DB: 11-E/195 BM: 2005/2476 (LOT 7)

N/F NICHOLAS A. COTA PIN: 1755-85-4382 REID: 0342081 DB: 10185/7848 BM: 2005/2476 (LOT 6)

N/F ISIDORO GONZALEZ VELAZQUEZ PIN: 1755-85-4135 REID: 0005099 DB: 14464/7479 BM: 1994/7073

N/F TARA S. JOHNSON & BURWOOD KEY MEDINA PIN: 1755-74-0862 REID: 0141510 DB: 17362/439 BM: 1985/453

N/F KEVIN S. & EDITH C. OVERTON PIN: 1755-74-0860 REID: 0081586 DB: 8801/7184

N/F JULIUS S. & ANN M. CARROLL PIN: 1755-84-1892 REID: 0019922 DB: 1944/639

N/F DEMENT FARMS LLC. PIN: 1755-94-0339 REID: 0185276 DB: 17070/2147 PARCEL 2

MATCHLINE - SHEET C-3.1
MATCHLINE - SHEET C-3.3

MATCHLINE - SHEET C-3.2
MATCHLINE - SHEET C-3.4

MATCHLINE - SHEET C-3.1
MATCHLINE - SHEET C-3.2
MATCHLINE - SHEET C-3.3
MATCHLINE - SHEET C-3.4

SINGLE USE RETAIL
OUTPARCEL
± 1.4 AC

1-2 STORY
COMMERCIAL BUILDING
(± 15,000 SF)

PUMP STATION

SCM

SCM

BARN (DOES NOT
ENCROACH)

1-STORY FRAME DWELLING

60' PUBLIC RIGHT-OF-WAY
OLD KNIGHT ROAD

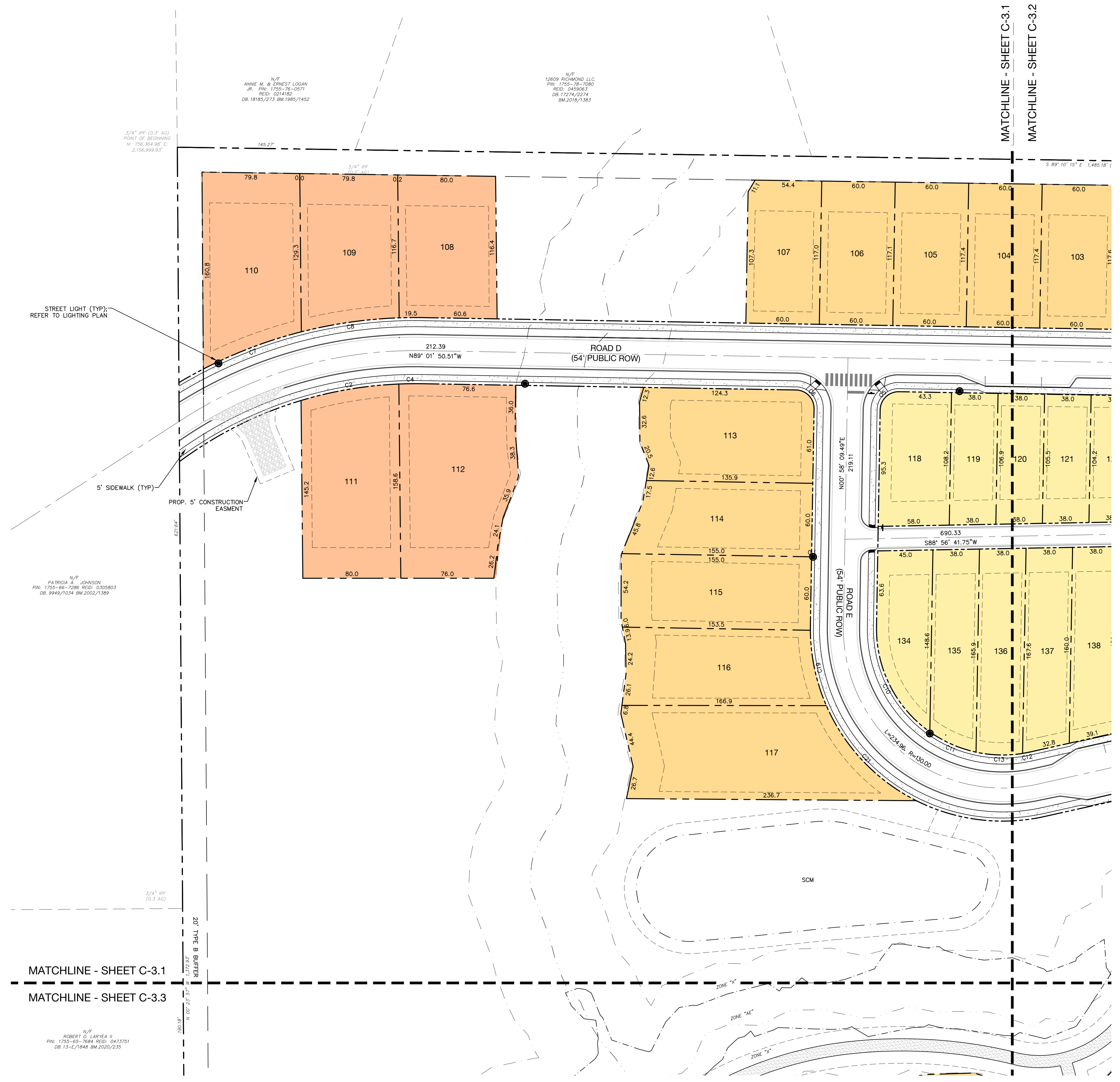
CONWAY RIDGE CROSSING
45' PUBLIC RIGHT-OF-WAY

MATCHLINE - SHEET C-3.3
MATCHLINE - SHEET C-3.4

Curve Table			
Curve #	Length	Radius	Delta
C68	61.147	39.916	087.7720
C31	61.366	274.733	012.7980
C40	18.454	98.000	010.7891
C44	20.492	233.238	005.0339
C42	20.183	279.177	004.1422
C41	14.137	9.000	090.0000
C30	31.253	157.000	011.4054
C29	20.146	157.000	007.3521
C25	23.562	15.000	090.0000
C26	24.849	15.000	094.9165
C9	23.281	15.000	088.9250
C55	12.015	220.000	003.1290
C54	13.857	9.000	088.2193
C61	11.893	9.000	075.7104
C62	21.313	180.000	006.7840
C63	18.260	180.000	005.8125
C64	15.643	9.000	099.5874
C52	44.836	223.000	011.5197
C53	12.631	9.000	080.4126
C51	16.014	200.000	004.5877

Curve Table			
Curve #	Length	Radius	Delta
C50	27.956	200.038	008.0072
C49	16.382	9.000	104.2896
C48	11.729	8.446	079.5666
C47	38.529	200.007	011.0374
C46	12.016	200.000	003.4423
C39	60.974	6961.342	000.5019
C38	61.654	162.000	021.8057
C37	58.064	162.000	020.5359
C34	59.125	162.000	020.9113
C32	56.664	162.000	020.0410
C66	23.327	15.000	089.1043
C65	21.339	15.000	081.5072
C67	22.256	15.000	085.0099
C5	23.308	15.000	089.0307
C12	6.277	103.000	003.4917
C13	38.221	103.000	021.2611
C11	41.481	103.000	023.0744
C10	98.441	103.000	054.7598
C8	80.849	374.929	012.3552
C7	85.777	377.000	013.0363

Curve Table			
Curve #	Length	Radius	Delta
C6	23.562	15.000	090.0000
C19	63.330	157.000	023.1118
C21	109.059	156.906	039.8241
C4	18.784	323.000	003.3320
C2	81.209	323.000	014.4053
C59	4.968	220.000	001.2938
C60	16.371	9.000	104.2217
C57	38.435	220.000	010.0098



LEGEND

- PROPOSED COMMERCIAL
- 80' LOT (FRONT LOADED)
- 60' LOT (FRONT LOADED)
- 32' LOT (REAR LOADED)
- TOWNHOMES

811

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GRAPHIC SCALE

0 20 40 80 160
(IN FEET)
1 inch = 40 ft.

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Site Plan Enlargement
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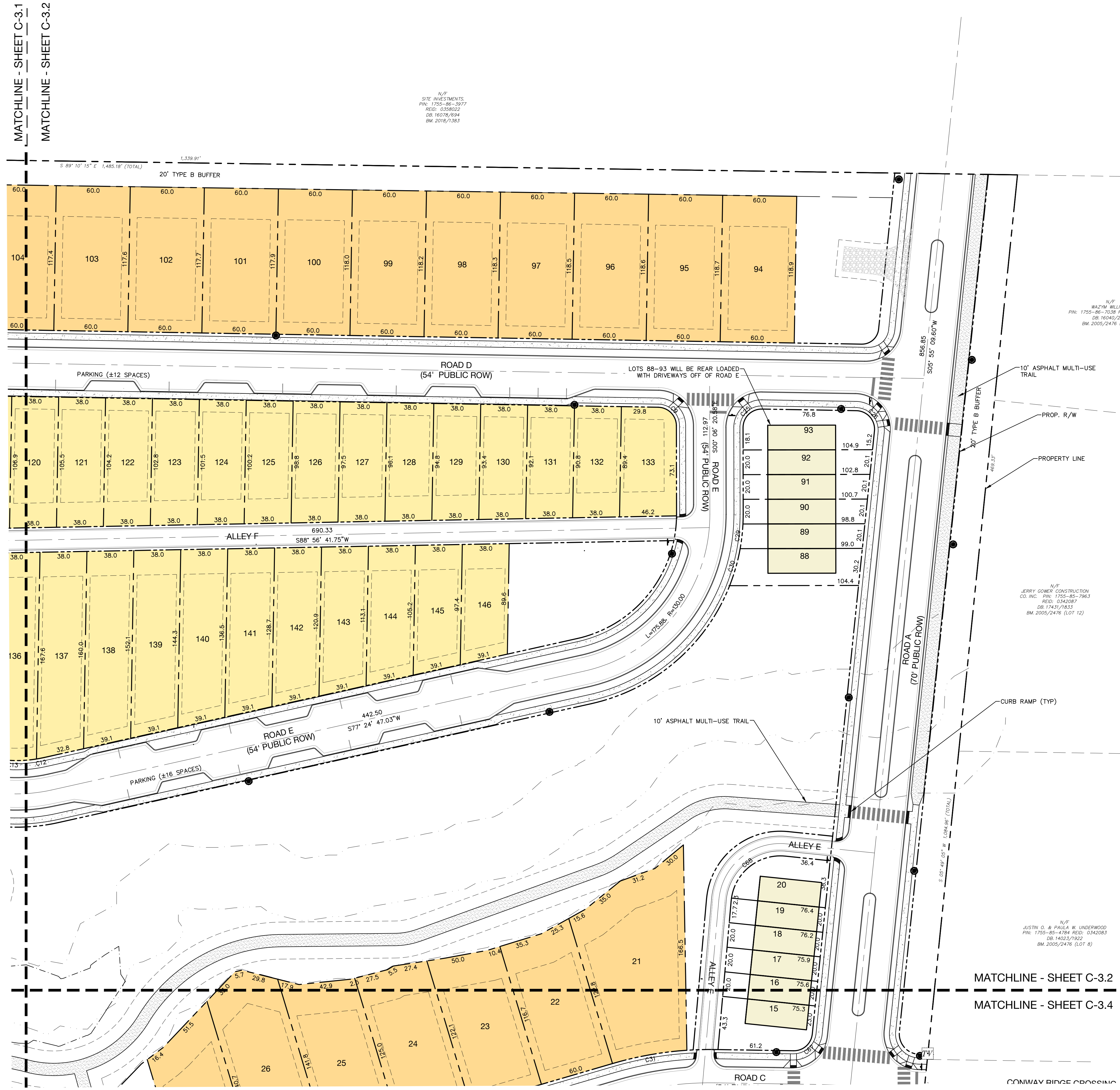
Project No: 22-RDU-030
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C-3.1

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C25	23.562	15.000	090.0000
C26	24.849	15.000	094.9165
C9	23.281	15.000	088.9250
C55	12.015	220.000	003.1290
C54	13.857	9.000	088.2193
C61	11.893	9.000	075.7104
C62	21.313	180.000	006.7840
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C32	56.664	162.000	020.0410
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C67	22.256	15.000	085.0099
C5	23.308	15.000	089.0307
C12	6.277	103.000	003.4917
C13	38.221	103.000	021.2611
C11	41.481	103.000	023.0744
C10	98.441	103.000	054.7598
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C60	16.371	9.000	104.2217
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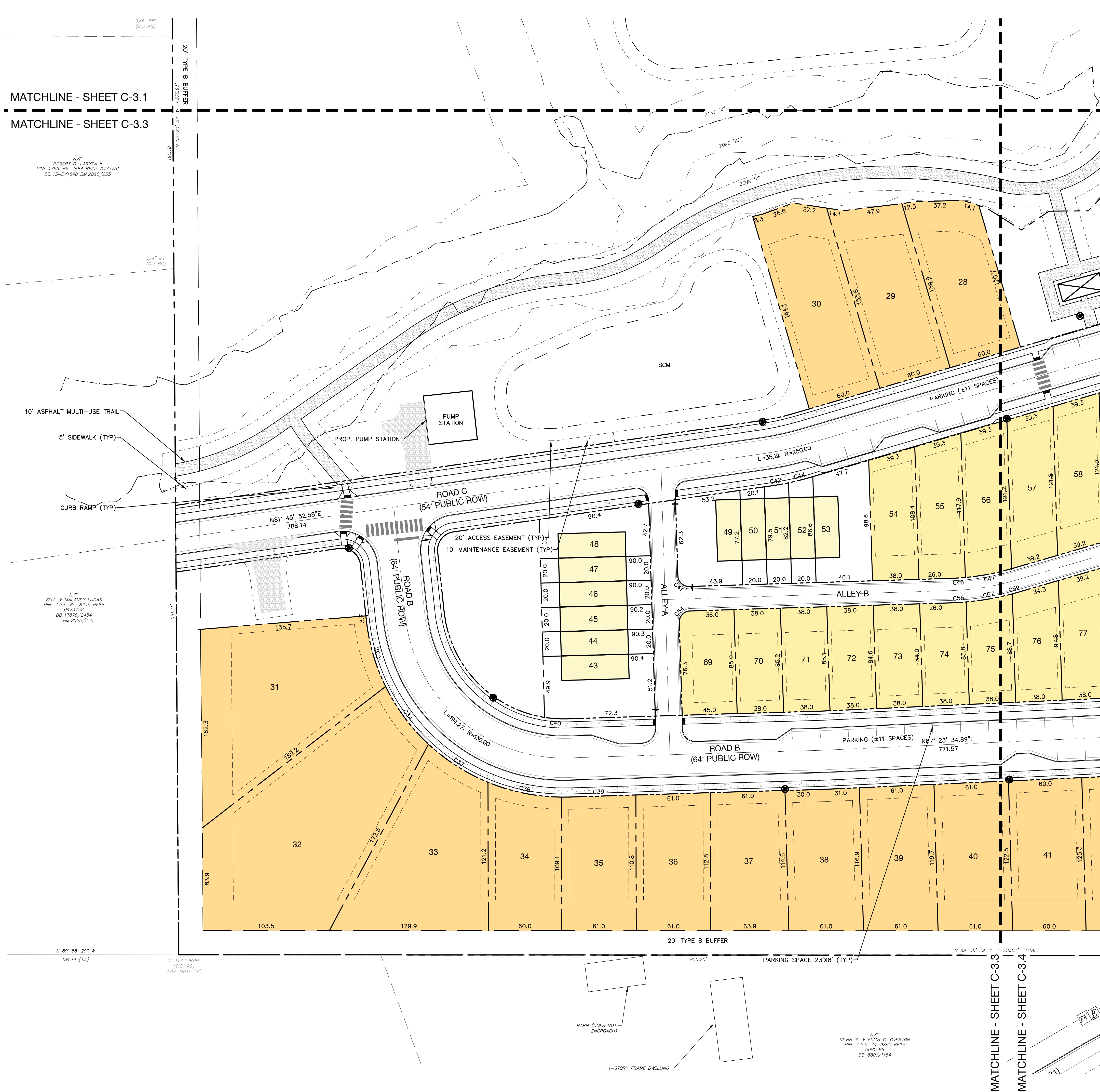
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C-3.2

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C60	16.371	9.000	104.2217
C57	38.435	220.000	010.0098
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C13	38.221	103.000	021.2611
C11	41.481	103.000	023.0744
C10	98.441	103.000	054.7598
C8	80.849	374.929	012.3552

Curve #	Length	Radius	Delta
C7	85.777	377.000	013.0363
C6	23.562	15.000	090.0000
C19	63.330	157.000	023.1118
C21	109.059	156.906	039.8241
C4	18.784	323.000	003.3320
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C54	13.857	9.000	088.2193
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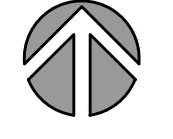


LEGEND

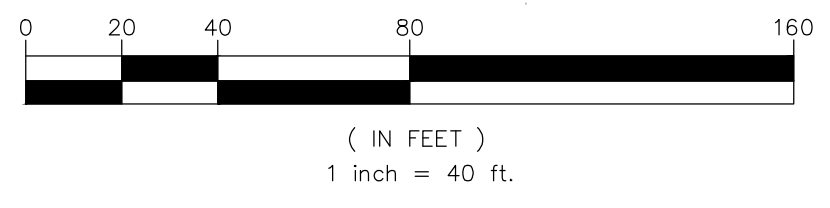
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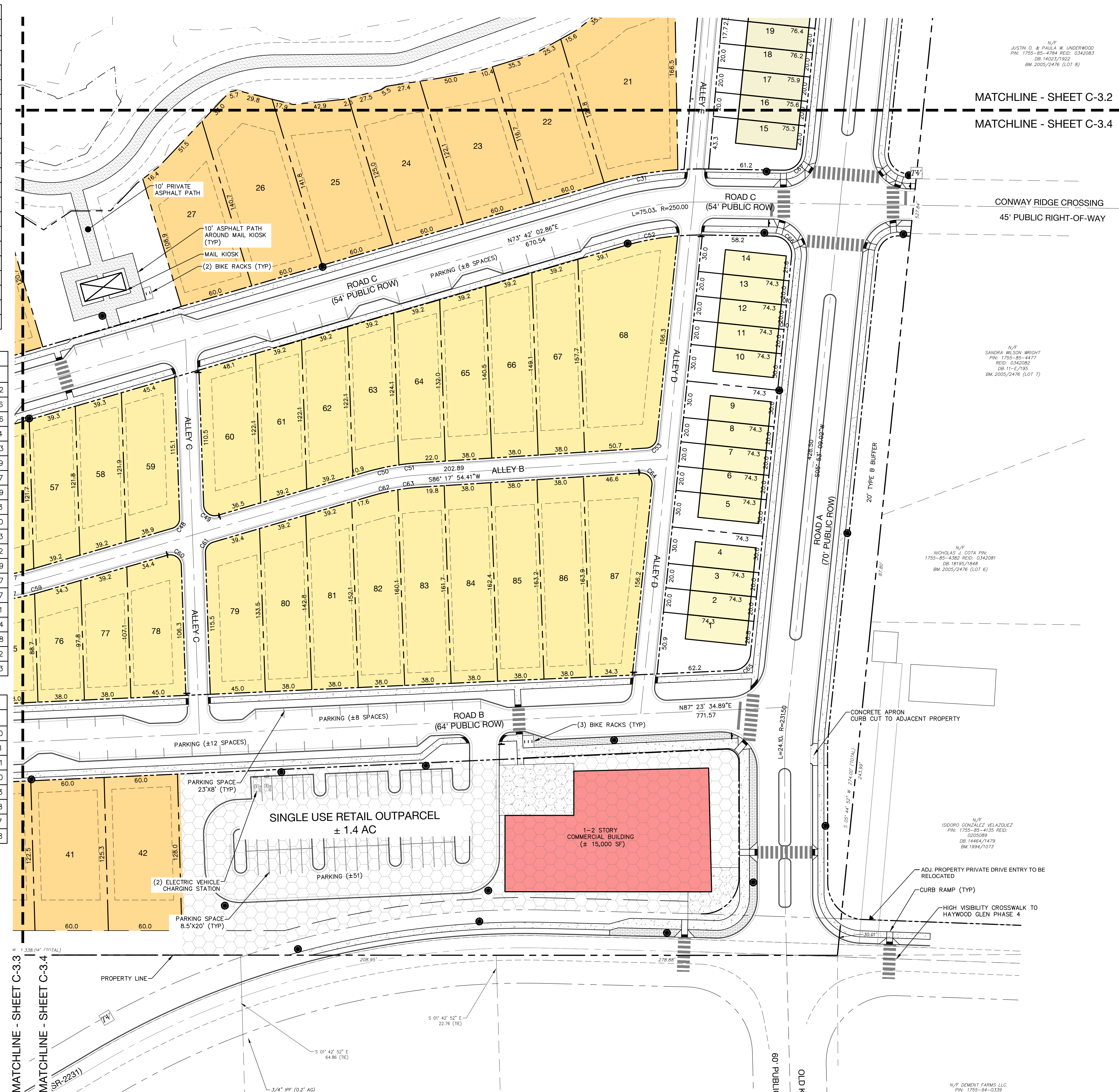
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LEGEND

- ACTIVE OPEN SPACE
- PASSIVE OPEN SPACE

OPEN SPACE

- TOTAL ACRES: ± 41.0 ACRES
PROPOSED DENSITY: ± 3.56 DU/AC
- DWELLING UNITS: ± 146 DU TOTAL
→ SINGLE FAM. DETACHED: ± 109 DU
→ SINGLE FAM. ATTACHED: ± 37 DU
- RECREATIONAL OPEN SPACE DEDICATION***
- PROXIMITY ZONE: ALL OUTSIDE ½ MILE
 - TOTAL BEDS**:
→ SINGLE FAM. DETACHED: 109 DU x 3.5 BEDS = 382 BEDS
→ SINGLE FAM. ATTACHED: 37 DU x 2.5 BEDS = 93 BEDS
 - DEDICATION RATE: 520 SF
→ SINGLE FAM. DETACHED: 382 BEDS x 520 SF = 198,640 SF
→ SINGLE FAM. ATTACHED: 93 BEDS x 520 SF = 48,360 SF
 - REQUIRED OPEN SPACE: 48,360 SF + 198,640 SF = 247,000 ± 247,000 SF (5.67 AC)
 - REQUIRED OPEN SPACE: ± 5.67 AC (247,000 SF) TOTAL
→ REQUIRED ACTIVE: ± 123,500 SF (2.84 AC) 50%
→ REQUIRED PASSIVE: ± 123,500 SF (2.84 AC) 50%
 - PROPOSED OPEN SPACE: ± 11.41 AC TOTAL (28.0 % OF SITE)
→ PROP. ACTIVE: ± 5.50 AC (2.66 AC OVER REQ.)
→ PROP. PASSIVE: ± 5.91 AC (3.07 AC OVER REQ.)

* PER TOWN OF KNIGHTDALE UDO SEC. 11.2.C.3 ALL DEVELOPMENTS WITH MORE THAN EIGHT (8) RESIDENTIAL UNITS SHALL BE REQUIRED TO DEDICATE RECREATIONAL OPEN SPACE.

** PER TOWN OF KNIGHTDALE UDO SEC. 11.2.C.3 ALL SINGLE FAMILY DEVELOPMENTS WILL DEDICATE OPEN SPACE AT A RATE OF THREE AND ONE-HALF BEDROOMS PER UNIT UNLESS OTHERWISE STIPULATED. IN ABSENCE OF KNOWN BUILDING SPECIFICATIONS, DUPLEXES, TOWNHOMES, AND MULTIFAMILY WILL DEDICATE OPEN SPACE AT A RATE OF TWO AND ONE HALF BEDROOMS PER UNIT.

Active Open Space Table		
Active Open Space Number	Area	
	(SF)	(AC)
Active Open Space #1	118,175	2.71
Active Open Space #2 - Multi-Use Field	10,775	0.25
Active Open Space #3 - Private Greenway & Mail kiosk	8,926	0.20
Active Open Space #4 - Dog Park	41,869	0.96
Active Open Space #5 - IPEMA playground	8,955	0.21
Active Open Space #6 - Public Greenway	50,975	1.17
Total Provided	239,675	5.50

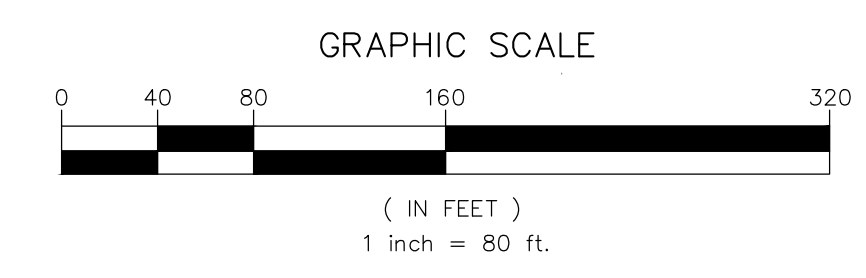
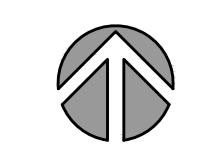
Passive Open Space Table		
Passive Open Space Number	Area	
	(SF)	(AC)
Passive Open Space #1	196,750	4.52
Passive Open Space #2	2,462	0.06
Passive Open Space #3	38,103	0.87
Passive Open Space #4	3,744	0.09
Passive Open Space #5	16,589	0.38
Total Provided	257,648	5.91

**Weldon
Master Plan**

Open Space Plan
0 Lucas Rd., Knightdale, NC 27545



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NO. DATE: BY: REVISIONS:

Project No: 22-RDU-030
Date: 01.06.2023
Designed By: UDP
Checked By: BAR
Sheet No:

C-3.5



N/F
ANNIE M. & ERNEST LOGAN
JR. PIN: 1755-76-0371
REID: 0214182
DB: 18185/273 BM:1985/1452

N/F
13009 RICHMOND LLC
PIN: 1755-78-7080
REID: 0459063
DB: 1274/22074
BM:2016/1383

PASSIVE OPEN SPACE #5
±16589 SF

N/F
SITE INVESTMENTS
PIN: 1755-86-3977
REID: 0358022
DB: 16079/604
BM: 2018/1383

N/F
WAZYM WILLIAMS
PIN: 1755-86-7038 REID: 0342088
DB: 16040/2783
BM: 2005/2476 (LOT 13)

N/F
JERRY GOWEN CONSTRUCTION
CO. INC. PIN: 1755-85-7963
REID: 0342087
DB: 17431/1833
BM: 2005/2476 (LOT 12)

N/F
JUSTIN O. & PAULA W. UNDERWOOD
PIN: 1755-85-4784 REID: 0342083
DB: 14023/1922
BM: 2005/2476 (LOT 6)

N/F
SANDRA WILSON WRIGHT
PIN: 1755-85-4477
REID: 0342082
DB: 11-E/195
BM: 2005/2476 (LOT 7)

N/F
NICHOLAS J. COTA PIN:
1755-85-4362 REID: 0342081
DB: 18195/1848
BM: 2005/2476 (LOT 6)

N/F
ISIDORO GONZALEZ VELAZQUEZ
PIN: 1755-85-4435 REID:
0205089
DB: 14464/1479
BM: 1994/1073

N/F CEMENT FARMS
LLC. PIN:
1755-94-0339
REID: 0185016
DB: 17010/2347
PARCEL 2

N/F
PATRICIA A. JOHNSON
PIN: 1755-66-2288 REID: 0305803
DB: 9949/1034 BM:2002/1389

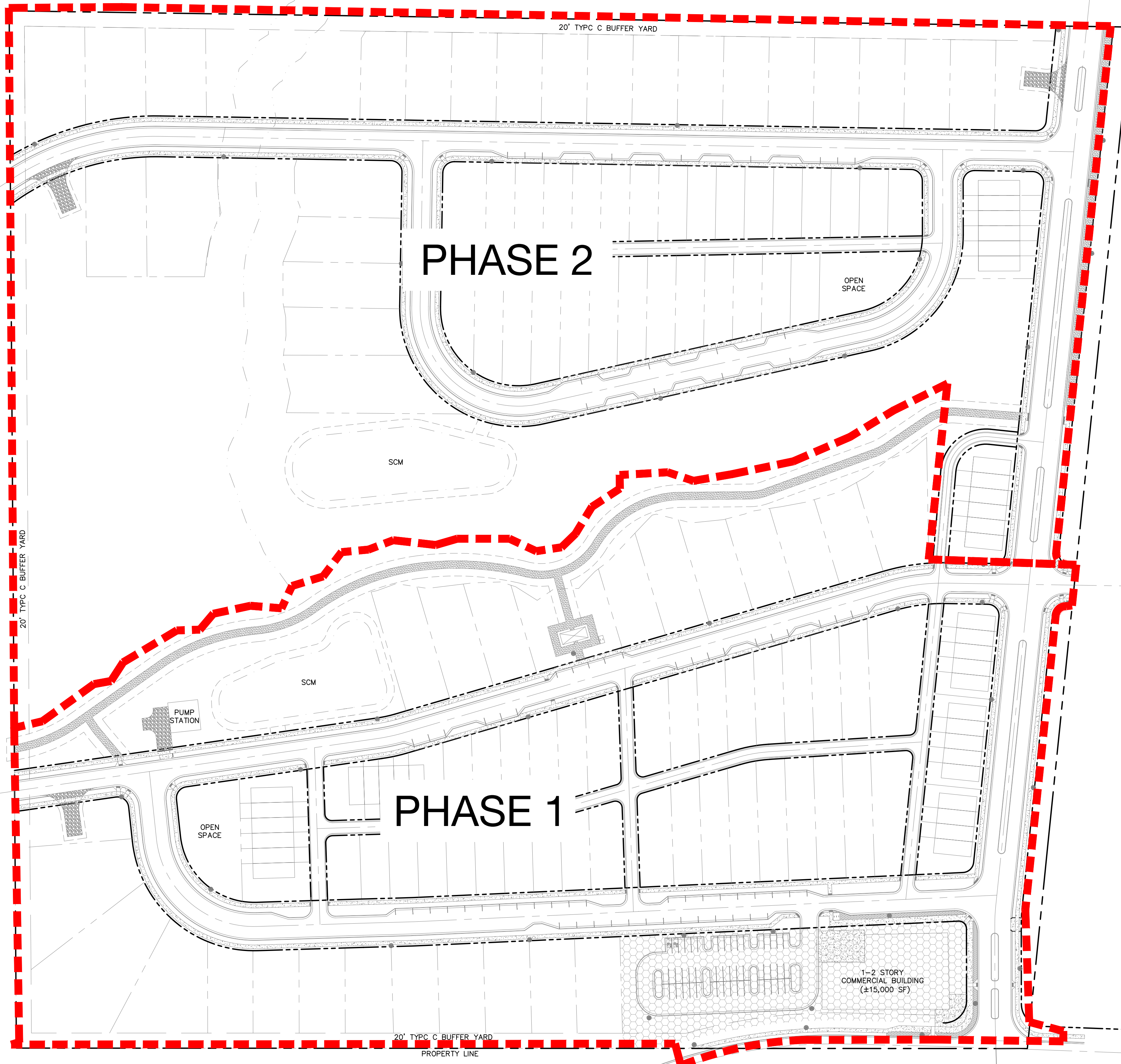
N/F
ROBERT O. LARREA II
PIN: 1755-65-7684 REID: 0473751
DB: 13-E/1848 BM:2020/235

N/F
ZELL & MARGAREY LUCAS
PIN: 1755-65-8249 REID:
043352
DB: 17876/2454
BM:2020/235

N/F
TARA S. JOHNSON & DURWOOD
KAY MEDLIN
PIN: 1755-74-0862
REID: 0141510
DB: 17382/439
BM: 1985/424

N/F
KEVIN S. & EDITH C. OVERTON
PIN: 1755-74-8660 REID:
0381586
DB: 8801/1184

N/F
JULIUS S. & ANN M. CARROLL
PIN: 1755-84-1892 REID:
0011922
DB: 1944/639



SITE DATA	
PIN:	1755757607
TOTAL SITE AREA:	± 41.0 ACRES
EXISTING ZONING:	RR1
PROPOSED ZONING:	RMX-PUD
EXISTING USE:	AGRICULTURAL
PROPOSED USE:	MIXED-USE RESIDENTIAL
TOTAL COMMERCIAL:	±15,000 SF
TOTAL RESIDENTIAL UNITS:	±146 DU MAX
TOTAL OPEN SPACE:	±11.41 ACRES

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Raleigh, NC 27601
P 919.275.5002
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nc firm no: P-2671 sc coa no: C-03044

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**Weldon
Master Plan**

Phasing Plan
0 Lucas Rd., Knightdale, NC 27545

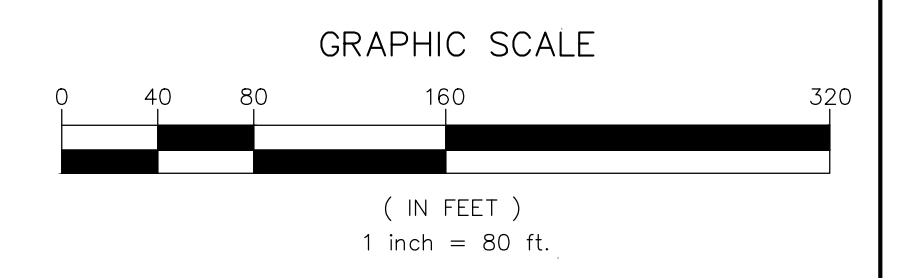
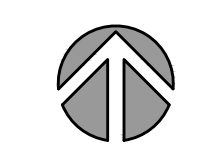
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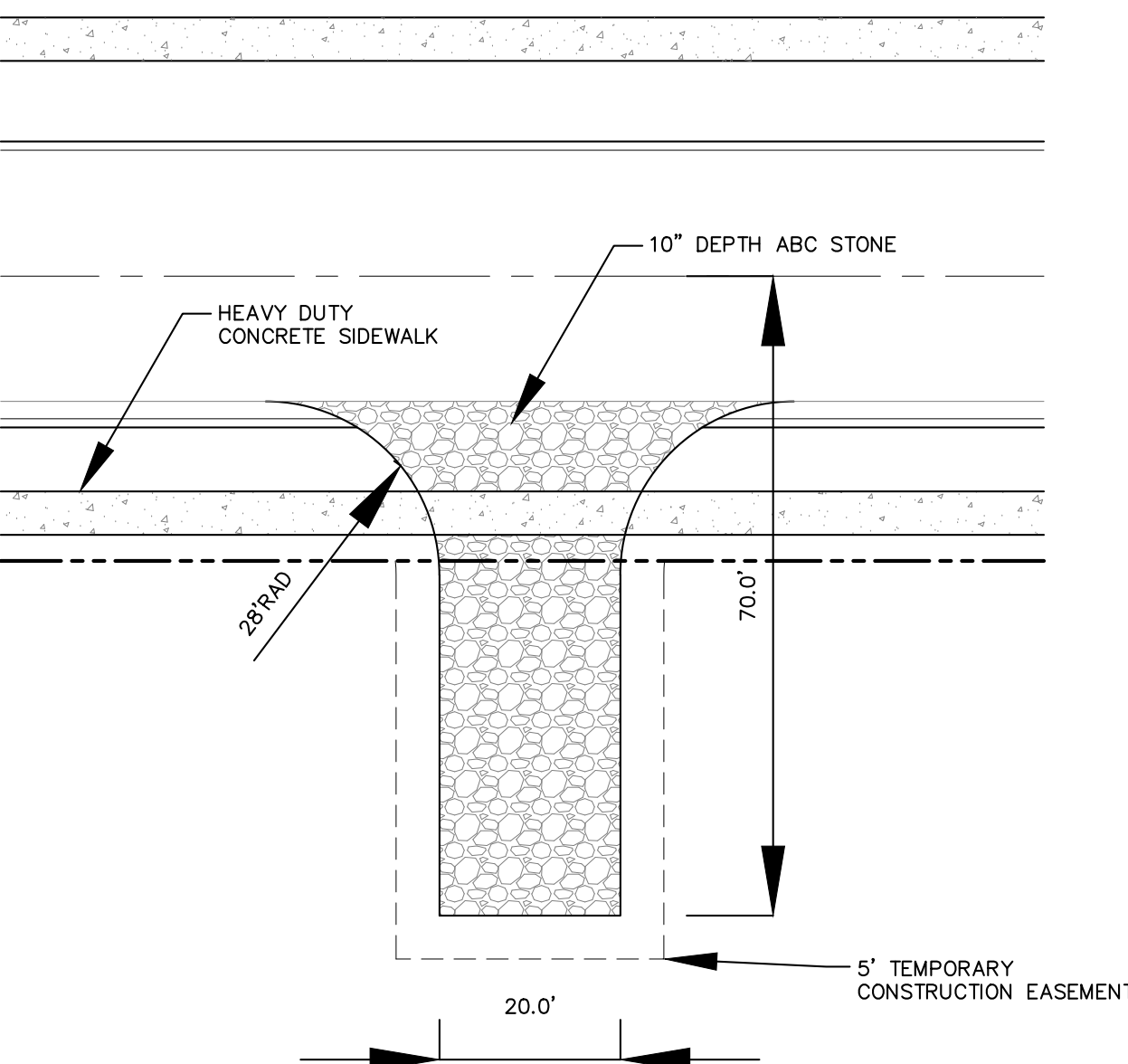
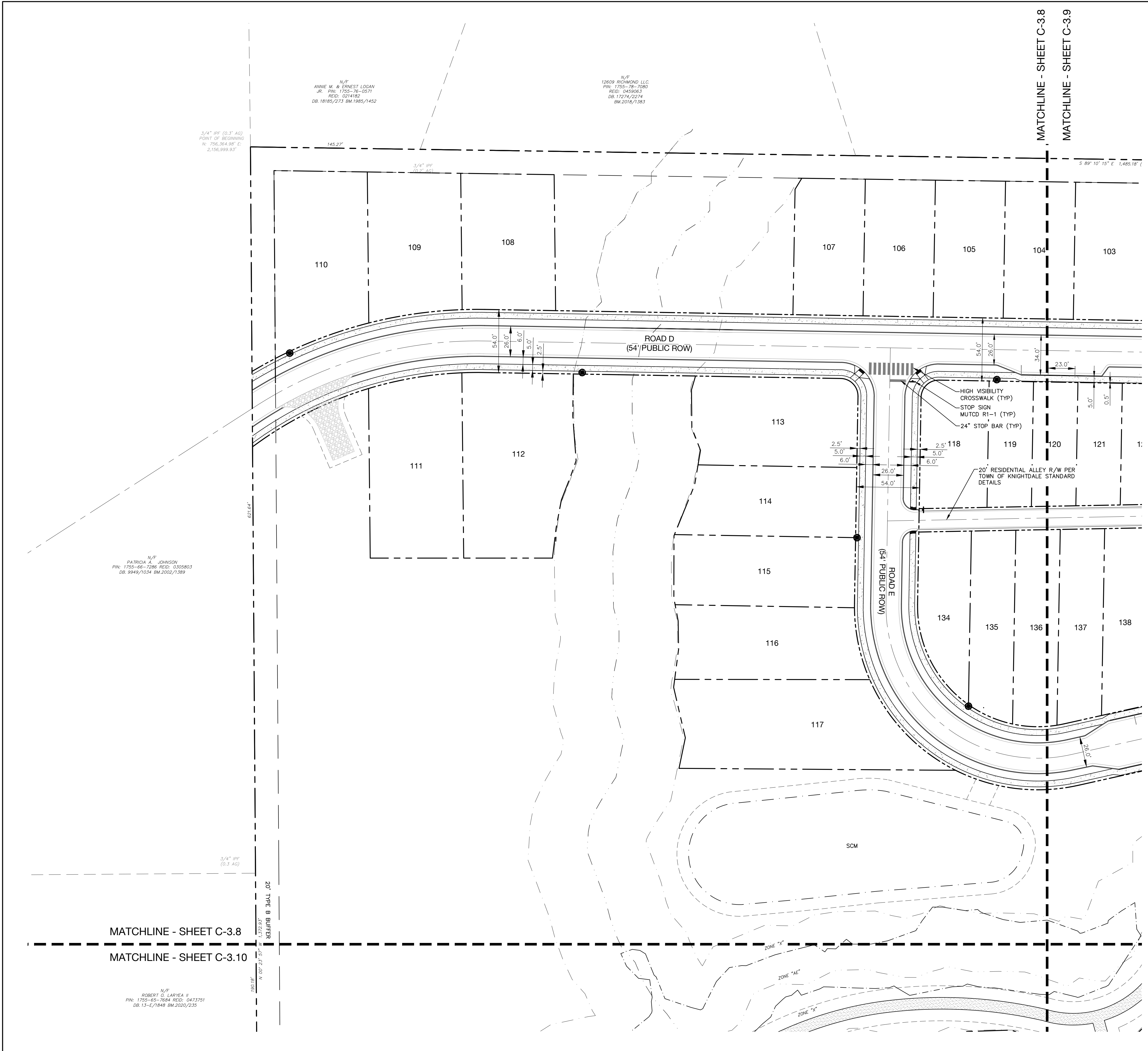
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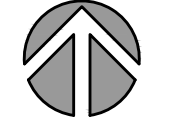


TEMPORARY HAMMERHEAD TURNAROUND
(ACCEPTABLE ALTERNATIVE TO 120' HAMMERHEAD)

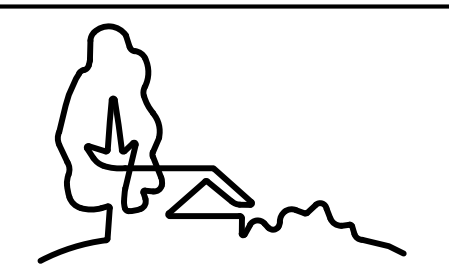
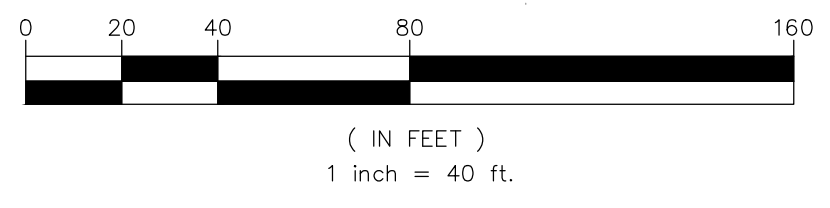
ALLEY	LENGTH (LF)	STREET NAME	LENGTH (LF)
ALLEY A	234	ROAD A	1,359
ALLEY B	814	ROAD B	1,264
ALLEY C	323	ROAD C	1,437
ALLEY D	421	ROAD D	1,419
ALLEY E	300	ROAD E	1,185
ALLEY F	690	TOTAL	6,203
TOTAL	2,719		



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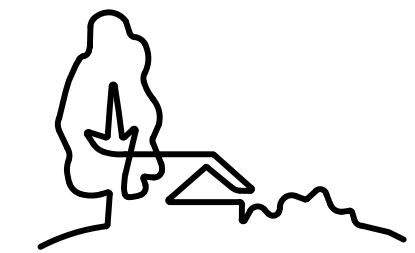
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Morrisville, NC 27560

Weldon Master Plan
Signage & Marking Plan Enlargement
0 Lucas Rd., Knightdale, NC 27545

NO.	DATE	BY:	REVISIONS:

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3000 RDU Center Dr., Suite 202
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**Weldon
Master Plan**
Street Sections
0 Lucas Rd., Knightdale, NC 27545

NO. DATE: BY: REVISIONS:

Project No: 22-RDU-030
Date: 01.06.2023
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Sheet No:

C-3.12

**TOWN OF KNIGHTDALE
STANDARD DETAILS**

**STANDARD MULTI-USE PATH
GREENWAY**

STD. NO. 4.09

REVISIONS:

DATE	DESCRIPTION

NOTES:
1. CROSS SLOPE DIRECTION VARIES. SEE LAYOUT PLANS FOR DIRECTION OF SLOPE.
2. CONTRACTOR IS RESPONSIBLE FOR REESTABLISHING ALL SLOPES DISTURBED BY CONSTRUCTION.

**TOWN OF KNIGHTDALE
STANDARD DETAILS**

MAIN STREET SECTION

STD. NO. 3.03

REVISIONS:

DATE	DESCRIPTION

STREET FEATURES:
TRAVEL LANES OF 10 FT. MINIMUM
CURB & GUTTER
STRIPED PARKING IN MIXED USE AND COMMERCIAL AREAS
PLANTING STRIPS - 6 FT. ON EACH SIDE
SIDEWALKS - 5 TO 6 FT. ON EACH SIDE
(FOR SIDEWALKS > 5 FT. EXTEND TO C OF STREET)
REQUIRES 64 FT. OF RIGHT-OF-WAY
UTILITY LOCATION UNDERGROUND OR ALLEY
AVERAGE SPEED 20-25 MPH
INCLUDES BUILDOUTS AT INTERSECTIONS AND MIDBLOCK

MINIMUM PAVEMENT DESIGN:
BITUMINOUS SURFACE COURSE: 1 1/2" S 9.5B
INTERMEDIATE COURSE: 2 1/2" I 19.0B
BASE COURSE: 8" ABC

BUILDINGS & LAND USE:
COMMERCIAL AND MIXED USE
MAJOR ROADWAY IN NEIGHBORHOODS
CONSISTENT BUILDING LINE RECOMMENDED
BUILDINGS NEXT TO SIDEWALK
PEDESTRIAN AWNINGS AND ARCADES RECOMMENDED

CONCRETE SIDEWALK WHERE REQUIRED SEE UNIFIED DEVELOPMENT ORDINANCE

NOTE: ON-STREET PARKING UTILIZED. SEE STREET FEATURES LISTED IN DETAIL ABOVE.

**TOWN OF KNIGHTDALE
STANDARD DETAILS**

ALLEY SECTION

STD. NO. 3.01

REVISIONS:

DATE	DESCRIPTION

STREET FEATURES:
STREET WIDTH OF 12 FT. MINIMUM, 16 FT. DESIRABLE
REQUIRES 20 FT. OF RIGHT-OF-WAY
UTILITY LOCATION UNDERGROUND
TWO TO SIX BLOCKS LONG
AVERAGE SPEED OF 10 MPH

MINIMUM PAVEMENT DESIGN:
BITUMINOUS SURFACE COURSE: 2-1/2" S 9.5A
BASE COURSE: 8" ABC

BUILDINGS & LAND USE:
RESIDENTIAL - PRIMARILY SINGLE FAMILY
COMMERCIAL

**TOWN OF KNIGHTDALE
STANDARD DETAILS**

FIRE LANE PAVEMENT MARKING

STD. NO. 3.31

REVISIONS:

DATE	DESCRIPTION

REVISIONS

DATE	DESCRIPTION

NOTE: ON-STREET PARKING UTILIZED. SEE STREET FEATURES LISTED IN DETAIL ABOVE.

**TOWN OF KNIGHTDALE
STANDARD DETAILS**

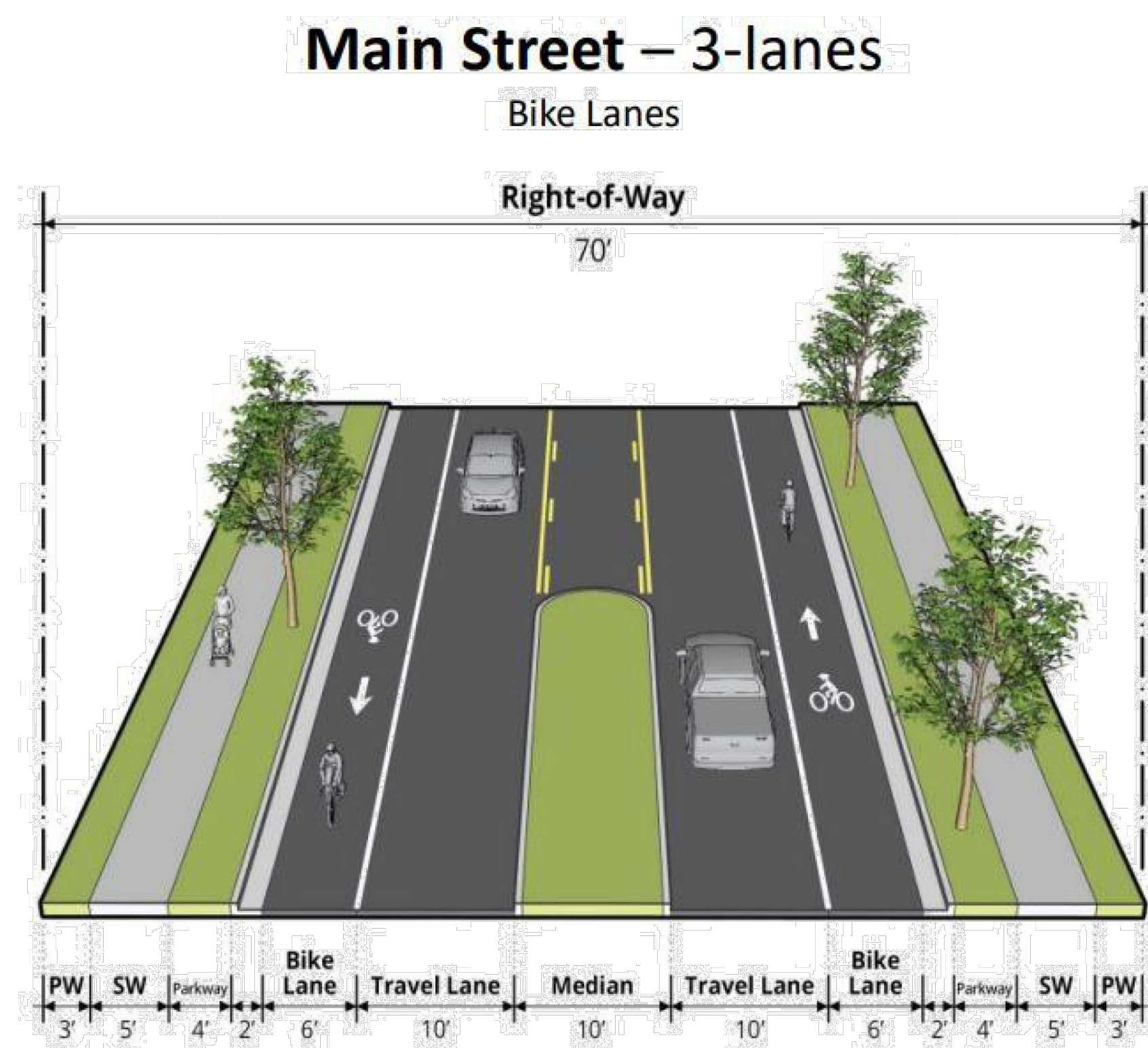
MIXED USE AREAS SECTION

STD. NO. 3.11

REVISIONS:

DATE	DESCRIPTION

NOTES:
1. TO BE USED ONLY IN COMMERCIAL/MIXED USE AREAS WHERE SIDEWALKS AND TREE PLANTINGS ARE COMBINED.
2. STAMPED CONCRETE MAY BE USED IN LIEU OF BRICK PAVEDS.
3. STREET LAMPS SHALL BE SPACED SUCH THAT THERE ARE NO CONFLICTS WITH STREET TREES.



**TOWN OF KNIGHTDALE
STANDARD DETAILS**

**LOCAL STREET SECTION
(TWO WAY)**

STD. NO. 2 OF 2
3.02

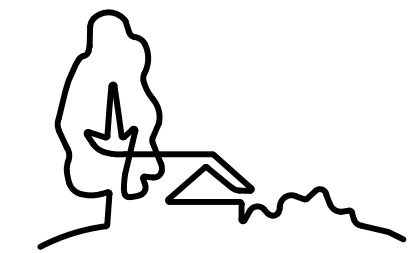
REVISIONS:

DATE	DESCRIPTION

STREET FEATURES:
FLEXIBLE STREET DESIGN
COORDINATE STREET DESIGN ELEMENTS WITH TOWN STAFF
STREET WIDTH OF 27 FT. FOR TWO-WAY
CURB & GUTTER
INFORMAL PARKING
PLANTING STRIPS - 6 FT. ON EACH SIDE
SIDEWALKS - 5 FT. ON EACH SIDE
REQUIRES 54 FT. OF RIGHT-OF-WAY - TWO WAY
UTILITY LOCATION UNDERGROUND OR ALLEY
TWO TO SIX BLOCKS LONG
AVERAGE SPEED 20-25 MPH

MINIMUM PAVEMENT DESIGN:
BITUMINOUS SURFACE COURSE: 2-1/2" S 9.5A
BASE COURSE: 8" ABC

BUILDINGS & LAND USE:
RESIDENTIAL - MANY RESIDENTIAL TYPES
RESIDENCES BROUGHT CLOSE TO SIDEWALK
CONSISTENT BUILDING LINE RECOMMENDED
FRONT PORCHES ENCOURAGED



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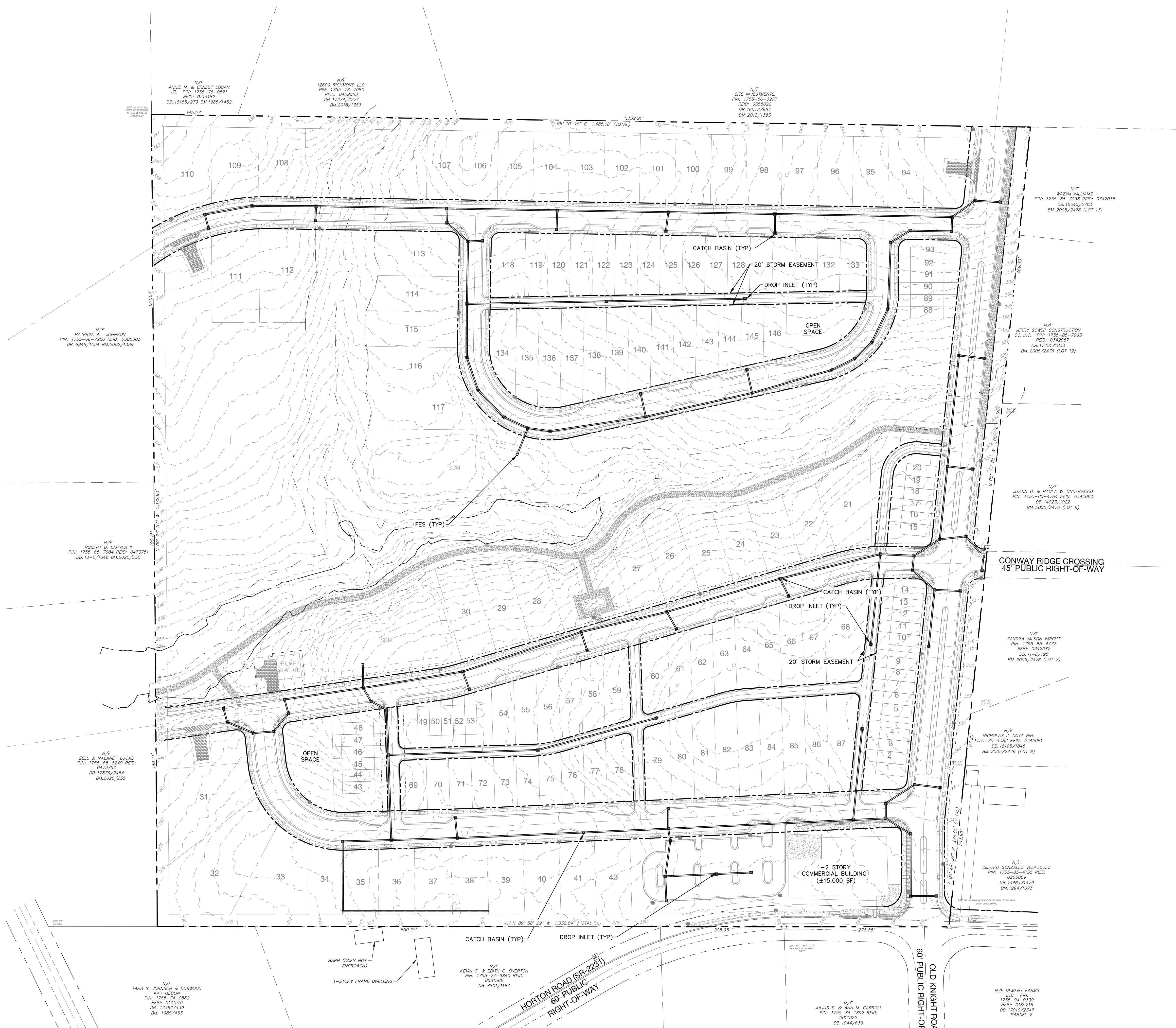
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**Weldon
Master Plan**
Overall Storm Drainage Plan
0 Lucas Rd., Knightdale, NC 27545

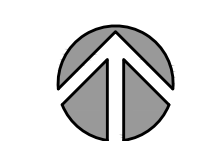
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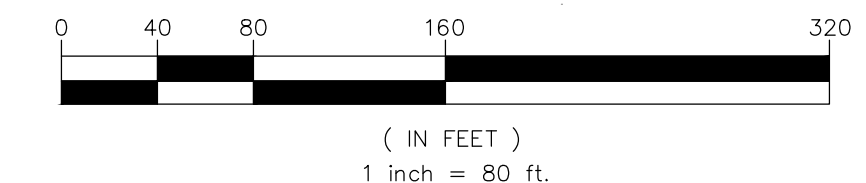
C-5.0

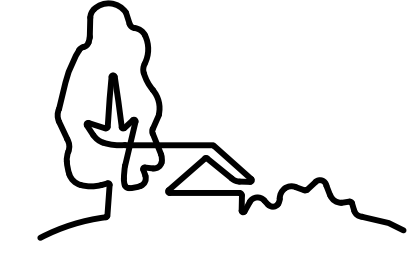


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**Weldon
Master Plan**
Utility Plan Enlargement
0 Lucas Rd., Knightdale, NC 27545

NO. DATE: BY: REVISIONS:

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C-6.1

WATER ALLOCATION POLICY

MAJOR SUBDIVISION	
Major Subdivision base points	15 pts.
Residential architectural standards	15 pts.
Construct more than 2,000 LF of a 10' wide path	2 pts.
Construct a fountain within the BMP	4 pts.
Deck/Patio (3,000 sf)	3 pts.
Provision of on-street public parking	4 pts.
IPEMA certified playground equipment	4 pts.
Outdoor display of public art	4 pts.
Dog Park	4 pts.
TOTAL MIN. REQUIRED	50 pts.

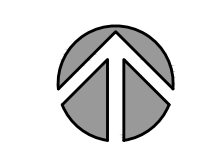
Note: Any combination of features listed above can be used to meet the 50 point minimum requirement.

SINGLE USE RETAIL	
Single use retail base points	41 pts.
Outdoor display of public art	4 pts.
Deck/patio (3,000 sf)	3 pts.
Provision of on-street public parking	4 pts.
TOTAL MIN. REQUIRED	50 pts.

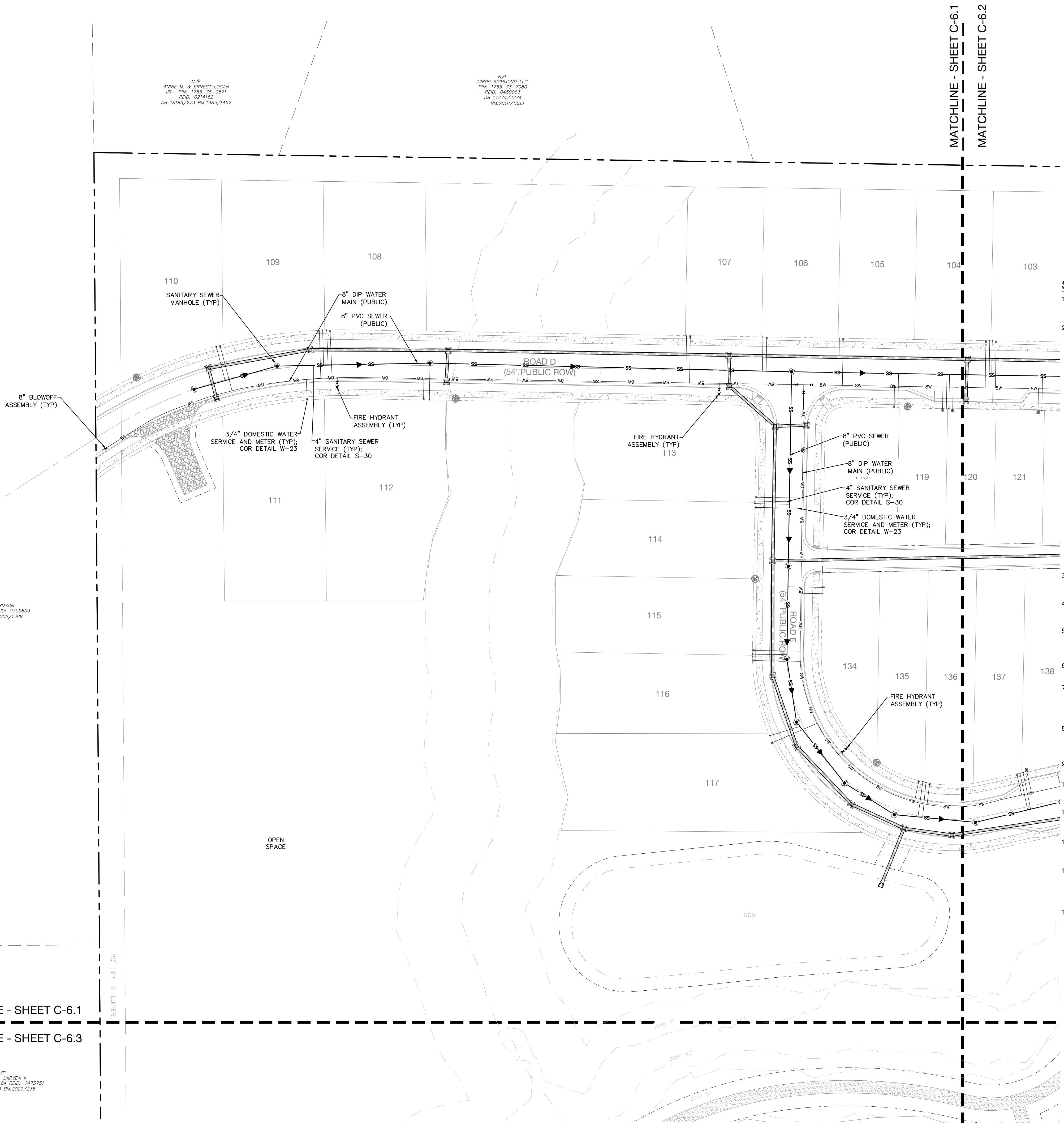
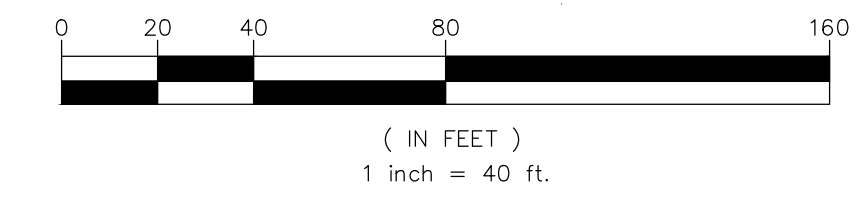
Note: Any combination of features listed above can be used to meet the 50 point minimum requirement.

STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR OR SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE SEPARATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITH AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.



GRAPHIC SCALE



N/F
ANNIE M. & ERNEST LOGAN
JR. PIN: 1755-78-0571
REID: 0214182
DB: 18185/273 BM.1985/1452

N/F
12609 RICHMOND LLC
PIN: 1755-78-7580
REID: 0459663
DB: 17274/2274
BM.2016/1383

N/F
PATRICIA A. JOHNSON
PIN: 1755-66-7286 REID: 0305803
DB: 9949/1034 BM.2002/1389

N/F
ROBERT O. LARREA II
PIN: 1755-65-7684 REID: 0473751
DB: 13-E/1848 BM.2020/235

MATCHLINE - SHEET C-6.1
MATCHLINE - SHEET C-6.3

20' TYPE B BUFFER

MATCHLINE - SHEET C-6.1
MATCHLINE - SHEET C-6.2

MATCHLINE - SHEET C-6.1

MATCHLINE - SHEET C-6.3

N/F
ROBERT G. LARREA II
PIN: 1725-65-7684 REGD. 0473751
DB: 13-E/1848 BM.2020/235

N/F
ZELL & MALANEY LUCAS
PIN: 1755-65-8249 REGD. 0473752
DB: 17876/2454
BM.2020/235

4" SANITARY SEWER SERVICE (TYP); COR DETAIL S-30
3/4" DOMESTIC WATER SERVICE AND METER (TYP); COR DETAIL W-23

N/F
KEVIN S. & EDITH C. OVERTON
PIN: 1755-74-9860 REGD. 0261686
DB: 8801/1184

WATER ALLOCATION POLICY

MAJOR SUBDIVISION	
Major Subdivision base points	15 pts.
Residential architectural standards	15 pts.
Construct more than 2,000 LF of a 10' wide path	2 pts.
Construct a fountain within the BMP	4 pts.
Deck/Patio (3,000 sf)	3 pts.
Provision of on-street public parking	4 pts.
IPEMA certified playground equipment	4 pts.
Outdoor display of public art	4 pts.
Dog Park	4 pts.
TOTAL MIN. REQUIRED	50 pts.

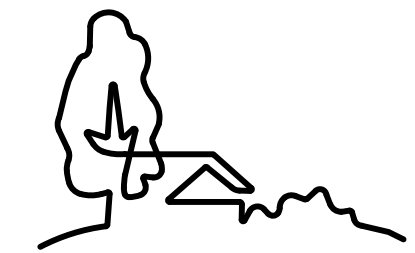
Note: Any combination of features listed above can be used to meet the 50 point minimum requirement.

SINGLE USE RETAIL	
Single use retail base points	41 pts.
Outdoor display of public art	4 pts.
Deck/patio (3,000 sf)	3 pts.
Provision of on-street public parking	4 pts.
TOTAL MIN. REQUIRED	50 pts.

Note: Any combination of features listed above can be used to meet the 50 point minimum requirement.

STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE SEPARATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
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- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
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URBAN DESIGN PARTNERS

150 Fayetteville St. Ste 1310
Raleigh, NC 27601
P 919.275.5002
urbandesignpartners.com
nc firm no: P-2671 sc coa no: C-03044

PRELIMINARY DRAWING
FOR REVIEW PURPOSES ONLY

01/06/2023

DRB Homes

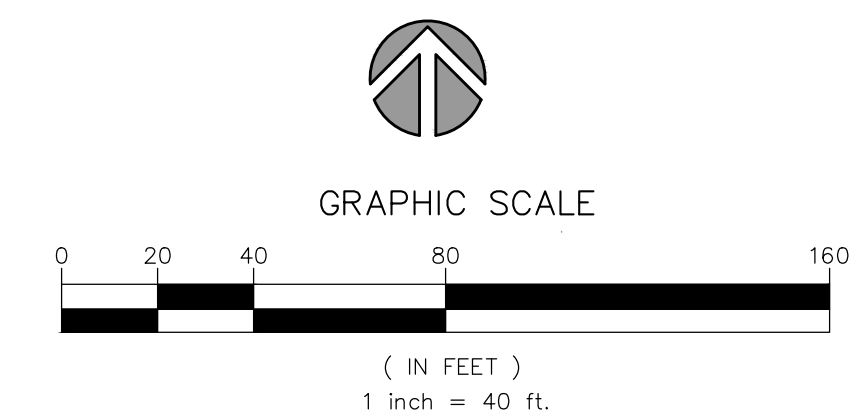
3000 RDU Center Dr., Suite 202
Morrisville, NC 27560

Weldon Master Plan
Utility Plan Enlargement
0 Lucas Rd., Knightdale, NC 27545

NO. DATE: BY: REVISIONS:

Project No: 22-RDU-030
Date: 01.06.2023
Designed By: UDP
Checked By: BAR
Sheet No:

C-6.3



MATCHLINE - SHEET C-6.3

MATCHLINE - SHEET C-6.4

1-STORY FRAME DWELLING

BARN (DOES NOT ENCROACH)

OPEN SPACE

DOMESTIC WATER METERS TO BE PLACED IN DEDICATED 2' X 2' CITY OF RALEIGH WATER LINE EASEMENT

40' UTILITY EASEMENT

8" PVC SEWER (PUBLIC)

6" DIP WATER MAIN (PUBLIC)

FIRE HYDRANT-ASSEMBLY (TYP)

20' TYPE B BUFFER

5' CITY OF RALEIGH RALEIGH SANITARY SEWER EASEMENT

8" PVC FORCE-MAIN (PUBLIC)

SANITARY SEWER-MANHOLE (TYP)

8" GV (TYP)

FIRE HYDRANT-ASSEMBLY (TYP)

5' CITY OF RALEIGH RALEIGH SANITARY SEWER EASEMENT

PROP. EQUIPMENT SHELTER (TYP)

6"X6" CONC. FLOW METER VAULTS, 6' DEPTH

8" DIP WATER-MAIN (PUBLIC)

8" PVC SEWER (PUBLIC)

SANITARY SEWER MANHOLE (TYP)

PROP. PUMP STATION LOT WITH 6" ABC

6' DIA. WET WELL

8" PVC SEWER (PUBLIC)

SANITARY SEWER MANHOLE (TYP)

8" PVC SEWER (PUBLIC)

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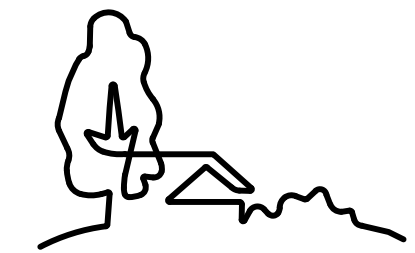
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**URBAN
DESIGN
PARTNERS**

150 Fayetteville St., Ste 1310
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P 919.275.5002
urbandesignpartners.com

nc firm no: P-2671 sc coa no: C-03044

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Master Plan**
Utility Plan Enlargement
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C-6.4

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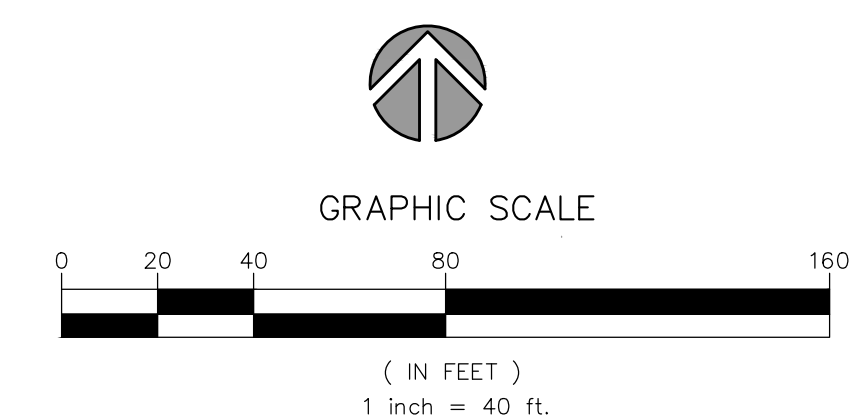
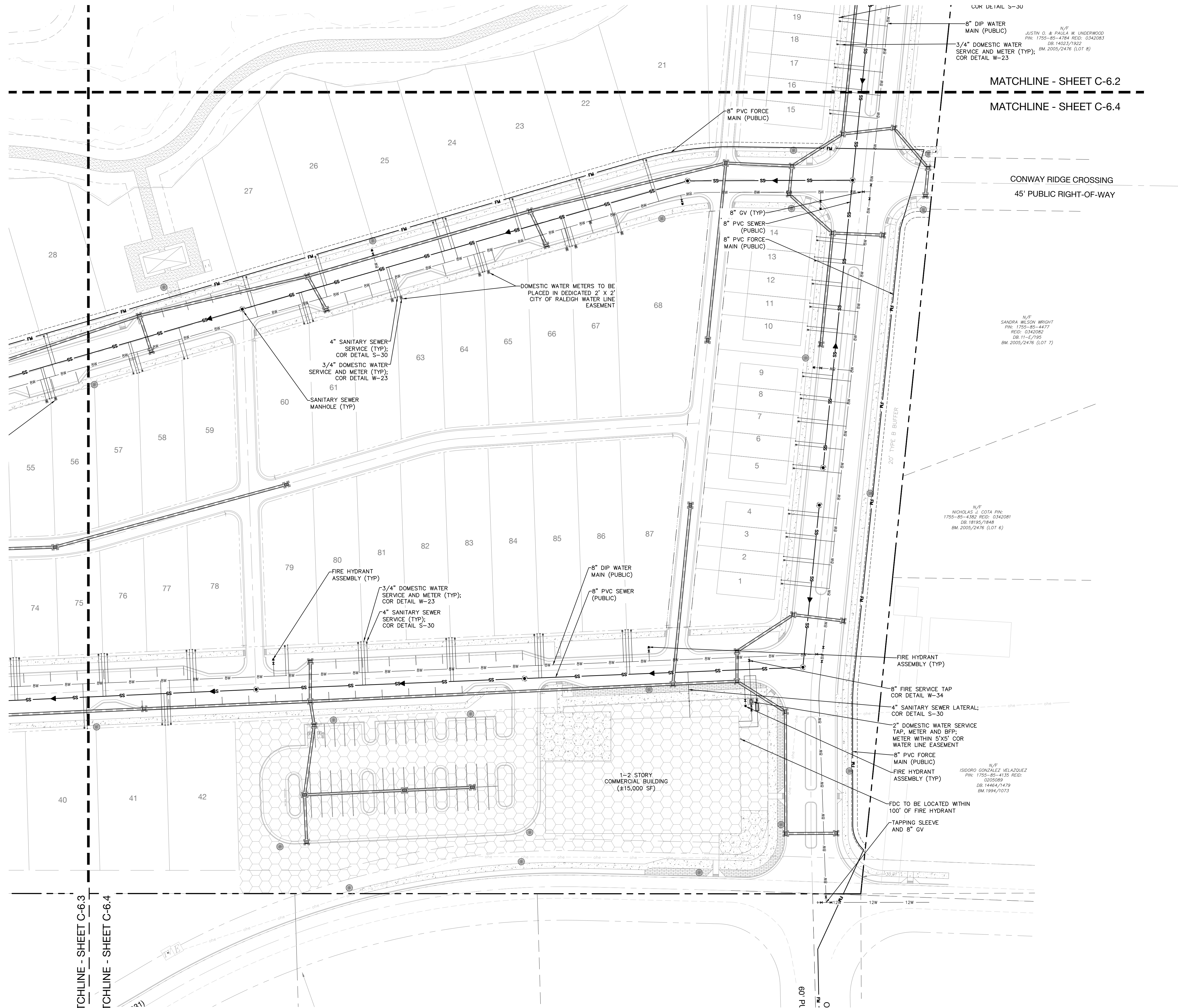
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- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWM, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.



MATCHLINE - SHEET C-6.3
MATCHLINE - SHEET C-6.4

MATCHLINE - SHEET C-6.2

MATCHLINE - SHEET C-6.4

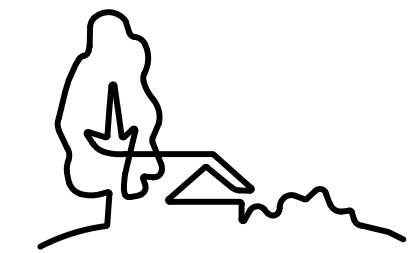
COR DETAIL S-30

N/F
JUSTIN O. & PAULA W. UNDERWOOD
PIN: 1755-85-4784 REG: 0342083
DB: 14023/1922
BM: 2005/2476 (LOT 8)

N/F
SANDRA WILSON WRIGHT
PIN: 1755-85-4477
REG: 0343089
DB: 11-E/195
BM: 2005/2476 (LOT 7)

N/F
NICHOLAS J. COTA PIN:
1755-85-4382 REG: 0342081
DB: 18193/1848
BM: 2005/2476 (LOT 6)

N/F
ISIDORO GONZALEZ VELAZQUEZ
PIN: 1755-85-4133 REG:
0205089
DB: 14464/1479
BM: 1994/1073



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Weldon Master Plan
Overall Landscape Plan
0 Lucas Rd., Knightdale, NC 27545

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Project No: 22-RDU-030
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Sheet No:

LS-1.0



PLANT SCHEDULE SITE PLANTINGS

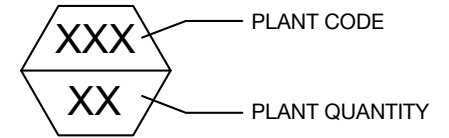
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AS	9	ACER BUERGERIANUM 'STREETWISE' / STREETWISE® TRIDENT MAPLE	B & B	1.25" CAL	6' MIN.	
AL	88	ACER SACCHARUM 'LEGACY' / LEGACY SUGAR MAPLE	B & B	2" CAL	8'-10' HT	
CB	6	CEDRUS ATLANTICA 'GLAUCA' / BLUE ATLAS CEDAR	B & B	2" CAL	8'-10' HT	
MB	9	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKEN'S BEAUTY SOUTHERN MAGNOLIA	B & B	1.25" CAL	6' MIN.	
QA	106	QUERCUS ACUTISSIMA / SAWTOOTH OAK	B & B	2" CAL	8'-10' HT	
ZG	52	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE SAWLEAF ZELKOVA	B & B	2" CAL	8'-10' HT	

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	MIN HEIGHT	MIN WIDTH
NP	42	NERICA CORNYCA 'CARISSA' / NORTHERN CARIBBEAN HOLLY	3 GAL	12" MIN.	18"	
SP	22	SPYRAEA JAPONICA / JAPANESE SPIREA	3 GAL	12" MIN.	18"	
SJ	2	SPYRAEA JAPONICA / JAPANESE SPIREA	3 GAL	12" MIN.	18"	

PLANT SCHEDULE BUFFER PLANTINGS

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
CB	10	CEDRUS ATLANTICA 'GLAUCA' / BLUE ATLAS CEDAR	B & B	2" CAL	8'-10' HT	
CC	43	CERCIS CANADENSIS / EASTERN REDBUD	B & B	1.25" CAL	6' MIN.	
GK	87	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE	B & B	2" CAL	8' MIN	
MB	178	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKEN'S BEAUTY SOUTHERN MAGNOLIA	B & B	1.25" CAL	6' MIN.	
QH	36	QUERCUS HEMISPHERICA / LAUREL OAK	B & B	2" CAL	8'-10' HT	

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	MIN HEIGHT	MIN WIDTH
IC	575	ILEX CORNUTA 'CARISSA' / CARISSA CHINESE HOLLY	3 GAL	12" MIN.	18"	
MP	45	MYRICA PENNSYLVANICA / NORTHERN BAYBERRY	3 GAL	12" MIN.	18"	
SJ	286	SPYRAEA JAPONICA / JAPANESE SPIREA	3 GAL	12" MIN.	18"	



NOTES:

- PLANT SPECIES AND QUANTITIES SUBJECT TO CHANGE BASED ON MARKET AVAILABILITY AT TIME OF INSTALLATION.
- IF GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS DO NOT MATCH QUANTITIES IN PLANT SCHEDULE, GRAPHIC REPRESENTATION OF PLANTINGS WILL GOVERN.
- TREES NOT IN A LANDSCAPE BED SHALL RECEIVE A 4" DIAMETER MULCH RING.
- LIMITS OF IRRIGATION INCLUDE DENOTED LANDSCAPE BEDS, ALL SOD/SEED AREAS, AND TREES NOT LOCATED IN A LANDSCAPE BED.
- SEE SHEET C-3.5 FOR OPEN SPACE PLANS.

LANDSCAPE REQUIREMENTS:

SCREENING:

- ALL PARKING LOTS, TRASH FACILITIES, AND ABOVE GROUND UTILITIES MUST BE SCREENED FROM PUBLIC RIGHTS OF WAY AND ADJACENT PROPERTIES ACCORDING TO KNIGHTDALE UDO SEC. 7.5.
- ANY REQUIRED SCREENING AREAS THAT OVERLAP WITH SIGHT DISTANCE TRIANGLES WILL WAIVE PLANTING REQUIREMENTS AND USE GROUND COVER PLANTINGS.
- ALL SIDES OF PARKING LOTS FRONTING RIGHTS-OF-WAYS SHALL BE SCREENED WITH A TYPE A BUFFER YARD.
- ABOVE GROUND UTILITIES AND TRASH FACILITIES SHALL BE SCREENED BY THE ELEMENTS OF A TYPE B BUFFER YARD THAT PERTAIN TO THE SEMI-OPAQUE SCREENS UP TO SIX FEET IN HEIGHT, OR THE HEIGHT OF THE UTILITY (WHICHEVER IS LESS).

20' TYPE B BUFFER YARD (TOWN OF KNIGHTDALE UDO SEC. 7.4.L)

WIDTH:	20'
LINEAR FEET OF BUFFER:	± 4,415 LF
REQ'D CANOPY TREES:	3 TREES/100 LF
REQ'D UNDERSTORY TREES:	5 TREES/100 LF
REQ'D SHRUBS:	20 SHRUBS/100 LF

(4,415 LF / 100 LF)(3) =	133 CANOPY TREES REQ'D
(4,415 LF / 100 LF)(5) =	221 UNDERSTORY TREES REQ'D
(4,415 LF / 100 LF)(20) =	883 SHRUBS REQ'D
PROVIDED PLANTING:	133 CANOPY TREES PROP.
	221 UNDERSTORY TREES PROP.
	906 SHRUBS PROP.

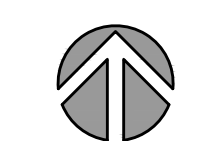
EXISTING VEGETATION WITHIN RIPARIAN BUFFER AND TREE SAVE AREA TO MEET BUFFER REQUIREMENT. PROPOSED LANDSCAPE SHALL BE SUPPLEMENTED PER THE DIRECTION OF THE URBAN FORESTER TO MEET INTENT OF BUFFER. FINAL LOCATION OF LANDSCAPE MATERIAL WITHIN TREE SAVE SHALL BE DETERMINED BY URBAN FORESTER.

STREET TREE PLANTINGS (TOWN OF KNIGHTDALE UDO SEC. 7.4.L)

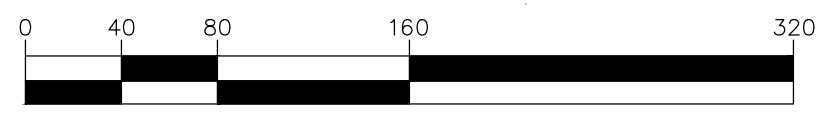
- ALL STREET TREES SHALL BE PLANTED WITH A MINIMUM AVERAGE OF 40' ON CENTER UNLESS OTHERWISE SPECIFIED IN THE UDO.
- THE SPECIES OF EVERY OTHER TREE ALONG A STREET FRONTAGE SHALL ALTERNATE IN ORDER TO MAXIMIZE SPECIES DIVERSITY.
- STREET TREES SHALL BE PLACED AT LEAST TEN FEET FROM LIGHT POLES, AND TWELVE FEET FROM ELECTRICAL TRANSFORMERS IN ORDER FOR THESE UTILITIES TO BE SAFELY SERVICED.

INTERIOR PARKING LOT PLANTINGS (TOWN OF KNIGHTDALE UDO SEC. 7.4.J)

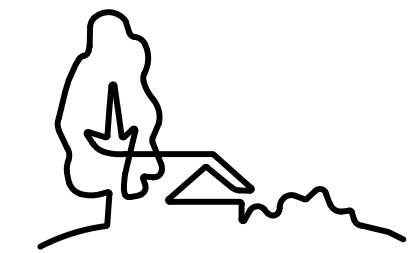
- ALL PARKING LOTS WITH MORE THAN SIXTEEN PARKING SPACES SHALL BE LANDSCAPED.
- NO PARKING SPACE SHALL BE MORE THAN SIXTY FEET FROM THE BASE OF A DECIDUOUS CANOPY TREE.



GRAPHIC SCALE



(IN FEET)
1 inch = 80 ft.



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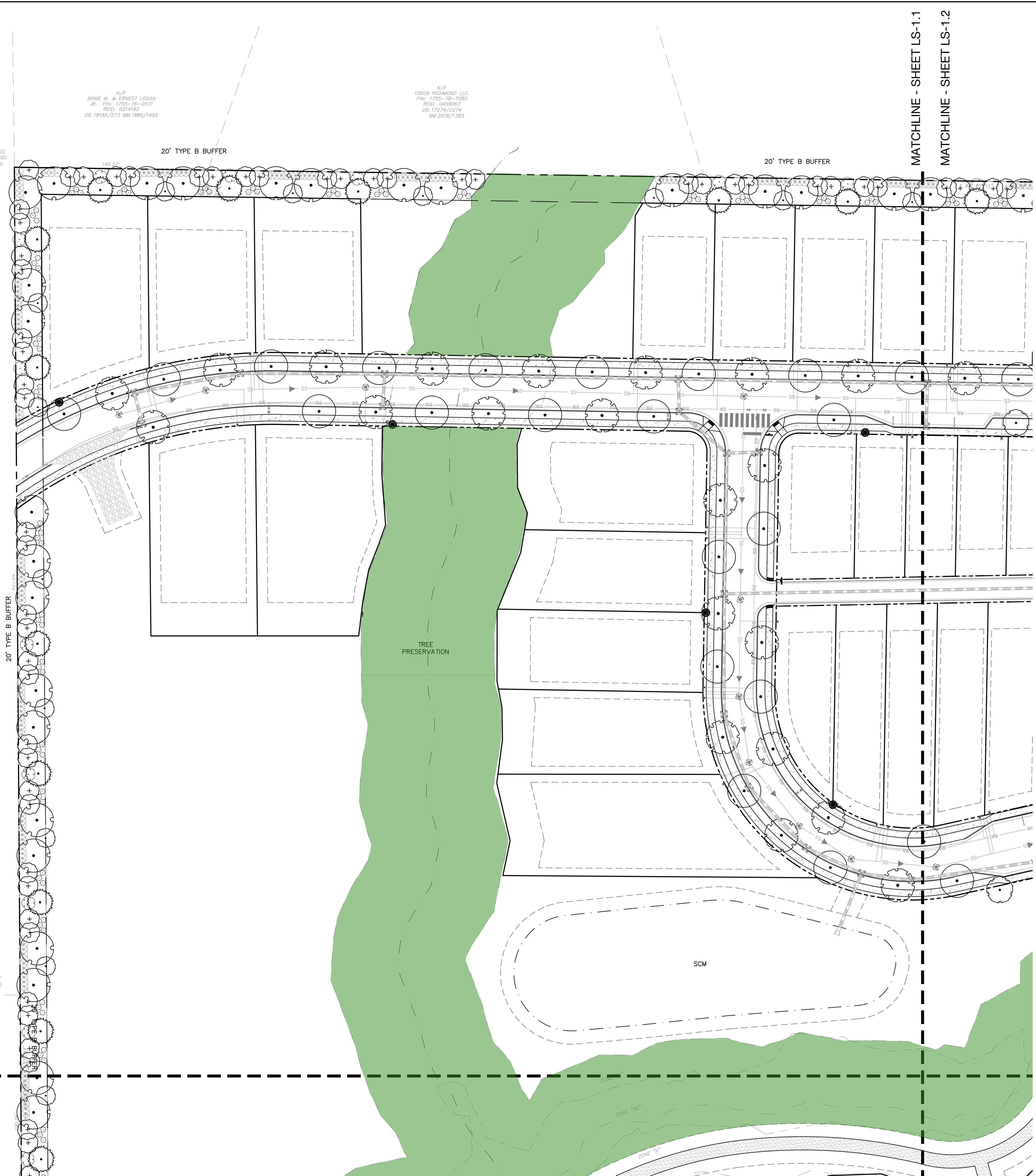
LS-1.1

PLANT SCHEDULE SITE PLANTINGS

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	AS	9	ACER BUERGERIANUM 'STREETWISE' / STREETWISE TRIDENT MAPLE
	AL	88	ACER SACCHARUM 'LEGACY' / LEGACY SUGAR MAPLE
	CB	6	CEDRUS ATLANTICA 'GLAUCO' / BLUE ATLAS CEDAR
	MB	9	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKENS BEAUTY SOUTHERN MAGNOLIA
	QA	106	QUERCUS ACUTISSIMA / SAWTOOTH OAK
	ZG	52	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE SAWLEAF ZELKOVA
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	MP	12	MYRICA PENNSYLVANICA / NORTHERN BAYBERRY
	SJ	2	SPIRAEA JAPONICA / JAPANESE SPIREA

PLANT SCHEDULE BUFFER PLANTINGS

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CB	10	CEDRUS ATLANTICA 'GLAUCO' / BLUE ATLAS CEDAR
	CC	43	CERCIS CANADENSIS / EASTERN REDBUD
	GK	87	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE
	MB	176	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKENS BEAUTY SOUTHERN MAGNOLIA
	QH	36	QUERCUS HEMISPHERICA / LAUREL OAK
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	IC	575	ILEX CORNUTA 'CARISSA' / CARISSA CHINESE HOLLY
	MP	45	MYRICA PENNSYLVANICA / NORTHERN BAYBERRY
	SJ	286	SPIRAEA JAPONICA / JAPANESE SPIREA



3/4" R/F (0.3' AG)
POINT OF BEGINNING
N: 756,364.98' E:
2106,999.93'

N/F
ANNIE M. & ERNEST LOGAN
JR. PIN: 1755-76-0571
REID: 0214182
DB: 18185/273 BM.1985/1452

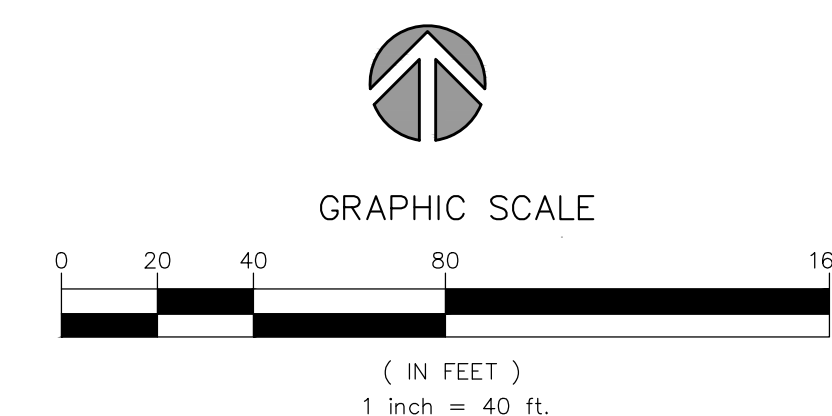
N/F
12609 HIGHWAY LLC
PIN: 1755-76-7080
REID: 045906.3
DB: 12214/2274
BM.2018/1383

N/F
PATRICIA K. JOHNSON
PIN: 1755-66-7286 REID: 030580.3
DB: 9949/1034 BM.2002/1369

3/4" R/F
(0.3' AG)

MATCHLINE - SHEET LS-1.1
MATCHLINE - SHEET LS-1.3

N/F
ROBERT O. LARVEA II
PIN: 1755-65-7684 REID: 0423751
DB: 13-E/1848 BM.2020/235



MATCHLINE - SHEET LS-1.1
 MATCHLINE - SHEET LS-1.2

N/P
 SITE INVESTMENTS
 PIN: 1755-86-3977
 RES: 035002
 OB: 16076/994
 BM: 2018/1353

20' TYPE B BUFFER

3/4" @ (1' AG)
 N: 706,343.49'
 E: 2,158,484.96'

N/P
 WAZM WILLIAMS
 PIN: 1755-86-7038 RES:
 OB: 16040/2783
 BM: 2005/2476 (LOT 12)

N/P
 JERRY GOMER CONSTRUCTION
 CO. INC. PIN: 1705-85-7963
 RES: 0342087
 OB: 17450/1833
 BM: 2005/2476 (LOT 12)

N/P
 JUSTIN O. & PAULA W. UNDERWOOD
 PIN: 1755-86-4784 RES: 0342083
 OB: 16023/1922
 BM: 2005/2476 (LOT 8)

MATCHLINE - SHEET LS-1.2

MATCHLINE - SHEET LS-1.4

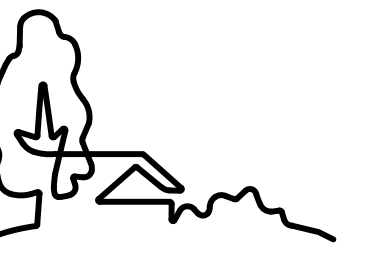
CONWAY RICE CROOKS

PLANT SCHEDULE SITE PLANTINGS

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	AS	9	ACER BUERGERIANUM 'STREETWISE' / STREETWISE TRIDENT MAPLE
	AL	88	ACER SACCHARUM 'LEGACY' / LEGACY SUGAR MAPLE
	CB	6	CEDRUS ATLANTICA 'GLAUCO' / BLUE ATLAS CEDAR
	MB	9	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKENS BEAUTY SOUTHERN MAGNOLIA
	QA	106	QUERCUS ACUTISSIMA / SAWTOOTH OAK
	ZG	52	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE SAWLEAF ZELKOVA
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	MP	12	MYRTICA PENNSYLVANICA / NORTHERN BAYBERRY
	SJ	2	SPIRAEA JAPONICA / JAPANESE SPIREA

PLANT SCHEDULE BUFFER PLANTINGS

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	CB	10	CEDRUS ATLANTICA 'GLAUCO' / BLUE ATLAS CEDAR
	CC	43	CERCIS CANADENSIS / EASTERN REDBUD
	GK	87	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE
	MB	176	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKENS BEAUTY SOUTHERN MAGNOLIA
	QH	36	QUERCUS HEMISPHERICA / LAUREL OAK
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	IC	575	ILEX CORNUTA 'CARISSA' / CARISSA CHINESE HOLLY
	MP	45	MYRTICA PENNSYLVANICA / NORTHERN BAYBERRY
	SJ	286	SPIRAEA JAPONICA / JAPANESE SPIREA



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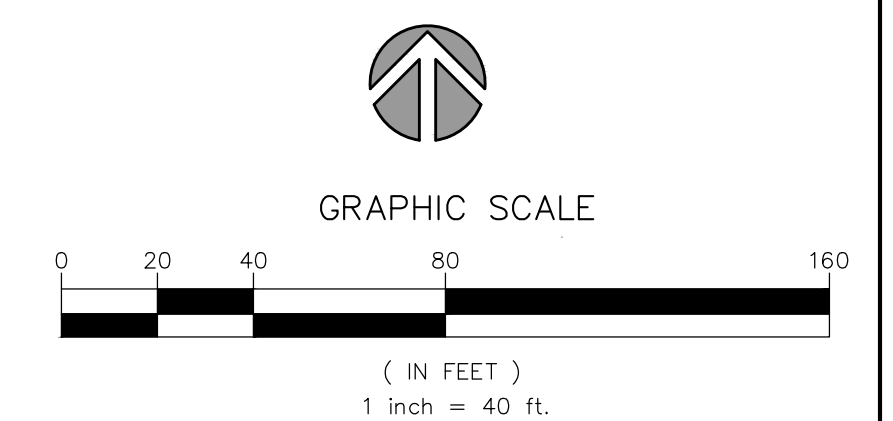
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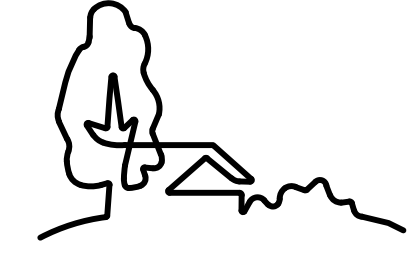
Weldon
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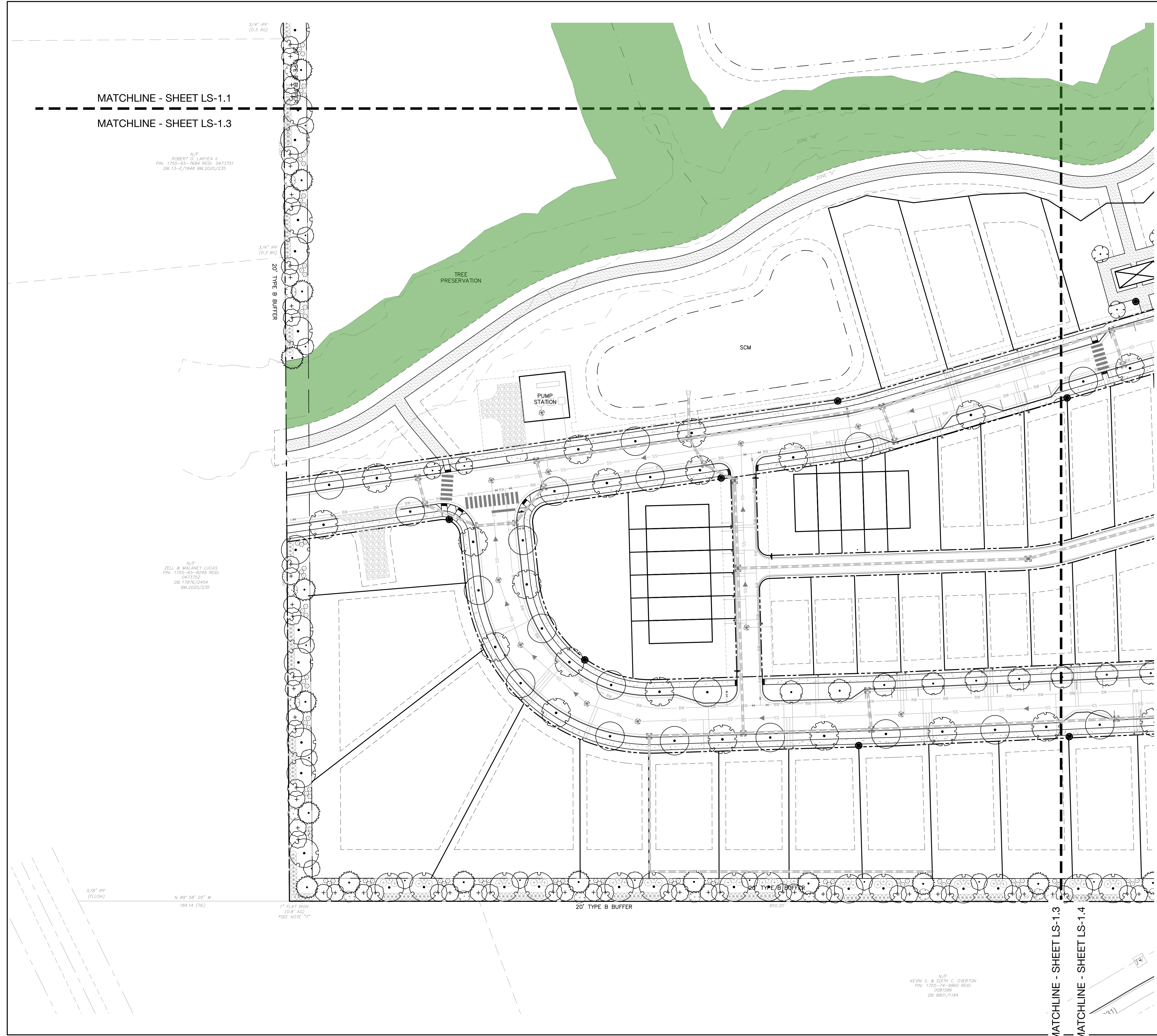
LS-1.3

PLANT SCHEDULE SITE PLANTINGS

TREES	CODE	QTY	BOTANICAL / COMMON NAME
	AS	9	ACER BUERGERIANUM 'STREETWISE' / STREETWISE TRIDENT MAPLE
	AL	88	ACER SACCHARUM 'LEGACY' / LEGACY SUGAR MAPLE
	CB	6	CEDRUS ATLANTICA 'GLAUCO' / BLUE ATLAS CEDAR
	MB	9	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKENS BEAUTY SOUTHERN MAGNOLIA
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SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	MP	12	MYRICA PENNSYLVANICA / NORTHERN BAYBERRY
	SJ	2	SPIRAEA JAPONICA / JAPANESE SPIREA

PLANT SCHEDULE BUFFER PLANTINGS

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	CC	43	CERCIS CANADENSIS / EASTERN REDBUD
	GK	87	GYMNOCADUS DIOICA / KENTUCKY COFFEETREE
	MB	176	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKENS BEAUTY SOUTHERN MAGNOLIA
	QH	36	QUERCUS HEMISPHERICA / LAUREL OAK
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
	IC	575	ILEX CORNUTA 'CARISSA' / CARISSA CHINESE HOLLY
	MP	45	MYRICA PENNSYLVANICA / NORTHERN BAYBERRY
	SJ	286	SPIRAEA JAPONICA / JAPANESE SPIREA



MATCHLINE - SHEET LS-1.1
MATCHLINE - SHEET LS-1.3

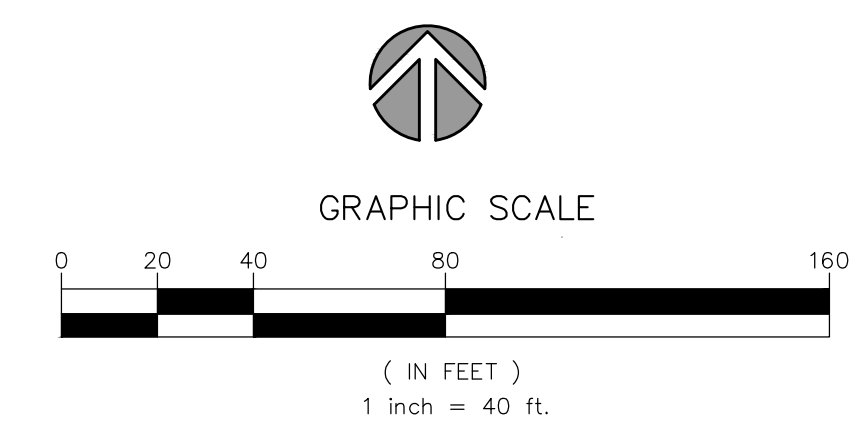
N/P
ROBERT D. LARIVEA II
PIN: 1755-65-7884 REID: 0423751
DB: 13-E/1848 BM 2020/235

N/P
ZELL & MALONEY LUCAS
PIN: 1755-65-8249 REID:
043352
DB: 17876/2454
BM 2020/235

5/8" IRP
(FLUSH)
N 89° 58' 29" W
184.14 (TIC)

1" TALL SIGN
(0.8' AG)
*SEE NOTE "7"

N/P
KEVIN S. & EDITH C. OVERTON
PIN: 1755-74-8860 REID:
028196
DB: 8801/1184



MATCHLINE - SHEET LS-1.3
MATCHLINE - SHEET LS-1.4



MATCHLINE - SHEET LS-1.2
 MATCHLINE - SHEET LS-1.4

CONWAY RIDGE CROSSING
 45' PUBLIC RIGHT-OF-WAY

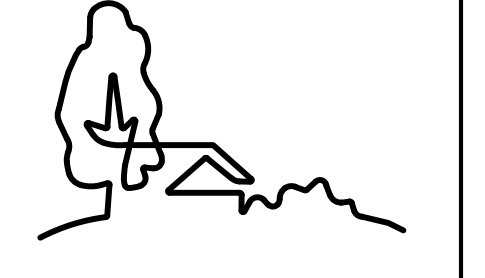
20' TYPE B BUFFER

PLANT SCHEDULE SITE PLANTINGS

TREES	CODE	QTY	BOTANICAL / COMMON NAME
(Symbol)	AS	9	ACER BUERGERIANUM 'STREETWISE' / STREETWISE TRIDENT MAPLE
(Symbol)	AL	88	ACER SACCHARUM 'LEGACY' / LEGACY SUGAR MAPLE
(Symbol)	CB	6	CEDRUS ATLANTICA 'GLAUCO' / BLUE ATLAS CEDAR
(Symbol)	MB	9	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKENS BEAUTY SOUTHERN MAGNOLIA
(Symbol)	QA	106	QUERCUS ACUTISSIMA / SAWTOOTH OAK
(Symbol)	ZG	52	ZELKOVA SERRATA 'GREEN VASE' / GREEN VASE SAWLEAF ZELKOVA
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
(Symbol)	MP	12	MYRICA PENSYLVANICA / NORTHERN BAYBERRY
(Symbol)	SJ	2	SPIRAEA JAPONICA / JAPANESE SPIREA

PLANT SCHEDULE BUFFER PLANTINGS

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(Symbol)	CB	10	CEDRUS ATLANTICA 'GLAUCO' / BLUE ATLAS CEDAR
(Symbol)	CC	43	CERCIS CANADENSIS / EASTERN REDBUD
(Symbol)	GK	87	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE
(Symbol)	MB	176	MAGNOLIA GRANDIFLORA 'BRACKENS BROWN BEAUTY' / BRACKENS BEAUTY SOUTHERN MAGNOLIA
(Symbol)	QH	36	QUERCUS HEMISPHERICA / LAUREL OAK
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME
(Symbol)	IC	575	ILEX CORNUTA 'CARISSA' / CARISSA CHINESE HOLLY
(Symbol)	MP	45	MYRICA PENSYLVANICA / NORTHERN BAYBERRY
(Symbol)	SJ	286	SPIRAEA JAPONICA / JAPANESE SPIREA



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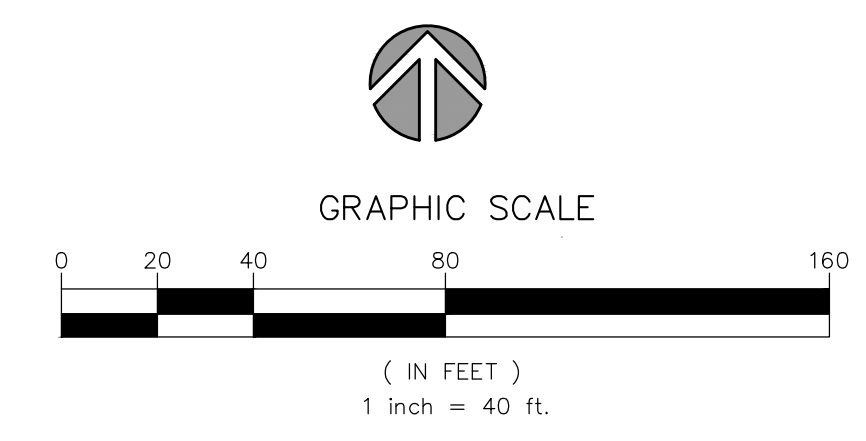
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PARTNERS

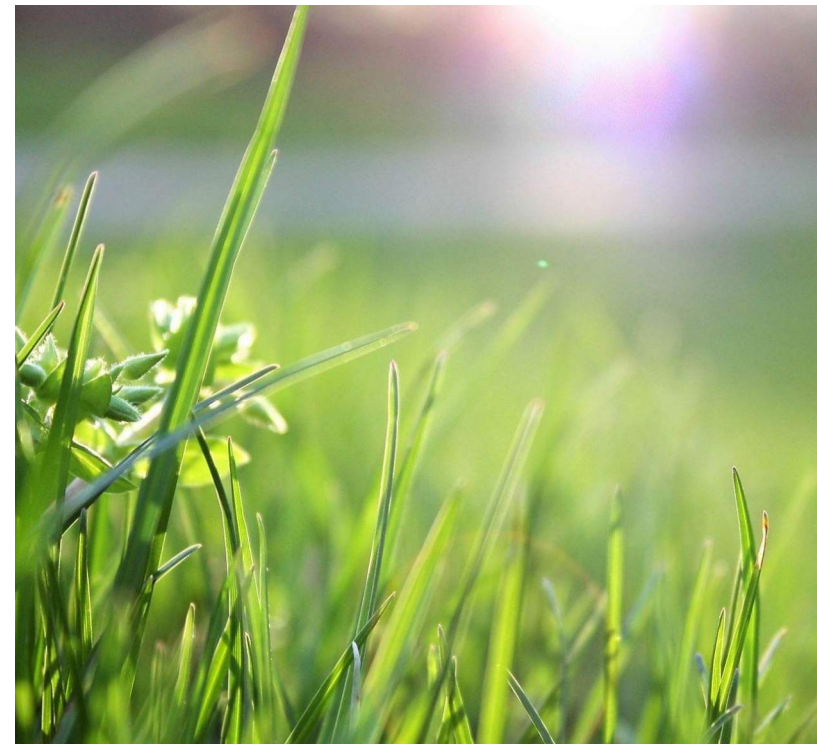
LANDSCAPE ARCHITECTURE + CIVIL ENGINEERING



WELDON

PLANNED UNIT DEVELOPMENT

The Town of Knightdale
Case Number: ZMA-11-22
January 6, 2023



WELDON

PLANNED UNIT DEVELOPMENT

PREPARED FOR
The Town of Knightdale

DEVELOPER

DRB

HOMES
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PROJECT TEAM

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Ramey Kemp & Associates
Traffic Engineers

Morris & Ritchie Associates, Inc.
Surveyors

Soil & Environmental Consultants, PA (S&EC)
Environmental Consultant

SUBMITTAL DATE

January 6, 2023



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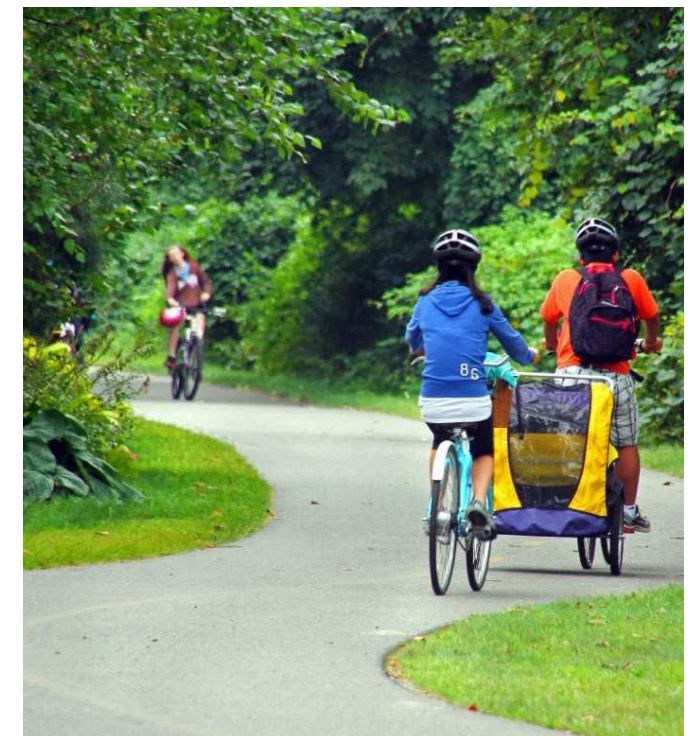
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VISION + INTENT

01

Community Vision

Weldon is envisioned as a place of community. The development team believes that through **quality placemaking**, a **mix of uses**, and a **variety of housing options**, will arise a place of creativity and diversity that will reveal a vibrant and active community. Weldon will be a community that both embraces and engages nature by providing a network of trails and open space that encourages social interactions and physical activity.



VISION

Community Intent

Section 2.4.C. of the Town of Knightdale Unified Development Ordinance states that, “the Planned Unit Development Overlay District process **encourages creativity and innovation** in the design of developments through a master planning process that allows for flexibility from underlying zoning as approved by the Town Council.”

Section 12.2.G.3.g.ii states that “approval of a development through a Planned Unit Development Overlay District rezoning, including modifications to the requirements of this UDO, is a privilege and will be considered by the Town only in direct response to the accrual of **tangible benefits** from the planned unit development to the Town of the neighborhood in which it would be located.”

The tangible benefits as mentioned above are as following:

- » **Exceptional amenities**
- » **Outstanding environmental, landscape, architectural, or site design**
- » **Conservation of special man-made or natural features of the site**

Weldon meets the intent of the Planned Unit Development Overlay District requirements per Town of Knightdale UDO Section 12.2.G.3.g.ii.a. through the following findings:

- » **Comprehensive Plan**
 - Weldon corresponds to the growth framework, greenway trails, and vision & intent laid out in the KnightdaleNext2035 comprehensive plan. The comprehensive plan calls for this location to have a neighborhood node that is a neighborhood-serving commercial use.
- » **Public Welfare**
 - Weldon is maintaining the riparian buffer that bisects the site to allow for maximized preservation of natural features. The supply of air to adjacent properties will not be negatively impacted due to the tree preservation and buffer plantings around the perimeter of the site.
- » **Impact on Other Property**
 - Weldon is a mixed-use residential community. The adjacent land uses consist of existing single family residences and vacant wooded lots. Weldon consists of like uses and helps to provide increased connectivity and access to amenities like the greenway trail and neighborhood serving commercial node.

» **Impact on Public Facilities & Resources**

- Weldon will provide adequate utilities, road access, drainage, and other necessary facilities to properly serve residents of the site. Weldon will connect to water and sewer along Horton Road and Old Knight Road respectively. A pump station will be constructed on site, and a force main will be constructed along Old Knight Road and will connect to an existing manhole in the Haywood Glen subdivision.

» **Archaeological, Historical, or Cultural Impact**

- Weldon is maintaining the riparian buffer that bisects the site to allow for preservation of natural features on the property. No archaeological, historical, or cultural resources will be adversely impacted in the development. Weldon will preserve and enhance existing natural resources on site for the benefit of the community.

» **Parking & Traffic**

- Weldon is a pedestrian friendly community. The mix of housing types and rear-loaded units minimizes pedestrian-vehicular conflicts and creates a safer, more appealing streetscape. Proper sight distance triangles are also used at intersections to prevent conflicts when turning a vehicle. All street radii are adequate for emergency vehicle access. The greenway trail also provides a safe pedestrian connection throughout Weldon.

» **Adequate Buffering**

- A 20' Type B Buffer yard is proposed along the perimeter of Weldon to provide visual and acoustical privacy between Weldon and the surrounding neighbors. The maintained riparian buffer in the center of the site will also create a buffer within the community itself to allow for a greater sense of privacy between houses.

KNIGHTDALENEXT 2035

02

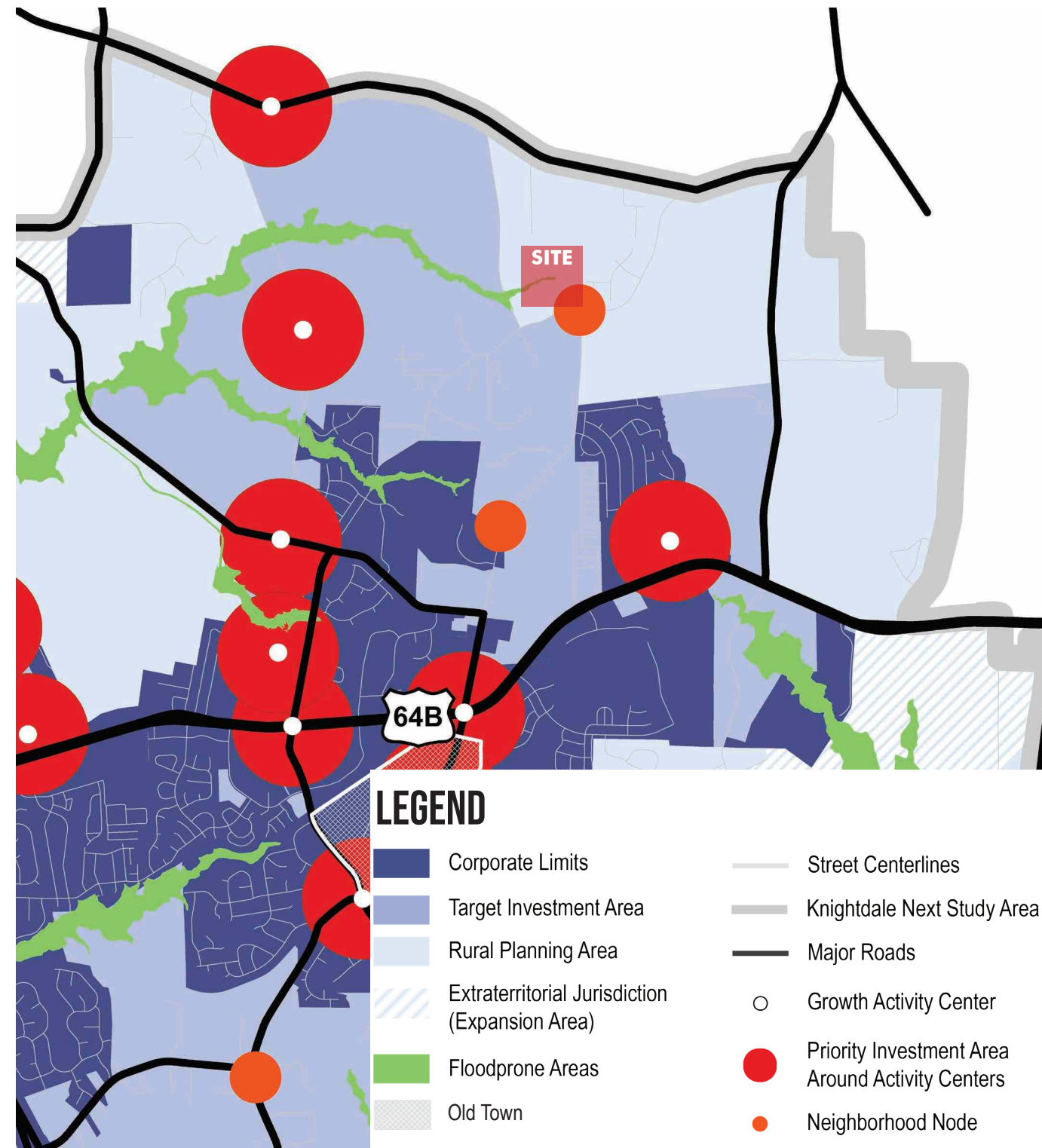


Figure 1: Growth Framework Map from KnightdaleNext2035 Comprehensive Plan

Growth Framework

This PUD document is proposing a rezoning from RR1 to RMX-PUD to better meet the desired outcome laid out in the KnightdaleNext2035 Comprehensive Plan. Weldon is located near a Neighborhood Node and within the Rural Planning area as identified in the Growth Framework Plan. Changing the future land use from Rural Living to a more dense walkable neighborhood will align with the creation of a neighborhood node in the southeast corner of the site. A higher density will create a more walkable, pedestrian friendly neighborhood.

The KnightdaleNext2035 Comprehensive Plan uses a ‘playbook approach’ to guiding future growth and development. Weldon aligns with the Playbook approach to guiding principles, community vision, and Growth Framework Map.

As described throughout this document, Weldon corresponds to Knightdale’s Guiding Principles of unique activity centers, natural environment, infill development, parks and recreation, transportation, compact development patterns, community design, economic vitality, community facilities and services, and great neighborhoods and expanded home choices.

Weldon aligns with Knightdale’s Vision of neighborhoods throughout the Town feeling a sense of connection. A public greenway trail will be added in the existing riparian buffer. This aligns with the Trails and Greenways plan found in the comprehensive plan. Weldon’s sidewalks and greenway trail promote pedestrian walkability and connection for the community.

The Growth Framework plan says that all development proposals within Rural Planning areas should include public input. Weldon was presented to neighbors at a neighborhood meeting that took place on September 27, 2022 and the team received positive feedback. See section 10 of this document for more detail on the neighborhood meeting.

Neighborhood nodes identify recommended retail locations for neighborhoods. The comprehensive plan identifies that, “each node should be neighborhood-serving and meet several daily needs for nearby residents.” The plan for Weldon has a commercial outparcel that is easily accessible to the surrounding neighborhoods, and is small enough to meet the intended scale proposed by KnightdaleNext2035.

The proposed plan for Weldon provides a mix of housing types to promote a diverse and walkable community. The mixed-use community will act as a transition for residential neighborhoods while providing community serving commercial amenities.

Comprehensive Plan Consistency

Trails & Greenways

The proposed plan for Weldon creates a connected network of open space and recreational amenities while maintaining existing natural features. The plan also provides safe and convenient pedestrian and bicycle access for nearby residents through the use of sidewalks, and a greenway trail that aligns with the KnightdaleNext2035 Comprehensive Plan.

The proposed greenway trail in Weldon is located in the riparian buffer that runs east-west across the site. Having the greenway trail surrounded by tree preservation allows for a nature immersive experience for users of the trail.

LEGEND

-  Proposed Greenway
-  Proposed Neighborhood Trail
-  Proposed Cross Town Bicycle Routes
-  Parks & Recreation Sites
-  Open Space Property
-  100-Year Flood Areas
-  Study Area Boundary

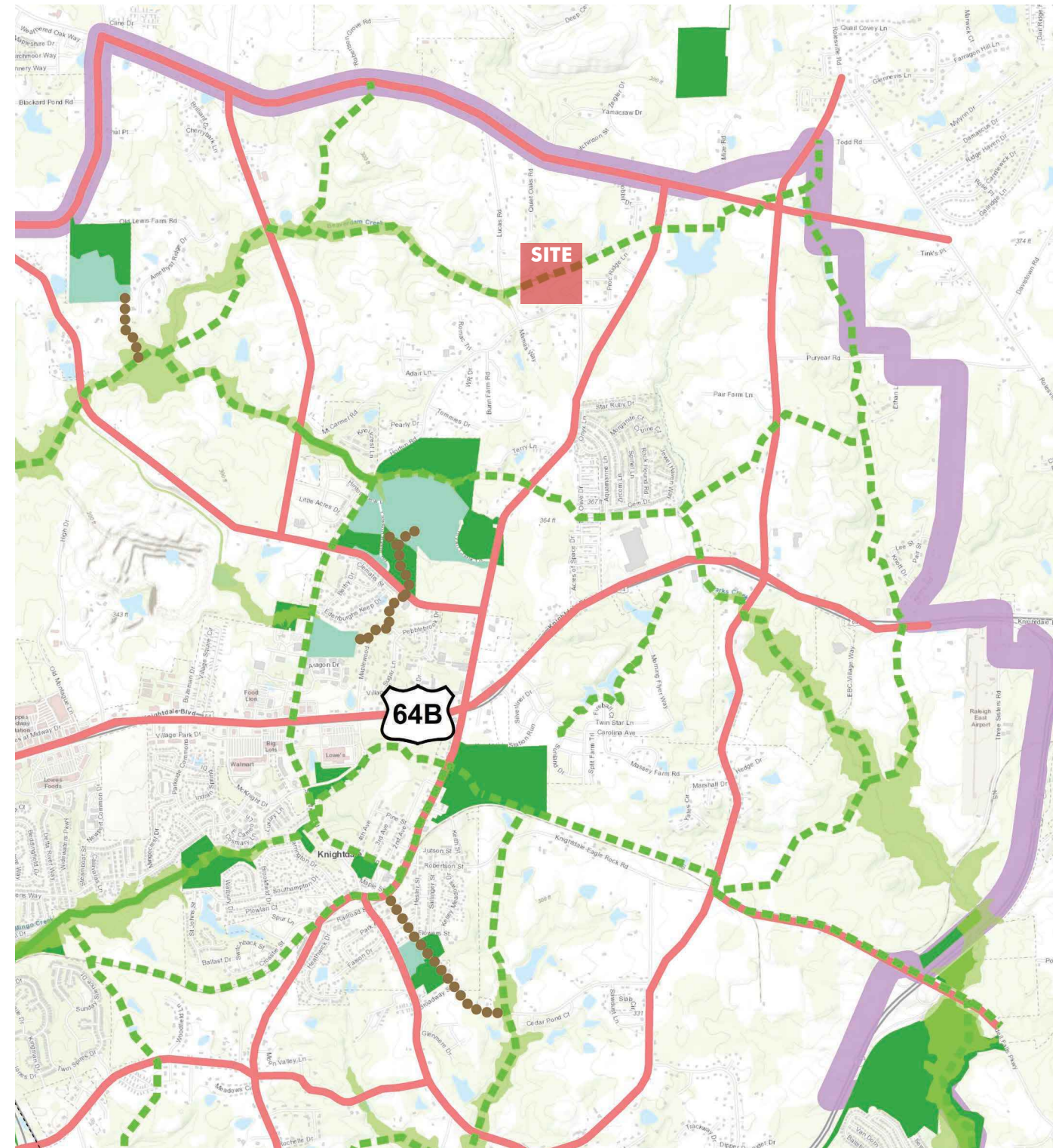


Figure 2: Trails and Greenways Plan from KnightdaleNext2035 Comprehensive Plan

EXISTING CONDITIONS

03

Existing Conditions Summary & Vicinity Map

Legal description per ALTA survey

Parcel 1: All that certain tract or parcel of land lying and being situate in St. Matthews Township, Knightdale, Wake County, North Carolina and being more particularly described as follows:

Beginning at a 3/4" iron pipe found 0.3' above the existing ground, and being a common corner with Lot 68 as shown on book of maps 1985 page 1452 in the Wake County Registry, bearing NC grid coordinates northing 756,364.98' & easting 2,156,999.93', and being known as the point of beginning, thence S 89° 10' 15" E a distance of 1,485.18' to a 3/4" iron pipe, and being a common corner with Lot 13 of Horton Mill Subdivision recorded in book of maps 2005 page 2476;
Thence S 05° 49' 05" W a distance of 1,084.93' to a 3/4" iron pipe, and being a common corner with Lot 6 of the aforementioned Horton Mill Subdivision and Isidoro Gonzales Valazquez as shown in the book of maps 1994 Page 1,073;
Thence S 05° 44' 52" W a distance of 274.00' to a computed point in Horton Road (SR-2231) and lying 30.01' from a 3/4" bent iron pipe;
Thence N 89° 58' 29" W a distance of 1,338.04' to a 1" flat iron bar found 0.8' above the existing ground next to a 5/8" iron pipe covered by a pvc pipe, and being a common corner with tract 2 of book of maps 2020 page 235;
Thence N 00° 23' 57" W a distance of 1,372.93' to the point of beginning, having an area of 1,923,657.89 square feet, 41.61 acres.

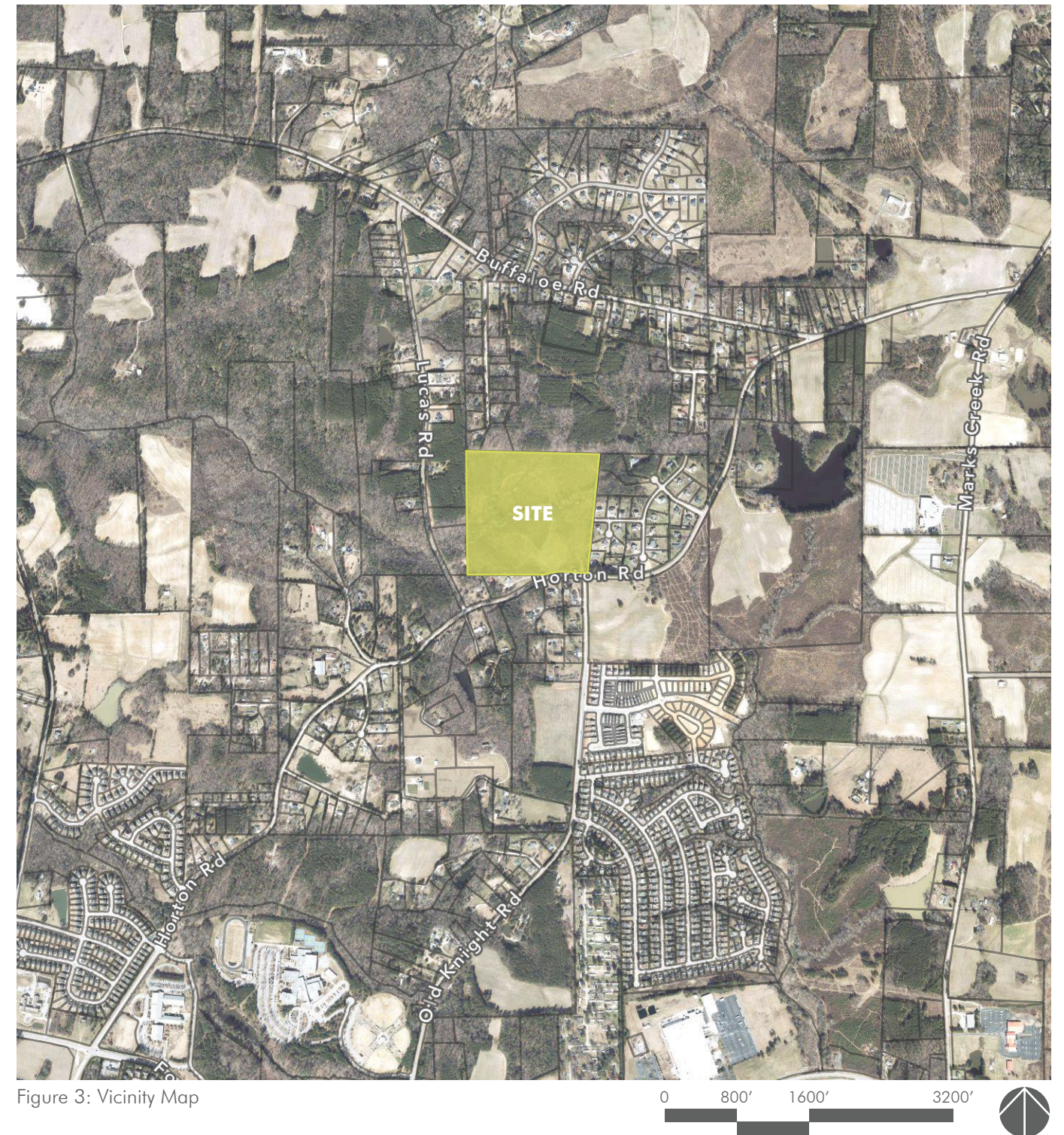


Figure 3: Vicinity Map

Current Zoning Map

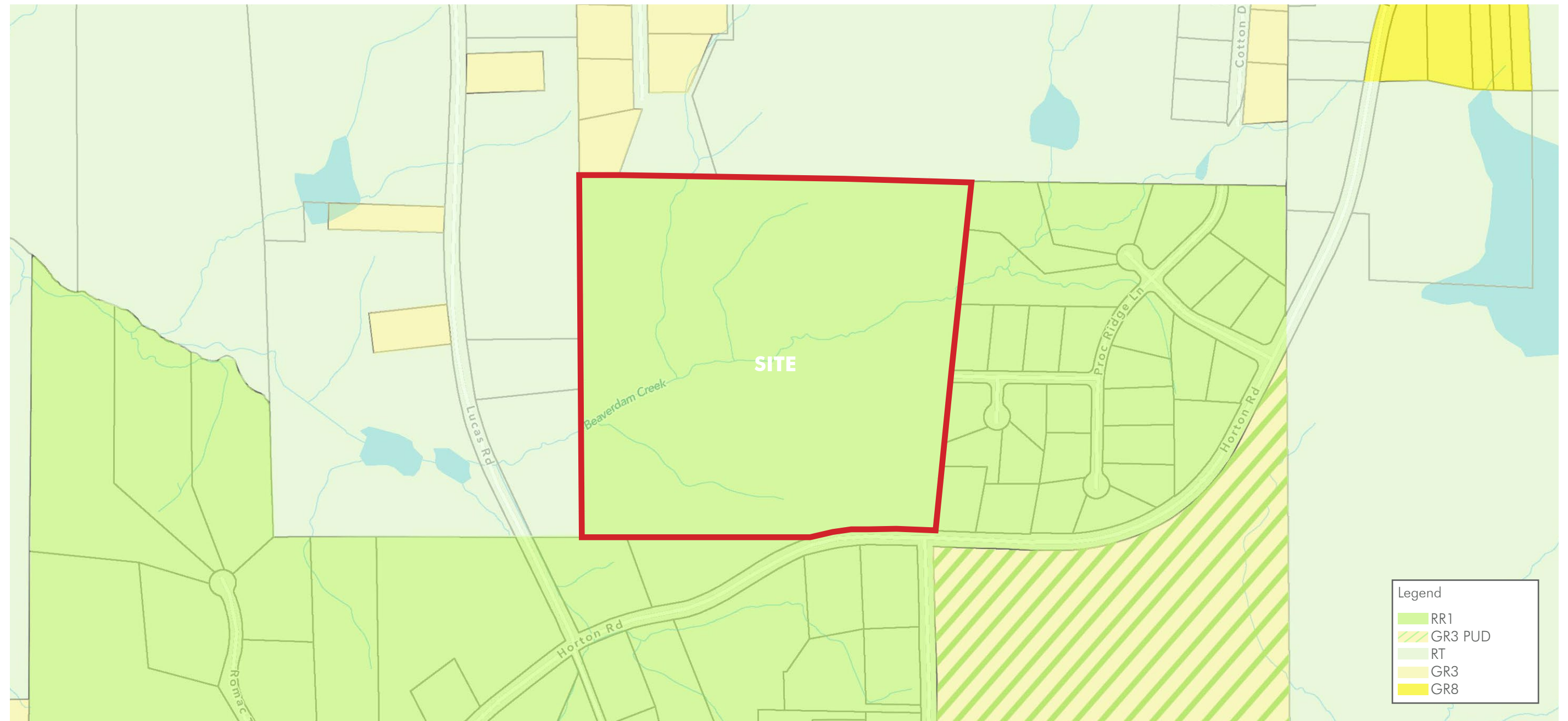


Figure 4: Current Zoning Map

EXISTING CONDITIONS

Topography & Boundary Map

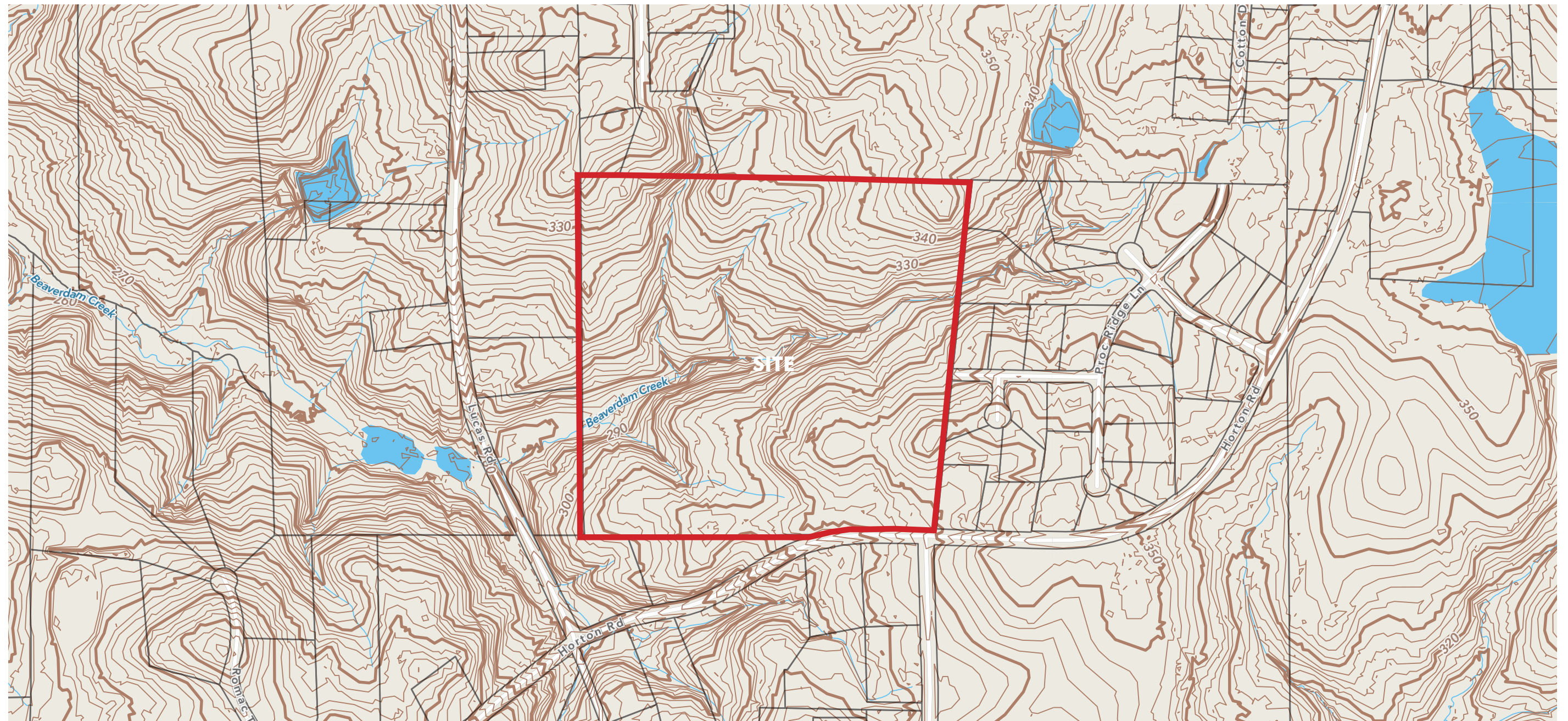


Figure 5: Topography Map



EXISTING CONDITIONS

Vegetation Map



Figure 7: Vegetation Map



EXISTING CONDITIONS

Preliminary Wetland & Stream Map

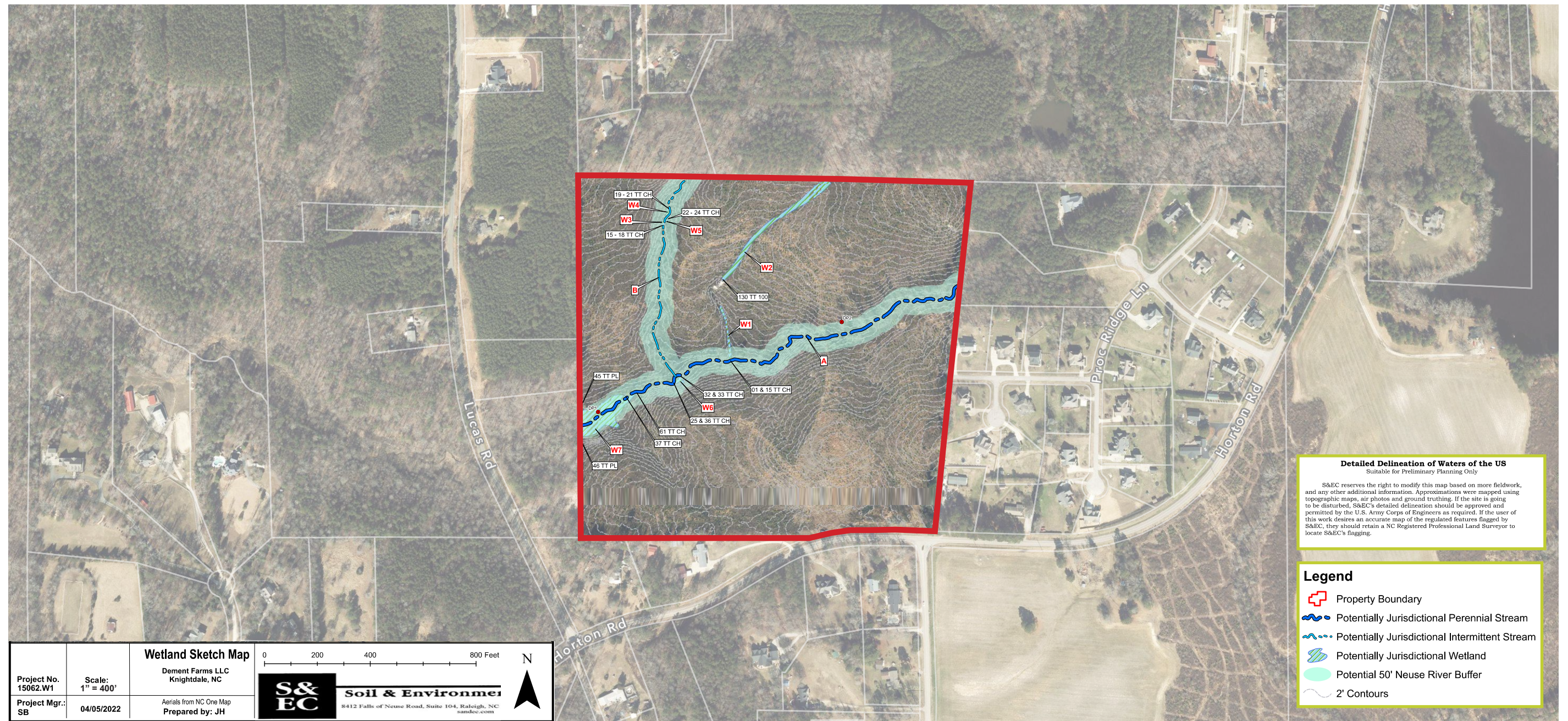


Figure 8: Wetland Delineation Map from S&EC



EXISTING CONDITIONS

MASTER PLAN

04

Weldon Master Plan



SITE DATA	
ACRES:	± 41 AC
PIN:	1755757607
EXISTING ZONING:	RR1
PROPOSED ZONING:	RMX-PUD

DEVELOPMENT SUMMARY	
RESIDENTIAL	± 146 DU TOTAL
LAND AREA:	± 39.5 AC
80' LOT (FRONT LOADED)	± 5 PARCELS
60' LOT (FRONT LOADED)	± 41 PARCELS
32' LOT (REAR LOADED)	± 63 PARCELS
TOWNHOMES	± 37 DU
SINGLE FAMILY PARKING REQUIRED:	± 327 SPACES
PROPOSED:	± 327 SPACES
TOWNHOME PARKING REQUIRED:	± 111 SPACES
PROPOSED:	± 111 SPACES
COMMERCIAL OUTPARCEL	± 1.5 AC
BUILDINGS:	1 BLDG
BLDG HEIGHT:	1- 2 STORIES
PROPOSED COMMERCIAL:	± 15,000 SF
REQUIRED PARKING:	± 51-103 SPACES
PROPOSED PARKING:	± 51 SPACES

- NOTES**
1. THIS PLAN IS CONCEPTUAL IN NATURE AND IS SUBJECT TO CHANGE.
 2. THIS EXHIBIT WAS PREPARED USING AVAILABLE RECORD INFORMATION, GIS MAPS, RECORD PLANS, AERIAL IMAGERY, AND LAND RECORDS.
 3. THIS PLAN WILL BE SUBJECT TO REVIEW AND APPROVAL BY LOCAL AND STATE PLANNING AND ENGINEERING REVIEW AGENCIES.
 4. THE WORK OF THIS PRODUCT IS THE PROPERTY OF URBAN DESIGN PARTNERS, PLLC. NO USE OR REPRODUCTION OF THIS PLAN IS PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM URBAN DESIGN PARTNERS, PLLC.

Figure 9: Weldon Master Plan



INFRASTRUCTURE

05

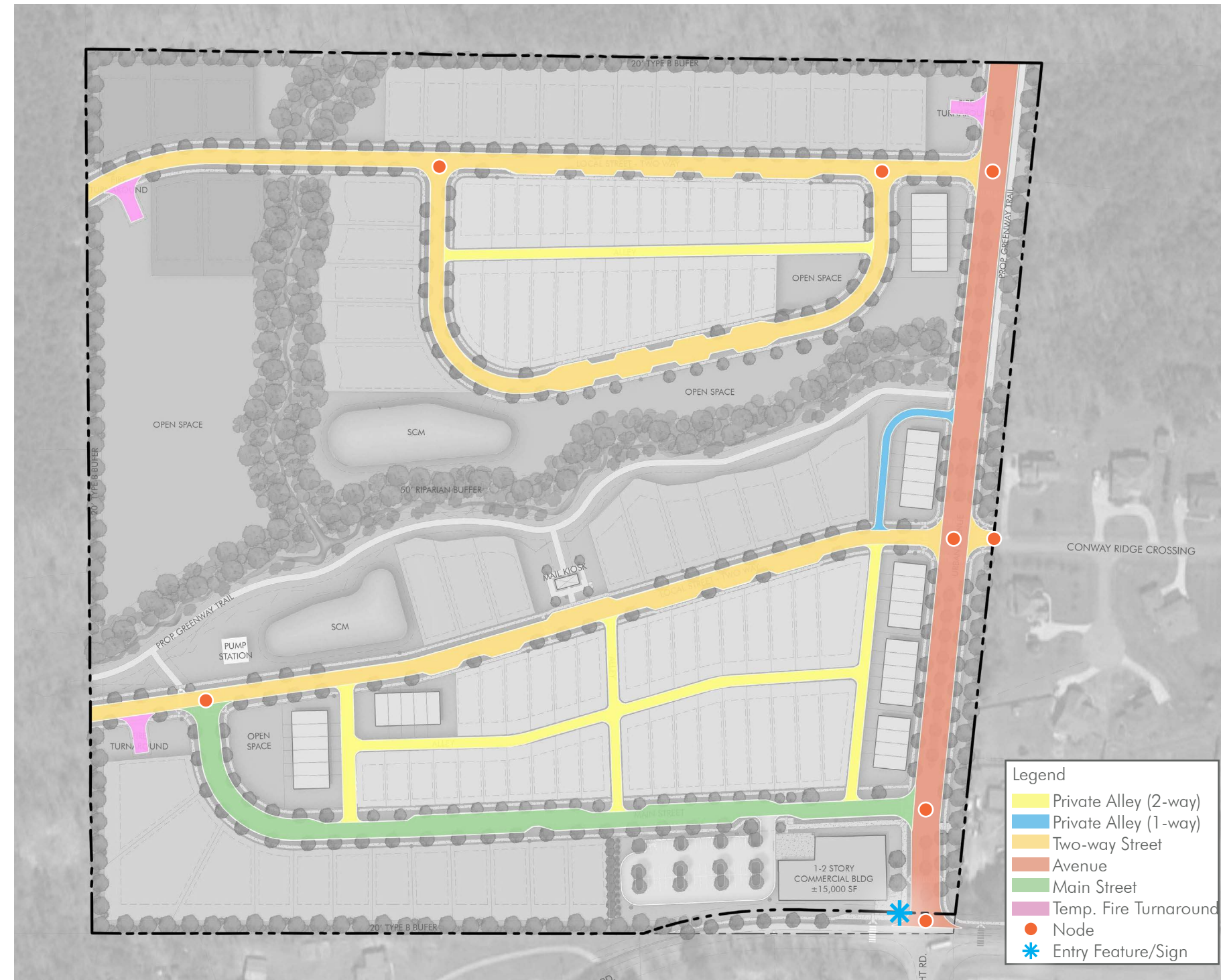


Figure 10: Weldon Street Plan

TOWN OF KNIGHTDALE STREET TYPES

PRIVATE ALLEY

- » RIGHT OF WAY: 20'
- » STREET WIDTH: 12' MIN. - 16' MAX.
- » DESIGN SPEED: 10 MPH

TWO WAY STREET

- » RIGHT OF WAY: 54'
- » STREET WIDTH: 27'
- » DESIGN SPEED: 20 - 25 MPH

AVENUE

- » RIGHT OF WAY: 90'
- » STREET WIDTH: 23.5' ON EITHER SIDE OF 16' MEDIAN
- » DESIGN SPEED: 35 - 45 MPH

MAIN STREET

- » RIGHT OF WAY: 64'
- » STREET WIDTH: 37'
- » DESIGN SPEED: 20 - 25 MPH

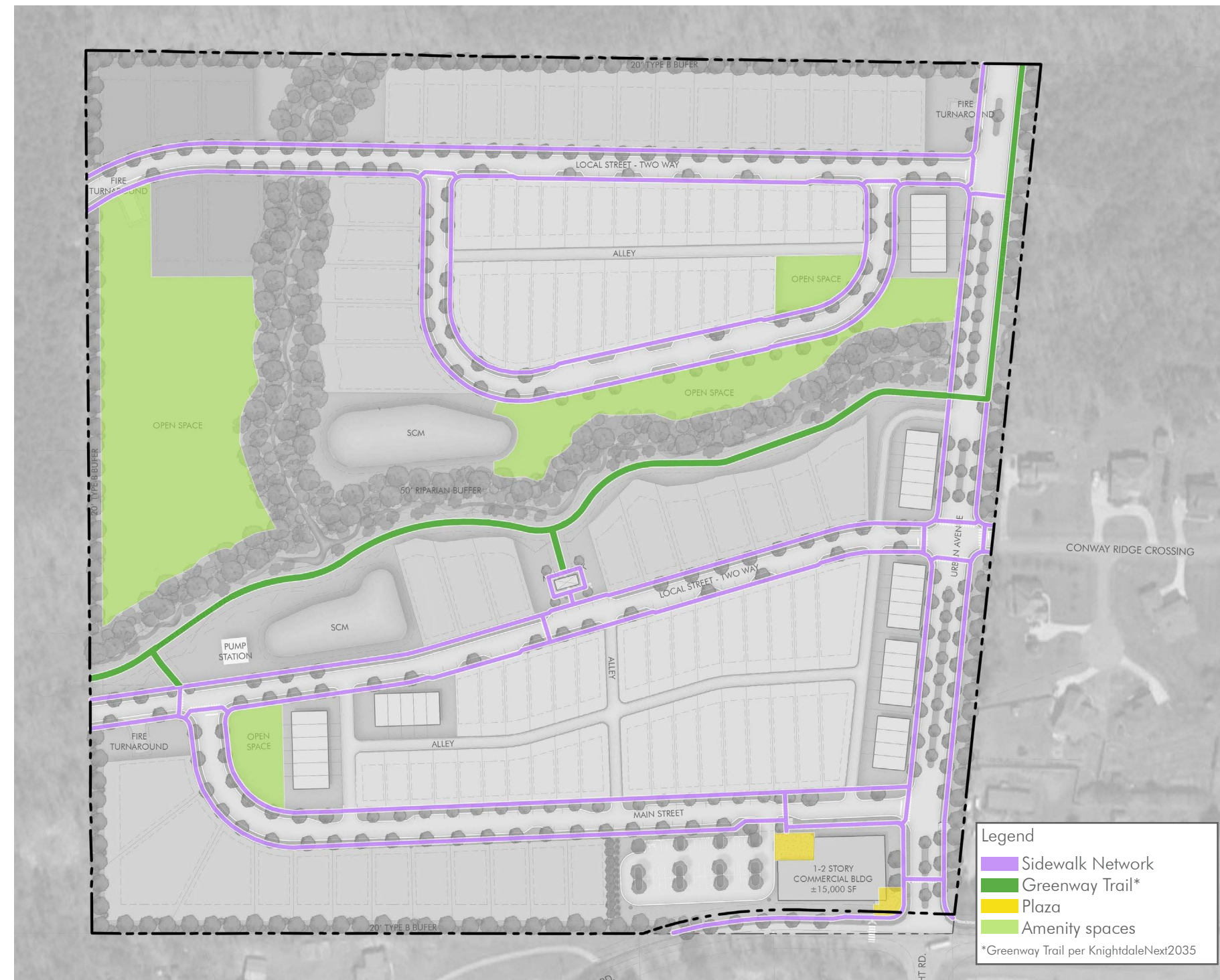
TOWN OF KNIGHTDALE CONNECTIVITY INDEX*

- REQUIRED SCORE: 1.40 MIN.
- PROVIDED SCORE: ± 1.50
- » LINKS: 12 LINKS
- » NODES: 8 NODES

$$\frac{12 \text{ LINKS}}{8 \text{ NODES}} = 1.50 \text{ CONNECTIVITY INDEX SCORE}$$

*Connectivity index is calculated according to Town of Knightdale UDO Sec. 11.3.E.7

Pedestrian Circulation Plan



Weldon is proposing a connected network of amenity spaces and dwelling units through the use of sidewalks, and greenway trails to create a walkable, pedestrian-friendly community as seen in Figure 11.

» The plan shown is preliminary and subject to change at the time of site plan.

PEDESTRIAN CIRCULATION

SIDEWALK NETWORK

- » WIDTH: 5'
- » PROVIDED LENGTH: ± 12,000 LF

GREENWAY TRAIL

- » WIDTH: 10'
- » PROVIDED LENGTH: ± 2,000 LF

PLAZA

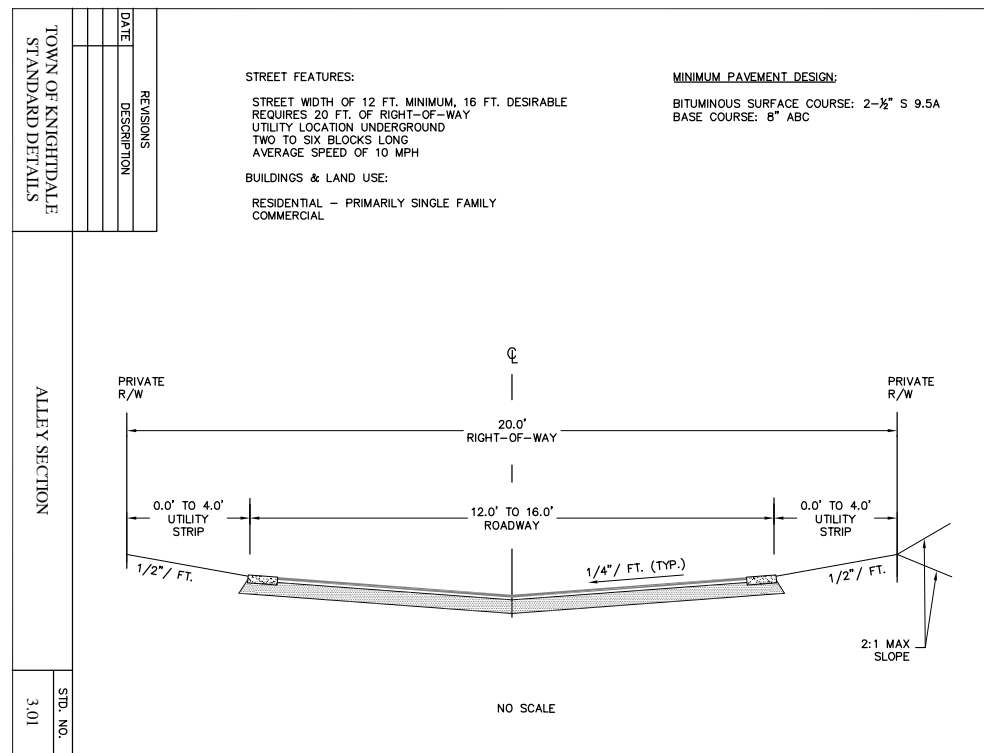
- » PROVIDED SIZE: ± 3,000 SF

AMENITY SPACES

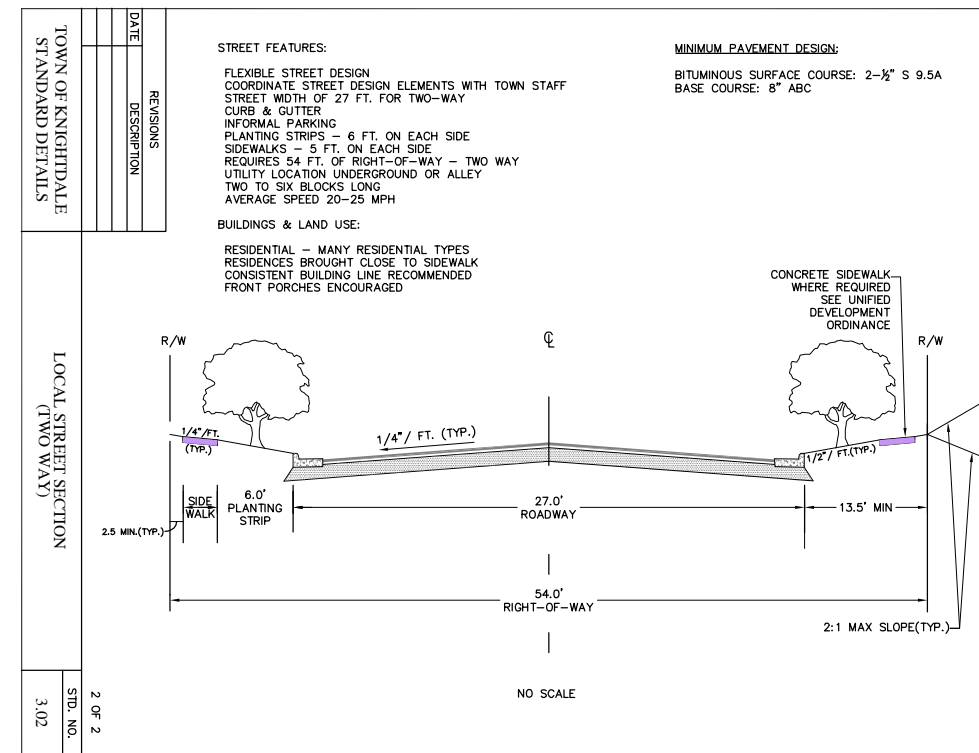
- » SEE OPEN SPACE PLAN

Figure 11: Weldon Pedestrian Circulation Plan

Street Sections

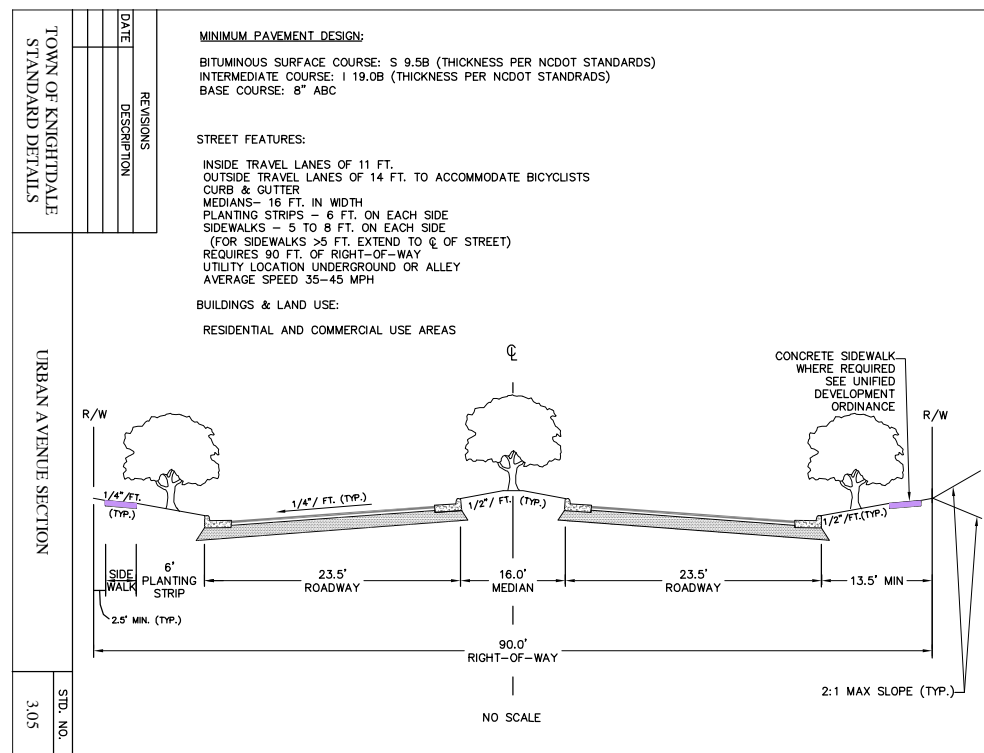


Private Alley

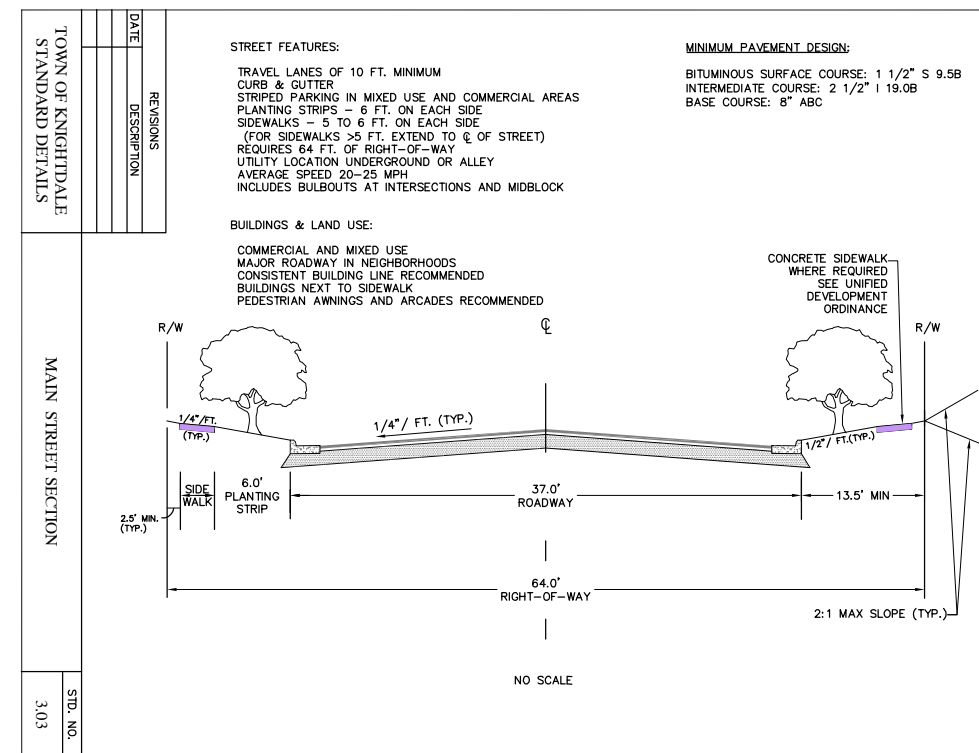


Two-way Street* Sidewalk

*Note: On-street parking utilized. See Zoning Modifications.

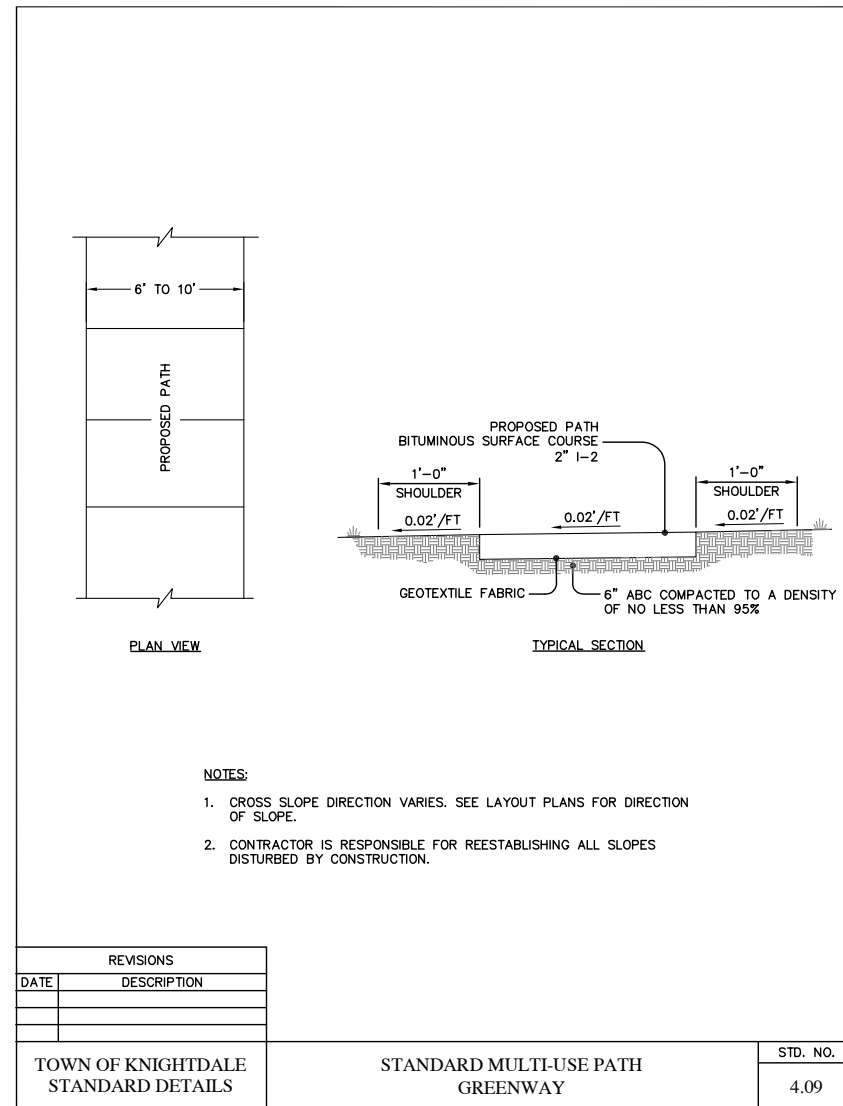


Avenue Sidewalk

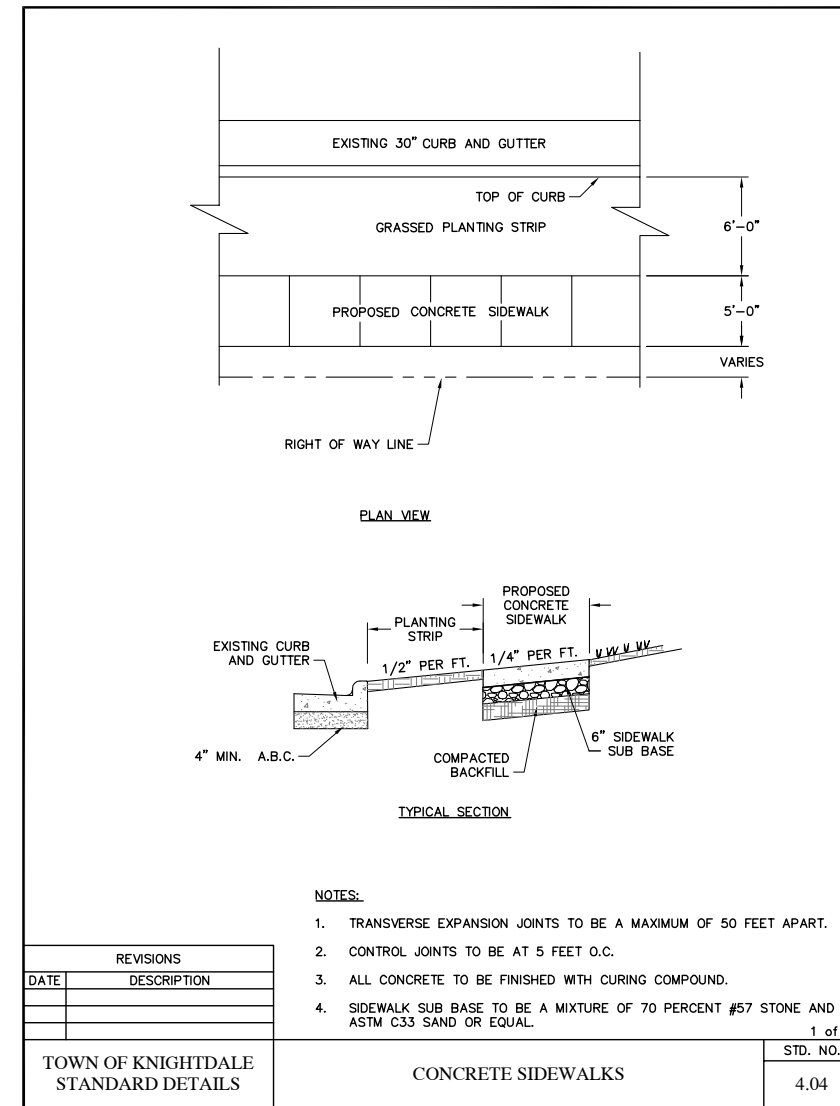


Main Street* Sidewalk

*Note: On-street parking utilized. See Street Features listed in detail above.



Greenway



Sidewalk

Preliminary Stormwater Plan

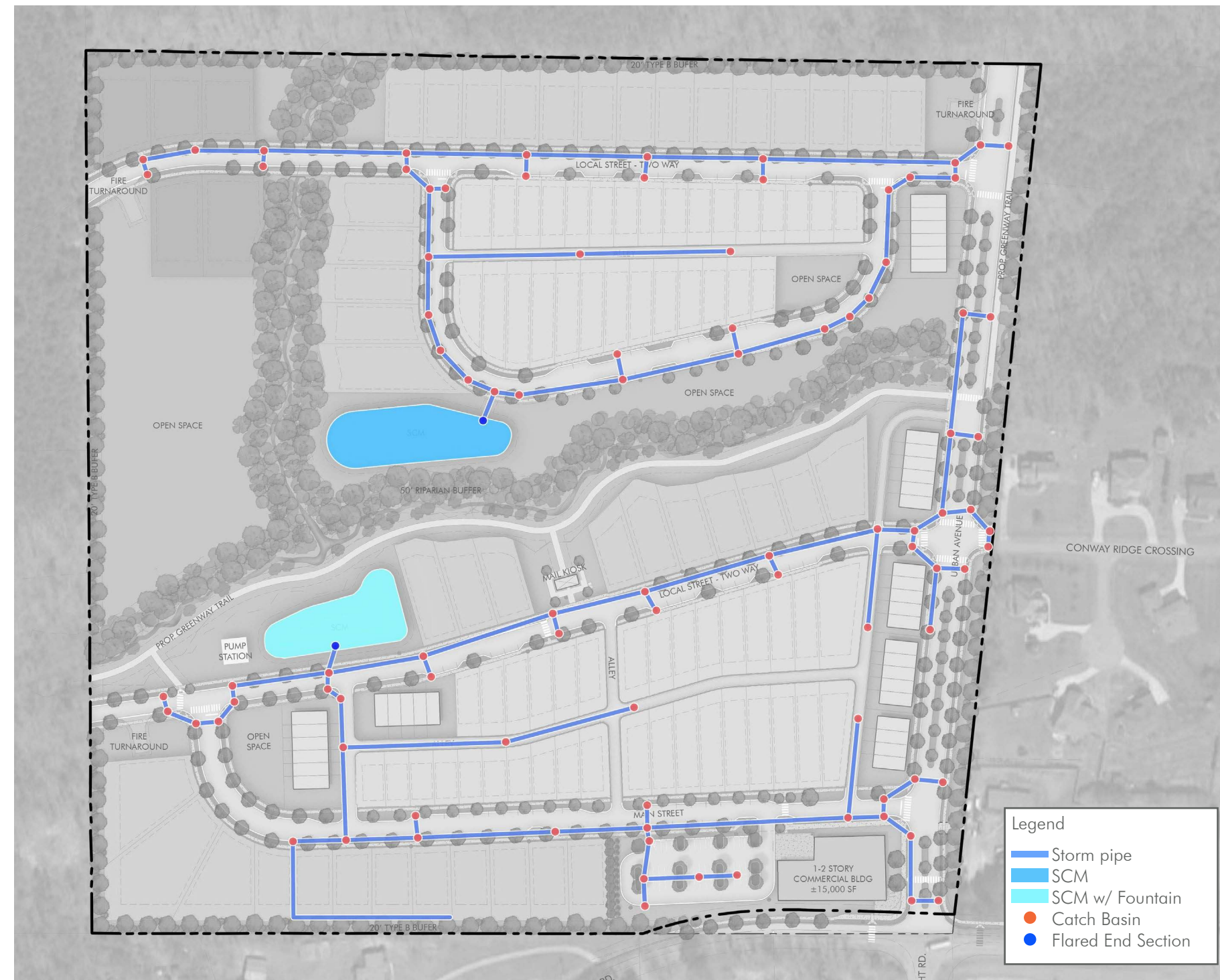


Figure 12: Weldon Preliminary Stormwater Plan

STORMWATER

Weldon proposes two stormwater control measure (SCM) devices throughout the site as seen in Figure 12. All stormwater shall be subject to the stormwater management requirements set forth in Chapter 9 of The Town of Knightdale Unified Development Ordinance. The stormwater treatment shall adhere to guidelines established in the NCDEQ Stormwater Design Manual.

The SCM on the west side of the mail kiosk will have a fountain installed to create a water amenity. See Figure 13 for an example of a pond fountain.

» The plan shown is preliminary and subject to change per direction from Knightdale staff.

INFRASTRUCTURE



Figure 13: SCM fountain example

Preliminary Utility Plan



Figure 14: Weldon Preliminary Utility Plan

WATER & SEWER

Weldon will design all water and sewer to meet the standards of the City of Raleigh. The force main will connect south along Old Knight Road ($\pm 1,665$ LF) at the existing manhole in Haywood Glen Subdivision.

» The plan shown is preliminary and subject to change per direction from City of Raleigh staff.

MAJOR SUBDIVISION	
Major Subdivision base points	15 pts.
Residential architectural standards	15 pts.
Construct more than 2,000 LF of a 10' wide path	2 pts.
Construct a fountain within the BMP	4 pts.
Deck/Patio (3,000 sf)	3 pts.
Provision of on-street public parking	4 pts.
IPEMA certified playground equipment	4 pts.
Outdoor display of public art	4 pts.
Dog Park	4 pts.
TOTAL MIN. REQUIRED	50 pts.

Note: Any combination of features listed above can be used to meet the 50 point minimum requirement.

SINGLE USE RETAIL	
Single use retail base points	41 pts.
Outdoor display of public art	4 pts.
Deck/patio (3,000 sf)	3 pts.
Provision of on-street public parking	4 pts.
TOTAL MIN. REQUIRED	50 pts.

Note: Any combination of features listed above can be used to meet the 50 point minimum requirement.

TIA Recommendation

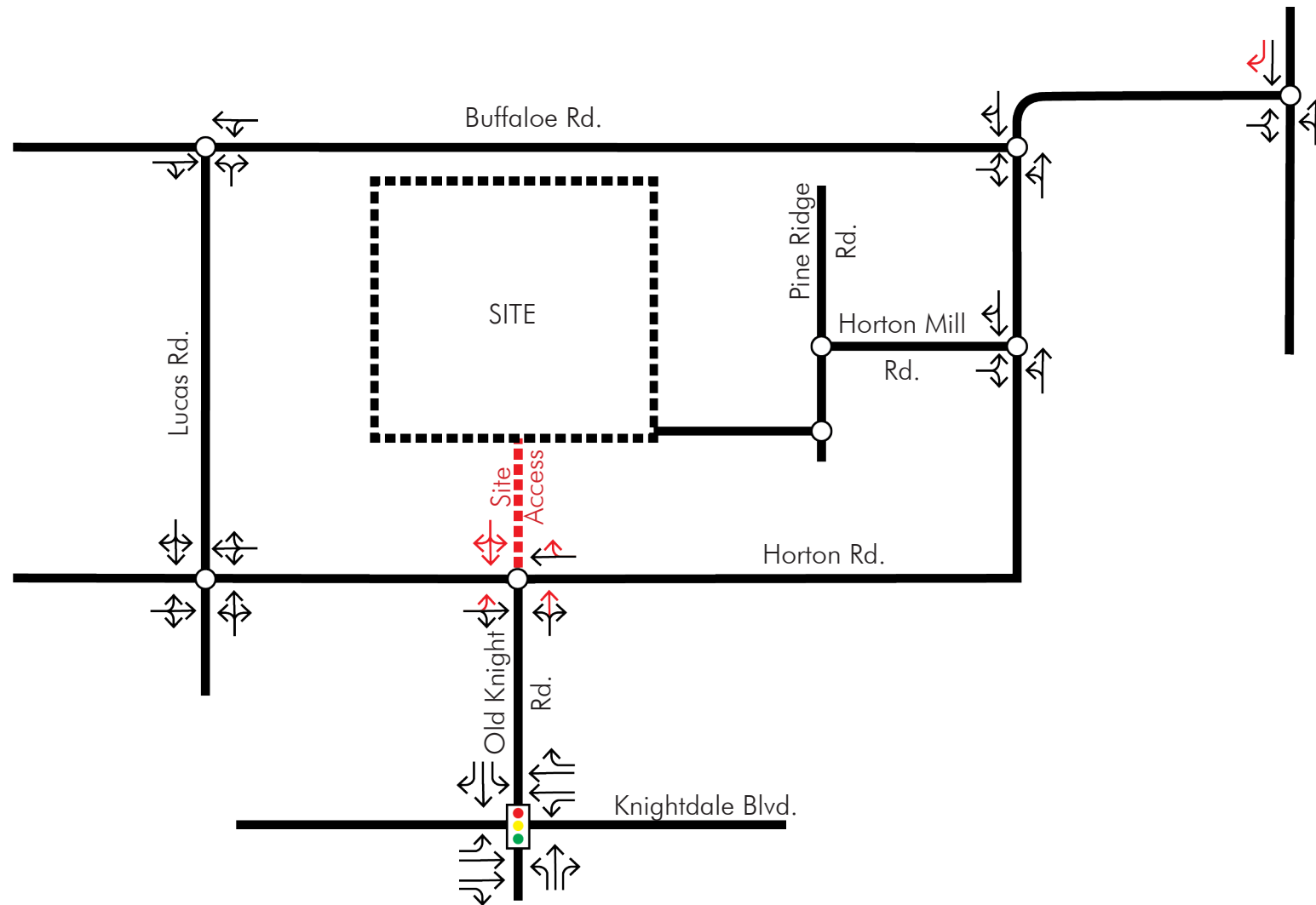
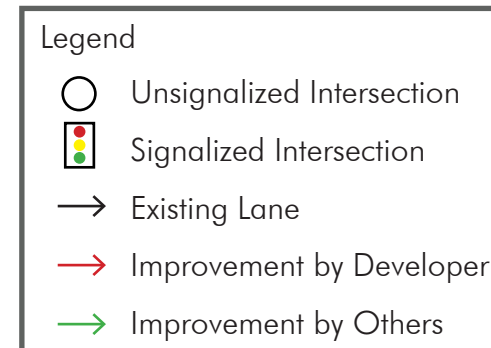


Figure 15: Weldon Village Recommended Lane Configurations from TIA prepared by Ramey Kemp & Associates

TIA Summary

The Weldon development is expected to generate approximately 2,091 total site trips on the roadway network during a typical 24-hour weekday period. Impacts caused by the proposed site were analyzed 1 year after build out and 10 years after build out. The existing infrastructure is expected to accommodate site trips at the majority of the intersections and a majority of the growth over the next 10 years. Improvements have been identified to be completed by the developer to mitigate the site traffic.

See TIA prepared by Ramey Kemp & Associates for more information.



AMENITIES

06

Site Programming



Weldon will provide a variety of amenities to promote a healthy lifestyle, opportunities to enjoy the outdoors, and foster a sense of community. The site is proposing a connected network of ± 10 acres of open space and recreational amenities.

The proposed amenities are as follows:

- **10' Greenway Trail ($\pm 2,000$ LF)**
 - » The Greenway Trail aligns with The Town of Knightdale 2035 Comprehensive Plan (KnightdaleNext) that proposes a greenway running through the site.
- **Village Green**
 - » The Village Green will be a large open green space that can be used for a variety of activities by the community.
- **Playground**
 - » The playground will be located in one of the active open space areas and will be centrally located in the community.
- **Dog Park**
 - » The playground will be located in one of the active open space areas and will provide a place for residents to let their dogs run.
- **Pond Fountain**
 - » The pond fountain will amenitize the stormwater pond located in the center of the site.
- **Neighborhood Serving Commercial**
 - » The commercial outparcel will be low-intensity, and will meet the needs of nearby residents.



Open Space Plan



Figure 16: Weldon Open Space Plan

Weldon provides both active and passive recreation areas throughout the development. All recreation spaces are located in places that are accessible to all residents of the community. The addition of approximately 2,000 linear feet of greenway trail creates additional connection opportunities between all of the provided open spaces.

RECREATIONAL OPEN SPACE STANDARDS*

PROXIMITY ZONE:	All outside 1/2 mile distance
TOTAL BEDS :	475 beds
» SINGLE FAM. DETACHED:	(109 DU) x (3.5 beds) = 382 beds
» SINGLE FAM. ATTACHED:	(37 DU) x (2.5 beds) = 93 beds
DEDICATION RATE:	520 sf
» SINGLE FAM. DETACHED:	(382 beds) x (520 sf) = 198,640 sf
» SINGLE FAM. ATTACHED:	(93 beds) x (520 sf) = 48,360 sf
REQ. OPEN SPACE:	± 247,000 sf (5.67 ac)
» REQ. ACTIVE SPACE (50%):	± 123,500 sf (2.84 ac) MIN.
» REQ. PASSIVE SPACE (50%):	± 123,500 sf (2.84 ac) MIN.
PROP. OPEN SPACE:	± 11.41 ac total (28%)
» PROP. ACTIVE SPACE:	± 5.50 ac (2.66 ac over req.)
» PROP. PASSIVE SPACE:	± 5.91 ac (3.07 ac over req.)

* Open space is calculated according to Town of Knightdale UDO Sec. 11.2.c.

LANDSCAPE

07

Preliminary Landscape Plan



Figure 17: Weldon Preliminary Landscape Plan

Weldon will design all landscape areas according to the Knightdale Unified Development Ordinance. The site is surrounded by a 20' Type B Buffer yard as required in Section 7.4.1.1. of the UDO. The preliminary plan only shows typical buffer plantings and street tree plantings as seen in Figure 17. The riparian buffer will consist of tree preservation to maintain the natural qualities of the site. The greenway trail will be added in the stream buffer per the table in Section 7.4.H.1. of the UDO.

- » The plan shown is preliminary and subject to change per direction from Town of Knightdale staff.
- » More detailed landscape plans with planting details and species list will be provided at the time of site plan and are subject to review from Town of Knightdale Staff.
- » Location and amounts of trees are conceptual in nature and subject to change.

Landscape Buffer

The perimeter of Weldon consists of a Type B Buffer Yard per Town of Knightdale Unified Development Ordinance Chapter 7. Figure 18 shows a typical 100' section of the Type B buffer for Weldon.

TYPE B BUFFER YARD STANDARDS (UDO Sec. 7.4.1.3)

Minimum width: 20'

Minimum landscape height/opacity:

- » Ground to 6' Semi-opaque screen
- » 6' - 30' Intermittent visual obstruction

Maximum landscape horizontal openings:

- » 5' Semi-opaque screen
- » 20' Intermittent visual obstruction

Required plantings:

- » Canopy Trees 3 per 100 linear feet
- » Understory Trees 5 per 100 linear feet
- » Shrubs 20 per 100 linear feet
- » Evergreen vs. deciduous
 - Canopy trees: A minimum of 40% / maximum 60% must be evergreen
 - Understory trees: A minimum of 40% / maximum 60% must be evergreen
 - Shrubs: At least 80% must be evergreen

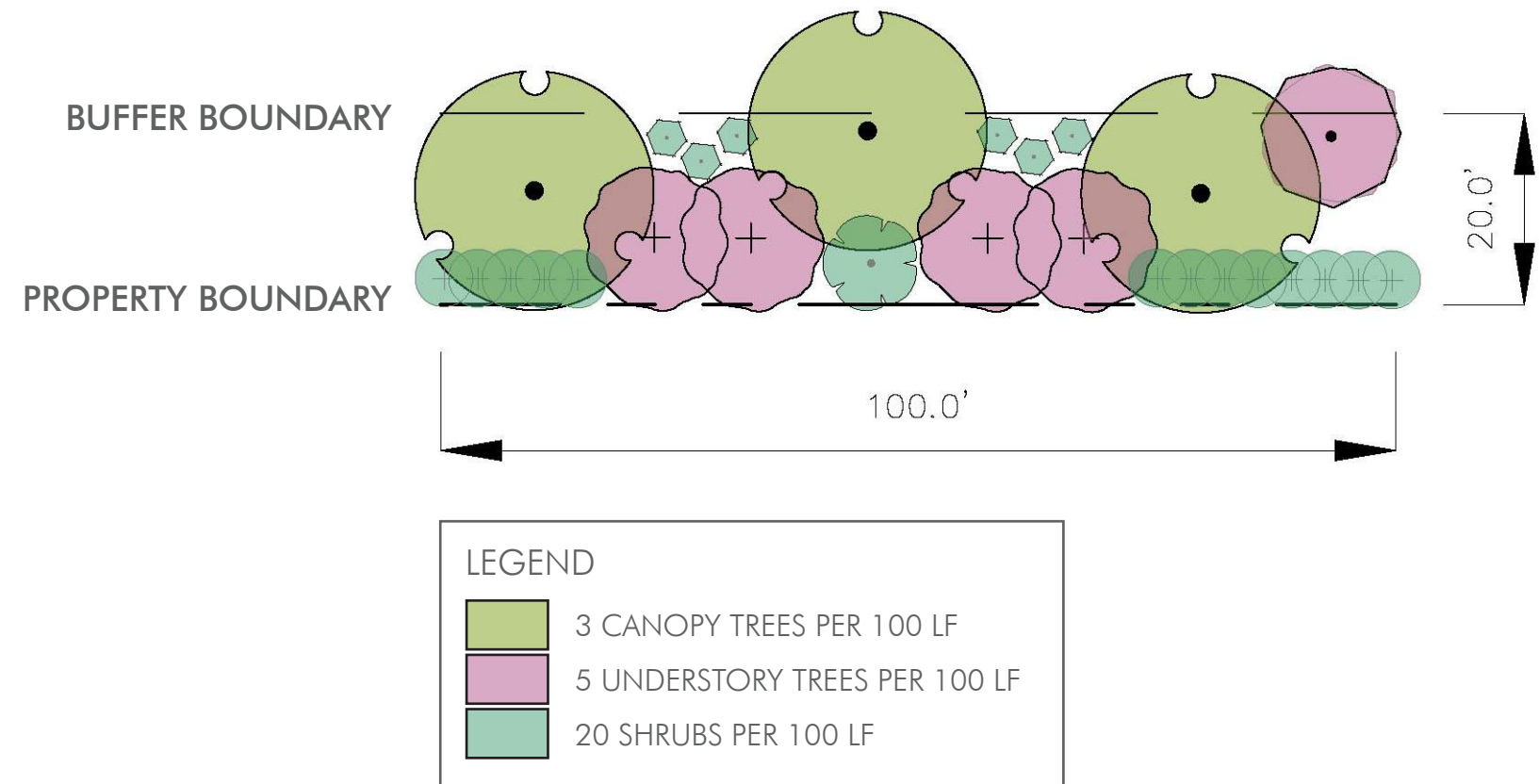


Figure 18: Landscape Buffer

ARCHITECTURAL DESIGN STANDARDS

08

Architectural Elevations - Single Family Detached



Note: Elevations shown are conceptual in nature and subject to change. See page 36 for list of architectural standards.

Architectural Elevations - Single Family Attached (Townhomes)



Note: Elevations shown are conceptual in nature and subject to change. See page 36 for list of architectural standards.



Architectural Design Standards

1. Single-family 2 story homes built on lots at least 60-feet wide will have a minimum heated area of 2,000 square feet.
2. Single-family 1 or 1.5 story homes built on lots at least 60-feet wide will have a minimum heated area of 1,600 square feet.
3. Single-family detached homes built on lots less than 60-feet wide will have a minimum heated area of 1,600 square feet.
4. All single-family homes with crawl spaces will be wrapped in brick or stone on all sides.
5. All single-family homes with stem wall or slab foundations will provide a minimum of 2 stair risers (14 inches) above finished grade on the front-facing street elevation of the homes. All sides will be wrapped in either brick or stone.
6. All single-family homes and townhomes will have a combination of two or more of the following materials on the front façade (not counting foundation): stone, brick, lap siding, fiber cement siding, shakes or board and batten. The exterior siding material on the side and rear facades, except for interior townhome units, will be fiber cement. When two materials are used, the materials shall be different but complementary colors. Vinyl may be used only for window trim, shutters, soffits, fascia, and/or corner boards.
7. All homes will be limited to two stories and will provide for a variety of elevations. Units of the same elevation shall not be side by side. Exterior color schemes will not be repeated side by side.
8. All single-family homes will have a front porch with a minimum depth of five feet which may encroach up to 6-feet in the front setback. Front porch posts will be at least 6" x 6" in size.
9. Main roof pitches (excluding porches) fronting the street for single-family homes and townhomes will be at least 6:12.
10. Garages will not protrude more than 6 feet from the front porch or stoop, and all garage doors shall contain decorative hardware and window inserts.
11. For every 30 feet (or fraction) of continuous side elevation (calculated on a per floor basis), there shall be one window or door added to the side elevations. Any siding break on the side of the home such as fireplace, side porch, wall offsets, etc. may be used as an alternate to windows.
12. There shall be a minimum 12" overhang on every gable end for single-family homes.
13. All homes will include architectural style shingles.

Architectural Design Standards - Commercial Outparcel



Use Standards: The proposed use standards will restrict certain uses otherwise permitted in the RMX zoning district. This will encourage more neighborhood oriented and small businesses to better serve residents.

Businesses with operating hours of 24 hours per day are not permitted.

The following principal uses shall be the only allowable uses, and shall be permitted by-right:

1. Child/Adult Day Care Center (6 or more people)
2. Personal Services
3. Professional Services
4. Medical Services
5. Neighborhood Retail/Restaurant (2,000 sf or less)
6. Allowed RMX district accessory uses
7. Bar/Tavern/Microbrewery

ZONING MODIFICATIONS

09

The proposed zoning for Weldon is RMX-PUD. Weldon meets all standards set forth in the Town of Knightdale's Unified Development Ordinance with the exception of a few conditions. Due to site constraints, the applicant is requesting the following zoning modifications:

Bulk and Dimensional Standards (UDO Sec. 3.4)

- » Lot width (street loaded)
 - In the RMX base district, the minimum required lot width for a street loaded lot is 80'.
 - In order to create a variety of housing types and a more walkable community, we are proposing single family detached street loaded lots with lot widths of 60' and 80'.
- » Lot width (alley loaded)
 - In the RMX base district, the minimum required lot width for an alley loaded lot is 30'.
 - In order to provide a variety of housing types and a more walkable community, we are proposing alley loaded single family detached lots with a width of 32', and townhome lots with widths of either 20' or 25'. The end townhomes will have a 25' lots, and the interior townhomes will have 20' lots. The alley loaded single family detached and attached options create a pedestrian friendly streetscape for the community.
- » Driveway length
 - In the RMX base district, the minimum required driveway length is 35' for a residential lot.
 - For all housing types in Weldon Village, we are proposing a minimum driveway length of 20' for both street loaded and alley loaded.

Standard Street Sections (Town of Knightdale Standard Details)

- » Local Street Section - Two Way
 - The standard detail calls for a 54.0' right-of-way, and allows for informal parking.
 - Weldon Village is proposing on-street parking along sections of road where there are no residential driveways.

NEIGHBORHOOD MEETING

10

Meeting Information



Figure 19: Knightdale Recreation Center Vicinity Map (Not to scale)

A neighborhood meeting was held on September 27, 2022 at 6:00 pm at the Knightdale Recreation Center in Knightdale. See Figure 19 for a map of the meeting location. There were ten neighbors in attendance, along with a member of the development team, three members of the design team, and one Senior Planner from the Town of Knightdale.

Date of meeting:	Tuesday Sept. 27, 2022
Time of meeting:	6:00 pm EST
Meeting address:	Knightdale Recreation Center 102 Lawson Ridge Rd. Knightdale, NC 27545
Developer:	
» DRB Group:	Jay Colvin, Director of Land Acquisition
Design consultants:	
» Urban Design Partners:	Brian Richards, PLA Lexi Chacalos
» Ramey Kemp Associates:	Caroline Cheeves, PE
Town of Knightdale:	Kevin Lewis, Senior Planner, AICP, CZO

Neighborhood Meeting Questions

At the neighborhood meeting for Weldon, the neighbors had questions about streets, traffic, proposed amenities, the site buffer, proposed utilities, the proposed commercial outparcel, and architectural standards. Their questions are as follows:

Streets/Traffic

- » One neighbor asked if there were any proposed improvements to Horton Rd because they are concerned about existing traffic in area.
 - Traffic engineer said there are no current plans to update Horton Rd. They are in the middle of conducting the TIA for the proposed development.
- » Neighbor directly adjacent to proposed street connection at Conway Ridge Crossing is concerned that the proposed connection is too close to their existing driveway.
 - Applicant & Traffic Engineer noted that they are required to make the connection at that stub, and that there would be site distance triangles in place at the proposed intersection for safety as they exit their driveway.
- » The neighbors in the Horton Mill subdivision raised a concern that their roads are crumbling and in need of maintenance/repair. Their roads are owned by a private HOA, and they are unable to get the owner to make repairs.
 - Applicant & Traffic Engineer stated that the residents would need to contact a Land Use Attorney and annex into the Town of Knightdale to turn their roads into public roads. The developer gave them contact information for a land use attorney.
- » A neighbor asked where the construction entrance would be for Weldon. They did not want the construction entrance to be through the Horton Mill neighborhood.
 - The developer said that the construction entrance would be off Horton Rd. They will put a barricade at the Conway Ridge Crossing connection during construction. The barricade would be removed once dwelling units are being occupied in Weldon.
- » A neighbor asked if there will be a traffic light at the intersection of Horton Road and Old Knight Road.
 - The Traffic Engineer said that previous TIA documents have not recommended a signalized intersection at that location. They are currently in the middle of their TIA report and if they determine that the proposed traffic will be bad, they will recommend a traffic light.
- » A neighbor asked if Knightdale will be maintaining the roads in Weldon.
 - The Senior Planner confirmed that Knightdale maintains the roads that are annexed into Knightdale. Because Weldon is annexed into Knightdale, they would be maintaining the proposed public roads. The alleys would be maintained by the HOA.

Amenities

- » A neighbor asked if the proposed community amenities would be for Weldon residents only.
 - Developer stated that the Greenway trail is public, and they will not be installing key fob entry at the proposed playground.
- » The neighbor who lives adjacent to Weldon on the west asked if the Greenway Trail would be extending onto their property. They do not want to see any people on their property.
 - The Senior Planner & Applicant said that the proposed Greenway Trail location is dictated in the Knightdale Comprehensive Plan. The proposed trail would dead end at the Weldon property line and would not extend into the adjacent property.

Site Buffer

- » Two neighbors asked if we would be putting a fence or wall around Weldon.
 - Applicant stated that there would not be a fence, but there would be a 20' landscaped buffer around the property.
- » A neighbor asked about the types and heights of plants that would be installed in the buffer. They do not want anything that will negatively affect their existing tree cover.
 - Applicant explained that the plants would be of varying species an size to create an opaque buffer for adjacent properties. The selected plants would not be invasive species, and that the buffer would be maintained by the HOA.

Proposed Utilities

- » A neighbor asked if Weldon would be on well & septic.
 - The applicant said that Weldon would be on City of Raleigh sewer and water.
- » In a follow up question, the neighbor asked if the site will be pumping sewer to Horton Rd.
 - Applicant stated that site will have pump station & lift station to get sewer to the gravity line that exists on Horton Rd.

Commercial Outparcel

- » A neighbor asked what type of business would be occupying the commercial out parcel in the SE corner of Weldon.
 - The developer stated that they aren't commercial developers, but that the Town of Knightdale's Comprehensive Plan calls for a neighborhood use. It would not be a high traffic use, and would be mainly for the benefit of the surrounding neighborhood.

Neighborhood Meeting Questions (Continued)

Architectural Standards

- » A neighbor asked who the builder will be for Weldon.
 - Developer answered that DRB is the builder and developer for the site.

- » One neighbor asked about the spacing between the single family detached houses and if they would be comparable to the Wendell Falls development.
 - The developer answered that the spacing will be greater than the spacing that exists in the Wendell Falls development.

- » The same neighbor also asked if there was a reason that the proposed townhomes were along the side of the development that they live beside.
 - The developer answered that the townhomes front along the proposed Avenue street type. Having townhomes that front the avenue creates better street appeal and a more walkable neighborhood. The location of the town homes also creates a transition into the neighborhood from the commercial out parcel.

- » A neighbor who could not attend, but submitted questions via email asked about the type of homes that will be provided in Weldon.
 - The applicant replied that it will consist of single family detached houses of multiple sizes, and townhomes.

Miscellaneous

- » A neighbor asked if Weldon will be a much higher density than its current zoning of RR1.
 - The applicant responded that the RMX base zoning can allow up to 18 dwelling units per acre, but the proposed Weldon layout is only \pm 3.8 dwelling units per acre. RMX also allows for a variety of housing options. The plan is providing a variety of housing types that allows for more community open space.

- » A neighbor asked for the size of Weldon.
 - Applicant responded that Weldon is \pm 41 acres total.

Attendance Sheet

Neighborhood Meeting Attendance Sheet	
Project Name:	Weldon
Date of Meeting:	9/27/2022
Time:	6:00 PM
Location:	Knightdale Recreation Center (Room name: Cabin)

Additional Information
Existing zoning: RR1 Proposed zoning: RMX-PUD

Attendee Information		
Name (Printed)	Address	Email Address
PAULA Underwood	311001 Conway Ridge Xing	Sigmegirl176@yahoo.com
JIM Wells	9005 Conway Ridge Xing	jwells2004@mindspring.com
Donna Wells	"	dwells07@mindspring.com
Warner	1704 Proc Ridge Ln	mawarner5752@gmail.com
ANNIE LOGAN	1628 Quiet Oaks Rd.	annie-logan@att.net
Kevin Lewis	950 Steeple Square Ct	Kevin.Lewis@knightdalenc.gov
Patricia L. Johnson	1532 Lucas Rd	hppj1850@aol.com
Robert Lanya	1513 Lucas Rd	kpanilanya@yahoo.com
ERNEST LOGAN JR	1628 Quiet Oaks Rd	bigelj@aol.com
*Tara Johnson	1404 Lucas Rd.	

*Note: Tara Johnson called the development team ahead of the meeting with her questions and comments because she was unable to attend the neighborhood meeting. Her comments/questions have been added to the previous pages.

