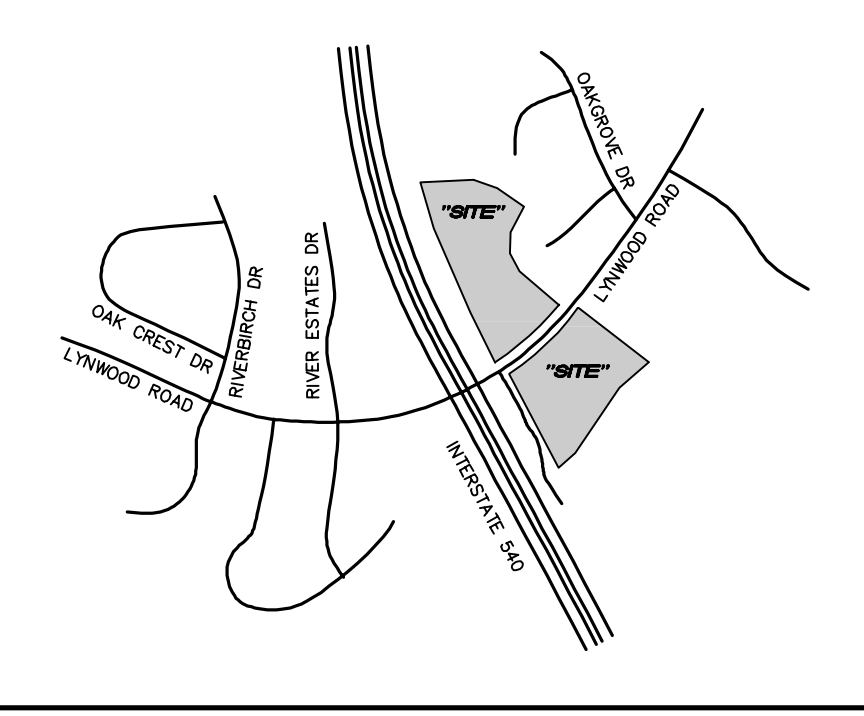
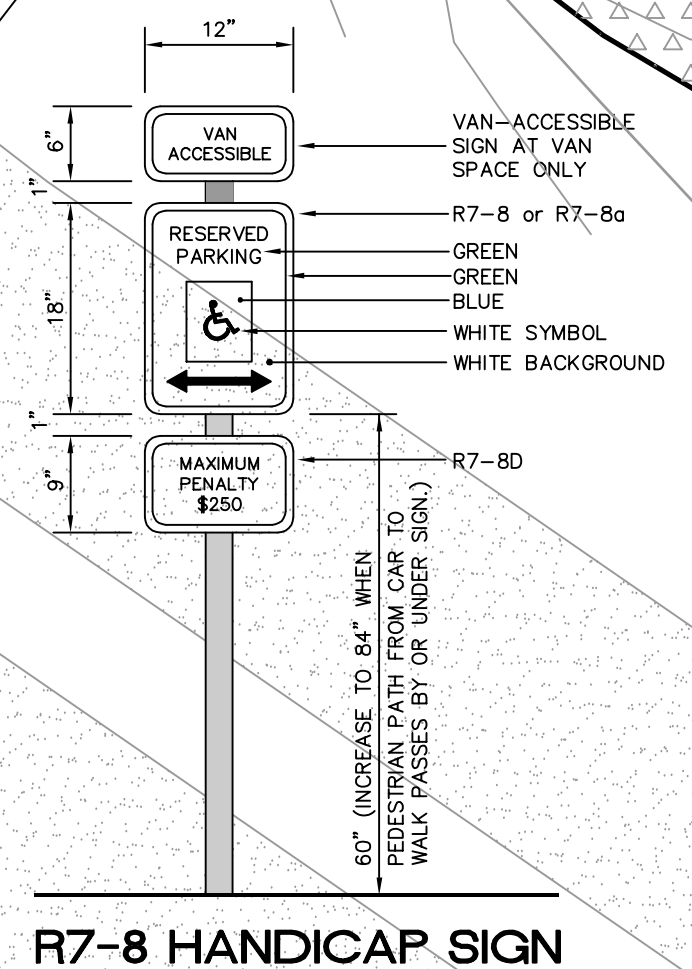
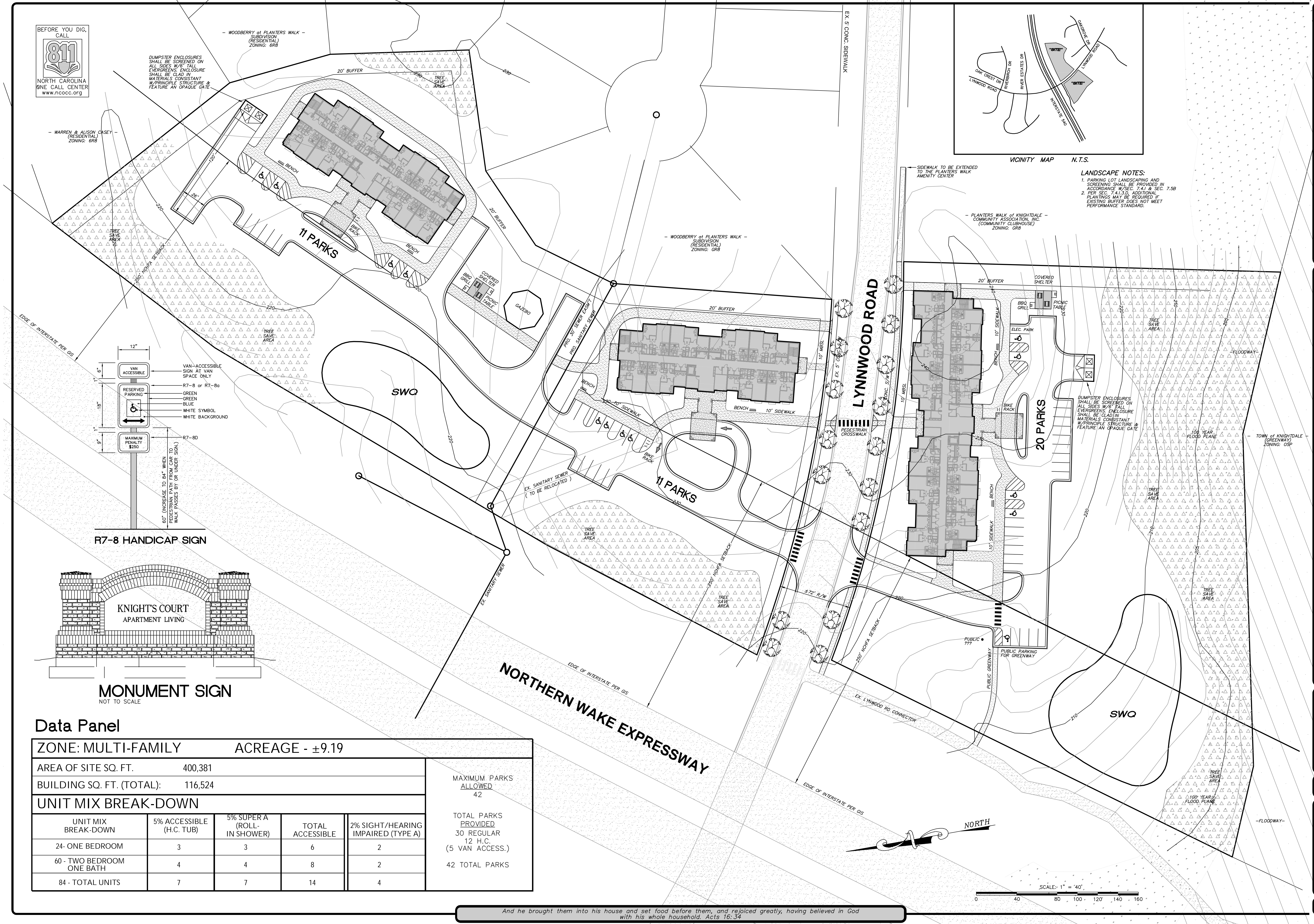


DUMPSTER ENCLOSURES SHALL BE SCREENED ON ALL SIDES W/ 8' TALL EVERGREENS. ENCLOSURE SHALL BE CLAD IN MATERIALS CONSISTANT W/ PRINCIPLE STRUCTURE & FEATURE AN OPAQUE GATE.



LANDSCAPE NOTES:
 1. PARKING LOT LANDSCAPING AND SCREENING SHALL BE PROVIDED IN ACCORDANCE W/ SEC. 7.4.1 & SEC. 7.5B
 2. PER SEC. 7.4.1.3.D, ADDITIONAL PLANTINGS MAY BE REQUIRED IF EXISTING BUFFER DOES NOT MEET PERFORMANCE STANDARD.



R7-8 HANDICAP SIGN



MONUMENT SIGN
NOT TO SCALE

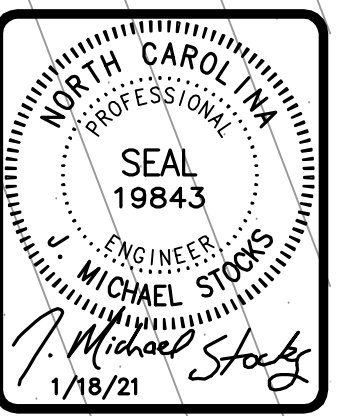
Data Panel

ZONE: MULTI-FAMILY		ACREAGE - ±9.19		
AREA OF SITE SQ. FT.	400,381			
BUILDING SQ. FT. (TOTAL):	116,524			
UNIT MIX BREAK-DOWN				
UNIT MIX BREAK-DOWN	5% ACCESSIBLE (H.C. TUB)	5% SUPERA (ROLL-IN SHOWER)	TOTAL ACCESSIBLE	2% SIGHT/HEARING IMPAIRED (TYPE A)
24 - ONE BEDROOM	3	3	6	2
60 - TWO BEDROOM ONE BATH	4	4	8	2
84 - TOTAL UNITS	7	7	14	4
		MAXIMUM PARKS ALLOWED 42		
		TOTAL PARKS PROVIDED 30 REGULAR 12 H.C. (5 VAN ACCESS.) 42 TOTAL PARKS		

STOCKS ENGINEERING
 P.O. BOX 108
 801 EAST WASHINGTON STREET
 NASHVILLE, N.C. 27559
 PHONE: (252) 459-8198
 WWW.STOCKSENGINEERING.COM

BLN-C-1874

KNIGHT'S COURT - LYNNWOOD ROAD
 KNIGHTDALE, NORTH CAROLINA



PRELIMINARY PLAN

REVISIONS	
3/21/22	REVIEW COMITY

FILE NO. 2021-117
 HORZ. SCALE: 1"=40'
 VERT. SCALE: NONE

SKETCH

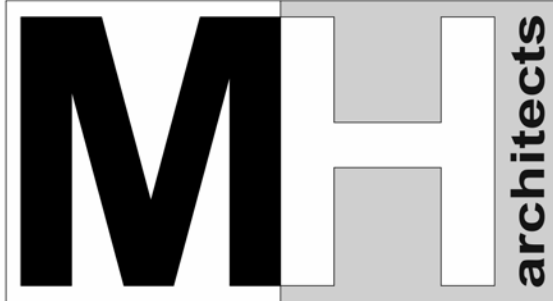
And he brought them into his house and set food before them, and rejoiced greatly, having believed in God with his whole household. Acts 16:34

NCHFA LIHTC SUBMITTAL
2022 QUALIFIED ALLOCATION PLAN (QAP)

KNIGHT'S COURT

SENIOR APARTMENTS

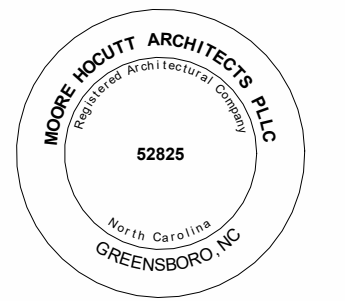
LYNNWOOD ROAD
KNIGHTDALE, NC 27545



MOORE HOCUTT

3300 BATTLEGROUND AVE.
SUITE 306
GREENSBORO, NC 27410
336.897.0305
www.mharchitects.us

Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.



**FOR
REVIEW**



BUILDING TYPE "I"



BUILDING TYPE "II"

DEVELOPER
BEACON MANAGEMENT CORPORATION

REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By -
 Checked By JRH
 Date 03/11/22
 Project No. MHA-P21-17

NOT FOR CONSTRUCTION
03/11/22

TITLE

COVER SHEET

G100

C:\Users\mhooc\OneDrive\Documents\REVIT LOCAL
 PROJECT FILES\NCHFA - CENTRAL MODEL
 2_MHArchitects.rvt
 3/11/2022 8:22:26 AM

CIVIL

STOCKS ENGINEERING
801 EAST WASHINGTON ST.
NASHVILLE, NC 27856
252.459.8196
kvarnell@stocksenineering.com

LANDSCAPE

STOCKS ENGINEERING
801 EAST WASHINGTON ST.
NASHVILLE, NC 27856
252.459.8196
kvarnell@stocksenineering.com

ARCHITECTURAL

MOORE HOCUTT ARCHITECTS, PLLC
3300 BATTLEGROUND AVE.
SUITE 306
GREENSBORO, NC 27410
336.897.0305
mmoore@mharchitects.us

STRUCTURAL

DR J ENGINEERING, LLC
6300 ENTERPRISE LANE
MADISON, WI 53719
608.310.6715
ehemueller@drjengineering.org

STRUCTURAL

TENDON SYSTEMS, LLC
7340 MCGINNIS FERRY RD
SUITE 100
SUWANEE, GA 30024
678.934.0961
kbontreger@tendonllc.com

PLUMBING

EFINCIA ENGINEERING, PC
603-A EASTCHESTER DR.
HIGH POINT, NC 27282
336.886.0081
eric.dickinson@efincia.net

MECHANICAL

EFINCIA ENGINEERING, PC
603-A EASTCHESTER DR.
HIGH POINT, NC 27282
336.886.0081
eric.dickinson@efincia.net

ELECTRICAL

EFINCIA ENGINEERING, PC
603-A EASTCHESTER DR.
HIGH POINT, NC 27282
336.886.0081
eric.dickinson@efincia.net

DRAWING SHEET INDEX

GENERAL

SHEET	SHEET NAME
G100	COVER SHEET
G101	DRAWING INDEX
G107	PROJECT DATA
G108	ARCHITECTURAL INFORMATION
G109	ACCESSIBILITY INFORMATION

CIVIL

SHEET	SHEET NAME
SKETCH	PRELIMINARY PLAN

LIFE SAFETY

SHEET	SHEET NAME
-------	------------

ARCHITECTURAL

SHEET	SHEET NAME
A102	FLOOR PLAN - LEVEL 1 (BUILDING TYPE "I")
A103	FLOOR PLAN - LEVEL 2 (BUILDING TYPE "I")
A104	FLOOR PLAN - LEVEL 3 (BUILDING TYPE "I")
A107	FLOOR PLAN - LEVEL 1 (BUILDING TYPE "II")
A108	FLOOR PLAN - LEVEL 2 (BUILDING TYPE "II")
A109	FLOOR PLAN - LEVEL 3 (BUILDING TYPE "II")
A112	FLOOR PLAN LEVEL 1 (BUILDING III)
A113	FLOOR PLAN LEVEL 2 (BUILDING III)
A114	FLOOR PLAN LEVEL 3 (BUILDING III)
A201	ENLARGED UNITS
A202	ENLARGED UNITS
A301	EXTERIOR ELEVATIONS (BUILDING TYPE "I")
A302	EXTERIOR ELEVATIONS (BUILDING TYPE "I")
A303	EXTERIOR ELEVATIONS (BUILDING TYPE "II")
A304	EXTERIOR ELEVATIONS (BUILDING TYPE "II")

STRUCTURAL

SHEET	SHEET NAME
-------	------------

PLUMBING

SHEET	SHEET NAME
-------	------------

MECHANICAL

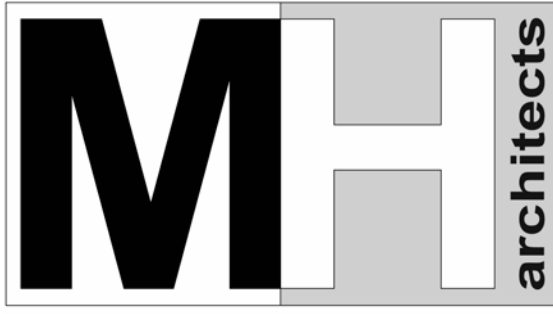
SHEET	SHEET NAME
-------	------------

ELECTRICAL

SHEET	SHEET NAME
-------	------------

FIRE ALARM

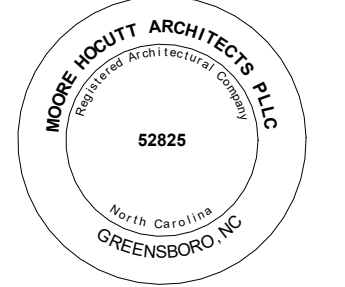
SHEET	SHEET NAME
-------	------------



MOORE HOCUTT

3300 BATTLEGROUND AVE.
SUITE 306
GREENSBORO, NC 27410
P 336.897.0305
www.mharchitects.us

Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.



**FOR
REVIEW**

**KNIGHT'S COURT
SENIOR APARTMENTS**

LYNNWOOD ROAD
KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By -
 Checked By JRH
 Date 03/11/22
 Project No. MHA-P21-17

DRAWING INDEX

NOT FOR CONSTRUCTION
03/11/22

G101

ABBREVIATIONS

SYMBOL DENOTES ABBREVIATION IN TEXT OR KEYNOTES. SOME ABBREVIATIONS MAY NOT APPLY TO THIS PROJECT.

Table with 10 columns: ABBR, DESCRIPTION, ABBR, DESCRIPTION, ABBR, DESCRIPTION, ABBR, DESCRIPTION, ABBR, DESCRIPTION. Lists various construction abbreviations and their meanings.

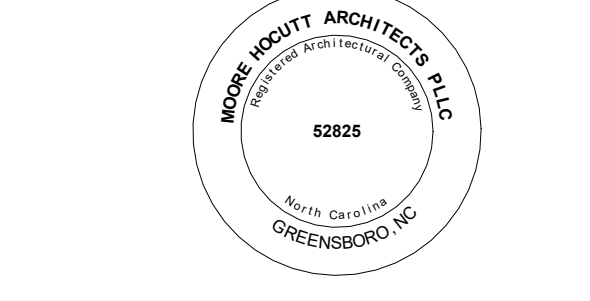
GENERAL CONSTRUCTION NOTES

- 1. THE CONTRACTOR SHALL VISIT THE PROJECT SITE TO REVIEW THE SCOPE OF WORK...
2. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY...
3. INSTALL ALL EQUIPMENT AND MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED...
4. ALL WORK PERFORMED AND MATERIAL INSTALLED SHALL BE IN STRICT ACCORDANCE AS A MINIMUM STANDARD WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTION...
5. SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES WITH U.L. LISTED OR F.M. APPROVED MATERIALS.
6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT ALL WORK, USING HIS BEST SKILL AND ATTENTION...
7. DETAILS ARE INTENDED TO SHOW END RESULT OR DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS...
8. CONTRACTOR SHALL PERFORM HIGH QUALITY PROFESSIONAL WORK. JOIN MATERIALS TO UNIFORM ACCURATE FITS...
9. CONTRACTOR SHALL PROVIDE AT THE JOBSITE A FULL SET OF CONSTRUCTION DOCUMENTS ANNOTATED WITH THE LATEST REVISIONS...
10. THE DRAWINGS AND GENERAL NOTES ARE COMPLIMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE BINDING AS IF CALLED FOR BY ALL...
11. THE ARCHITECT HAS MADE EVERY EFFORT TO SET FORTH IN THE CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK...
12. SHOP DRAWINGS SHALL BE ORIGINAL DRAWINGS, PREPARED BY THE CONTRACTOR, SUBCONTRACTOR SUPPLIER, OR DISTRIBUTOR...
13. SHOP DRAWINGS SHALL CONTAIN THE CONTRACTOR'S STAMP CERTIFYING: (A) HIS REVIEW PRIOR TO SUBMITTAL AND, (B) VERIFICATION OF PRODUCTS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA...

MH architects logo and address: MOORE HOCUTT, 3300 BATTLEGROUND AVE., SUITE 306, GREENSBORO, NC 27410, P 336.897.0305, www.mharchitects.us

Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service...

WEAVERCOOKE logo



FOR REVIEW

KNIGHT'S COURT SENIOR APARTMENTS

LYNNWOOD ROAD, KNIGHTDALE, NC 27545

Table with 3 columns: No., Description, Date. Header row: Revisions. Below it are several empty rows for tracking changes.

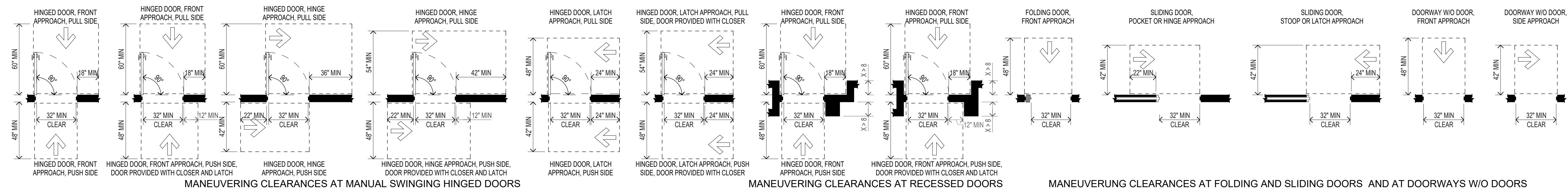
Form for project information: Designed By: MLM, Drawn By: - , Checked By: JRH, Date: 03/11/22, Project No.: MHA-P21-17

ARCHITECTURAL INFORMATION

G108

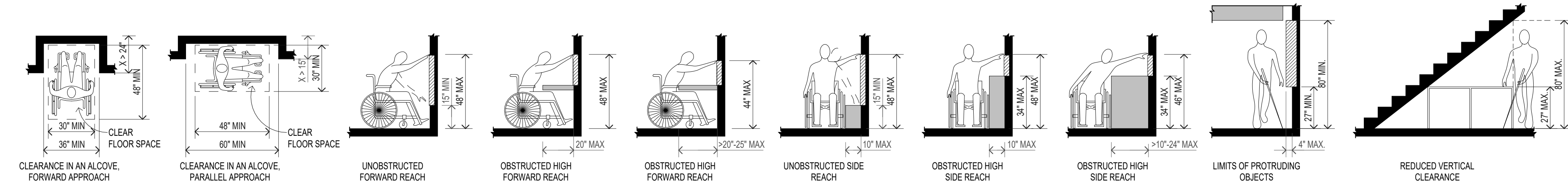
NOT FOR CONSTRUCTION

03/11/22



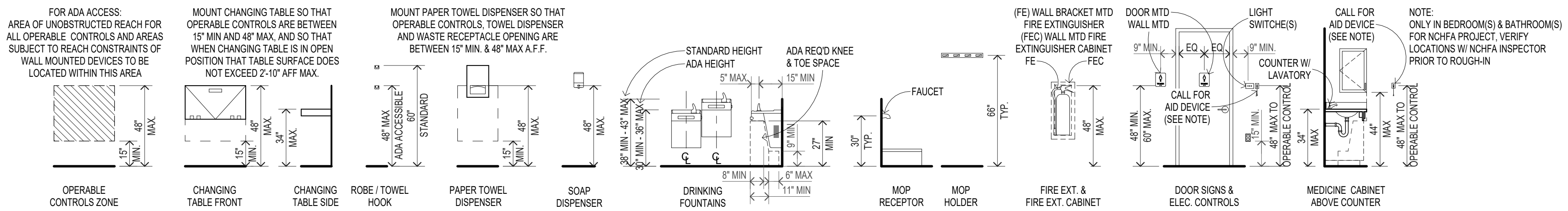
ACCESSIBLE ROUTES

NOT TO SCALE



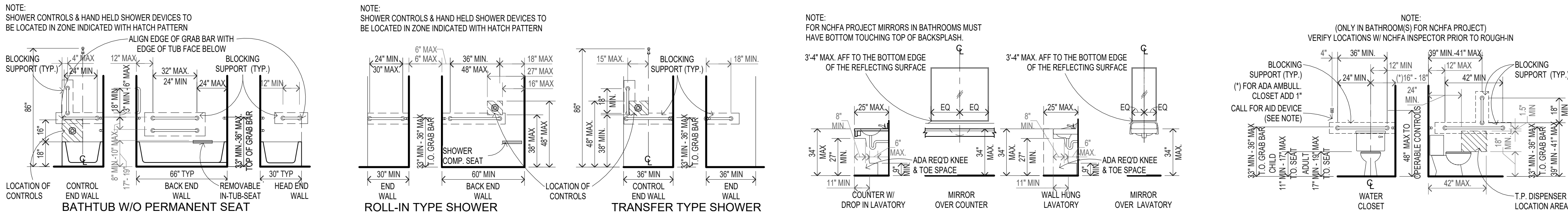
MANEUVERING SPACE & REACH RANGES

NOT TO SCALE



MOUNTING HEIGHTS TYP.

NOT TO SCALE

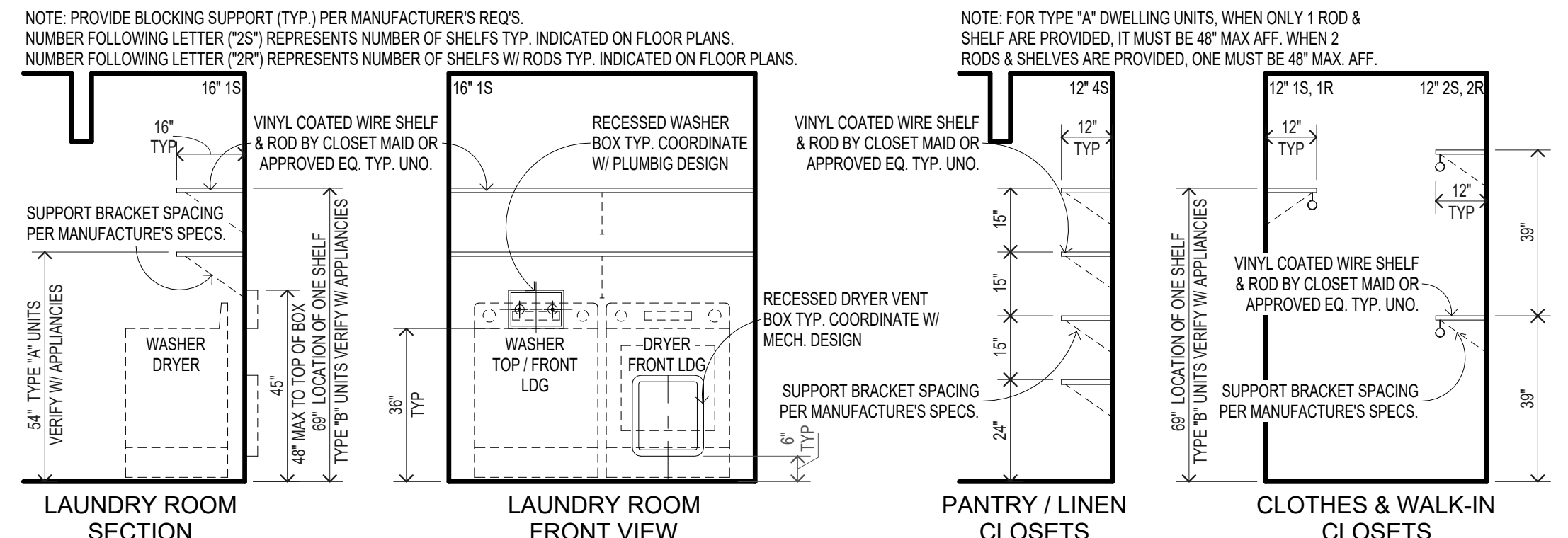


BATHTUB TYP.

NOT TO SCALE

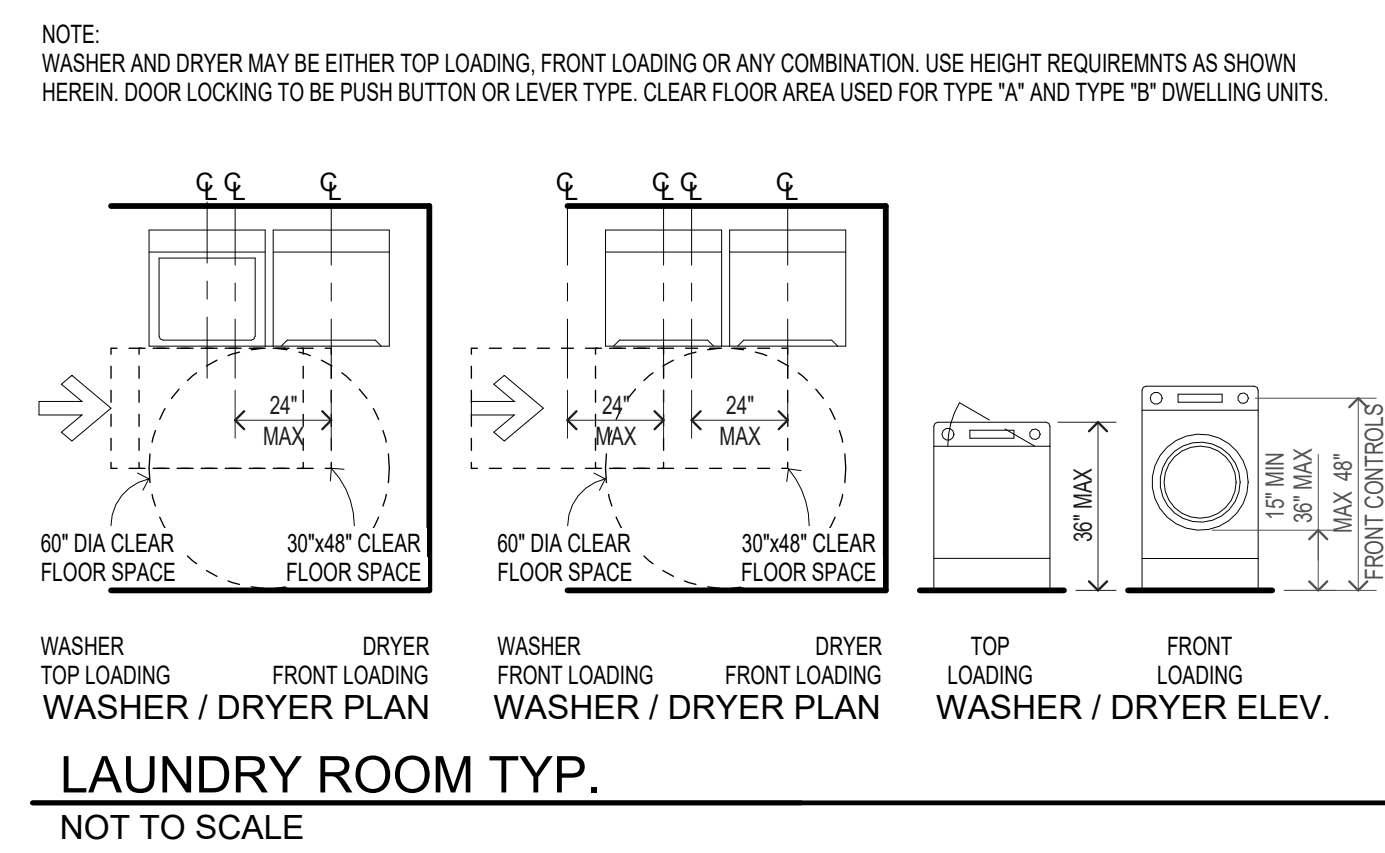
GENERAL ACCESSIBILITY NOTES

- AS PER ICC ANS I 117.1 2009 SECTION 1003.5, ALL PRIMARY ENTRY DOORS AND OTHER DOORS INTENDED FOR USER PASSAGE WITHIN A FULLY ACCESSIBLE UNIT (TYPE A) AND TYPE B' ENTRY DOORS MUST HAVE 18" CLEAR ON THE PULL SIDE OF THE DOOR. DOORS TO HABITABLE ROOMS MUST HAVE A MIN. 3'-0" DOOR & INCLUDE LEVER HARDWARE PER NCHFA 2019 GAP REQ'S.
- IN TYPE "A" (HC) UNITS, WHERE OPERABLE WINDOWS ARE PROVIDED IN THE LIVING ROOM, DINING ROOM AND BEDROOMS, ALL OPERABLE WINDOW IN EACH AREA MUST BE ACCESSIBLE WITH OPERATING CONTROLS AT 48" MAX AFF PER ICC ANS I 117.1 2009 SECTION 308. WINDOW SILLS MUST BE 24" AFF WHERE OVER 72" DROP TO AREA BELOW.
- ALL OPERABLE PARTS (SWITCHES, OUTLETS, CONTROLS) IN TYPE "A" ACCESSIBLE DWELLING UNITS SHALL COMPLY WITH SECTION 1003.9 & TYPE "B" ACCESSIBLE UNITS SHALL COMPLY WITH SECTION 1004.9 OF THE ICC/ANSI A117.1-2009. SWITCHES AND OUTLETS ARE PROVIDED AT SIDE WALLS AND/OR BASE CABINET FRONTS. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS.
- TYPE "A" UNIT OVENS - THE LOCATION OF THE CONTROLS SHALL NOT REQUIRE REACHING ACROSS BURNERS. HOOD LIGHT & VENT TO BE ON SEPARATE SWITCHES WITHIN ACCESSIBLE REACH RANGE.
- WORKSPACES IN TYPE "A" KITCHENS TO BE 34" AFF MEASURED FROM THE FLOOR TO THE COUNTER OR SINK RIM, WHICHEVER IS HIGHER.
- ALL DOOR HARDWARE IS TO BE LEVER TYPE AND CABINET HARDWARE TO BE LOOP OR D SHAPE HANDLES.
- SOME ABBREVIATIONS, SYMBOLS OR CONDITIONS SHOWN ON THIS SHEET MAY NOT APPLY TO THIS PROJECT.
- GRAB BAR REINFORCEMENT MUST BE SUFFICIENT TO PERMIT THE INSTALLATION OF REAR AND SIDE WALL GRAB BARS THAT FULLY MEET ALL ADA REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, RECD LENGTH, INSTALLATION HEIGHT, AND STRUCTURAL STRENGTH.
- HAND OPERATED METERING FAUCETS AT LAVATORIES & SINKS SHALL REMAIN OPEN FOR MIN. 10 SECONDS.
- WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES & SINKS SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES & SINKS.
- FLUSH VALVE CONTROLS & FLUSH TANK CONTROLS POSITION SHALL BE ON THE OPEN SIDE OF THE WATER CLOSET.
- WASHING MACHINES & DRYERS: TOP LOADING MACHINES SHALL HAVE THE DOOR TO THE LAUNDRY COMPARTMENT LOCATED 36" MAX. A.F. FLOOR. FRONT LOADING MACHINES SHALL HAVE THE BOTTOM OF THE OPENING TO THE LAUNDRY COMPARTMENT LOCATED MIN 15" & MAX. 36" A.F. FLOOR.
- TYPE "B" KITCHENS TO MEET ICC/ANSI A117.1-2009 SECTION 1004.12.
- STANDARD CABINETS AND STANDARD APPLIANCES MAY BE USED IN TYPE "B" UNITS.
- TYPE "A" ACCESSIBLE KITCHENS TO MEET ICC/ANSI A117.1 2009 SECTION 1003.12.
- EXPOSED PIPES UNDER SINK SHALL BE PROTECTED OR INSULATED AGAINST CONTACT. NO SHARP OR ABRASIVE SURFACES ALLOWED.
- PROVIDE RANGE / OVEN WITH FRONT PANEL CONTROLS.
- REFRIGERATOR / FREEZERS SHALL HAVE AT LEAST 50% OF THE FREEZER SPACE WITHIN 54" MAX. AFF.
- CABINETRY SHALL BE PERMITTED UNDER SINK PROVIDED IT CAN BE REMOVED WITHOUT REMOVING THE SINK; THE FLOOR FINISH EXTENDS UNDERNEATH & THE WALLS BEHIND & SURROUNDING THEM ARE FINISHED, (PER ICC A117.1 2009 1003.12.4.1 EXCEPTION 2)



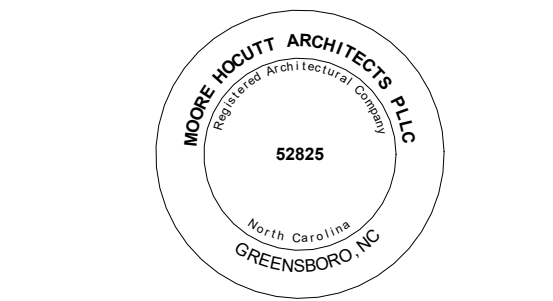
SHELF HEIGHTS TYP.

NOT TO SCALE



MOORE HOCUTT
 3300 BATTLEGROUND AVE.
 SUITE 306
 GREENSBORO, NC 27410
 P 336.897.0305
 www.mharchitects.us

Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.



FOR REVIEW

KNIGHT'S COURT
SENIOR APARTMENTS
 LYNWOOD ROAD
 KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

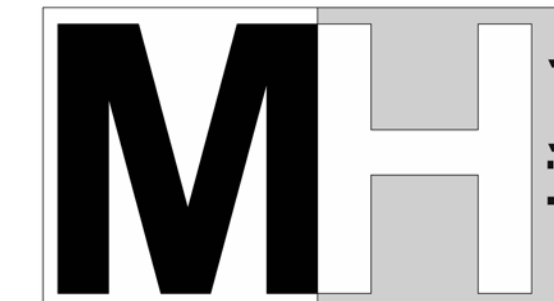
Designed By MLM
 Drawn By
 Checked By JRH
 Date 03/11/22
 Project No. MHA-P21-17

ACCESSIBILITY INFORMATION

G109
 03/11/22

NOT FOR CONSTRUCTION

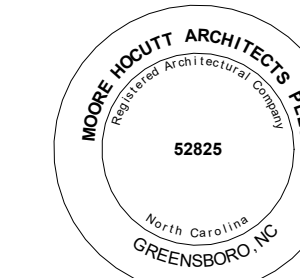
C:\Users\mooar\OneDrive\Documents\REVIT LOCAL PROJECT FILES\KNC - CENTRAL MODEL 2_MHArchitects.rvt 3/11/2022 8:22:51 AM



MOORE HOCUTT

3300 BATTLEGROUND AVE.
SUITE 306
GREENSBORO, NC 27410
P 336.897.0305
www.mharchitects.us

Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.



FOR REVIEW

**KNIGHT'S COURT
SENIOR APARTMENTS**

LYNNWOOD ROAD
KNIGHTDALE, NC 27545

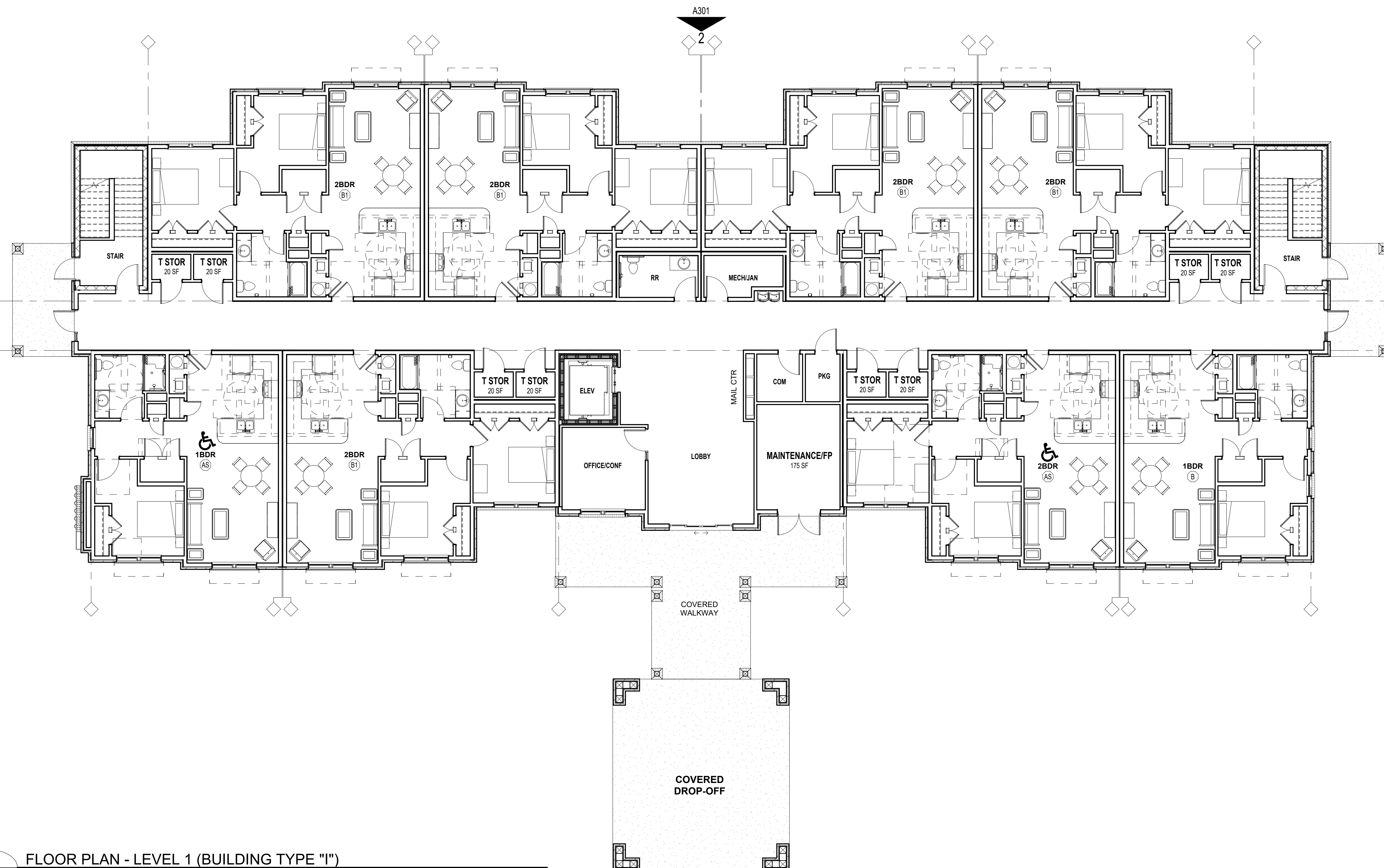
REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By -
 Checked By JRH
 Date 03/11/22
 Project No. MHA-P21-17

FLOOR PLAN - LEVEL 1
(BUILDING TYPE "I")

A102

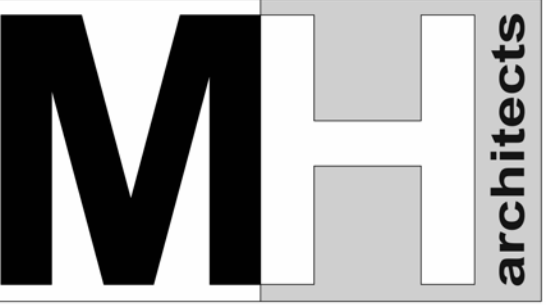
NOT FOR CONSTRUCTION
03/11/22



1 FLOOR PLAN - LEVEL 1 (BUILDING TYPE "I")
A102 1/8" = 1'-0"

C:\Users\mhoop\OneDrive\Documents\REVIT LOCAL
PROJECT FILES\KNC - CENTRAL MODEL
2_MHArchitects.rvt

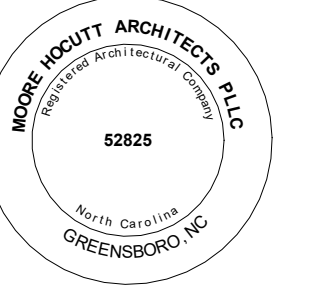
3/11/2022 8:18:48 AM



MOORE HOCUTT

3300 BATTLEGROUND AVE.
SUITE 306
GREENSBORO, NC 27410
P 336.897.0305
www.mharchitects.us

Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.



FOR REVIEW

**KNIGHT'S COURT
SENIOR APARTMENTS**

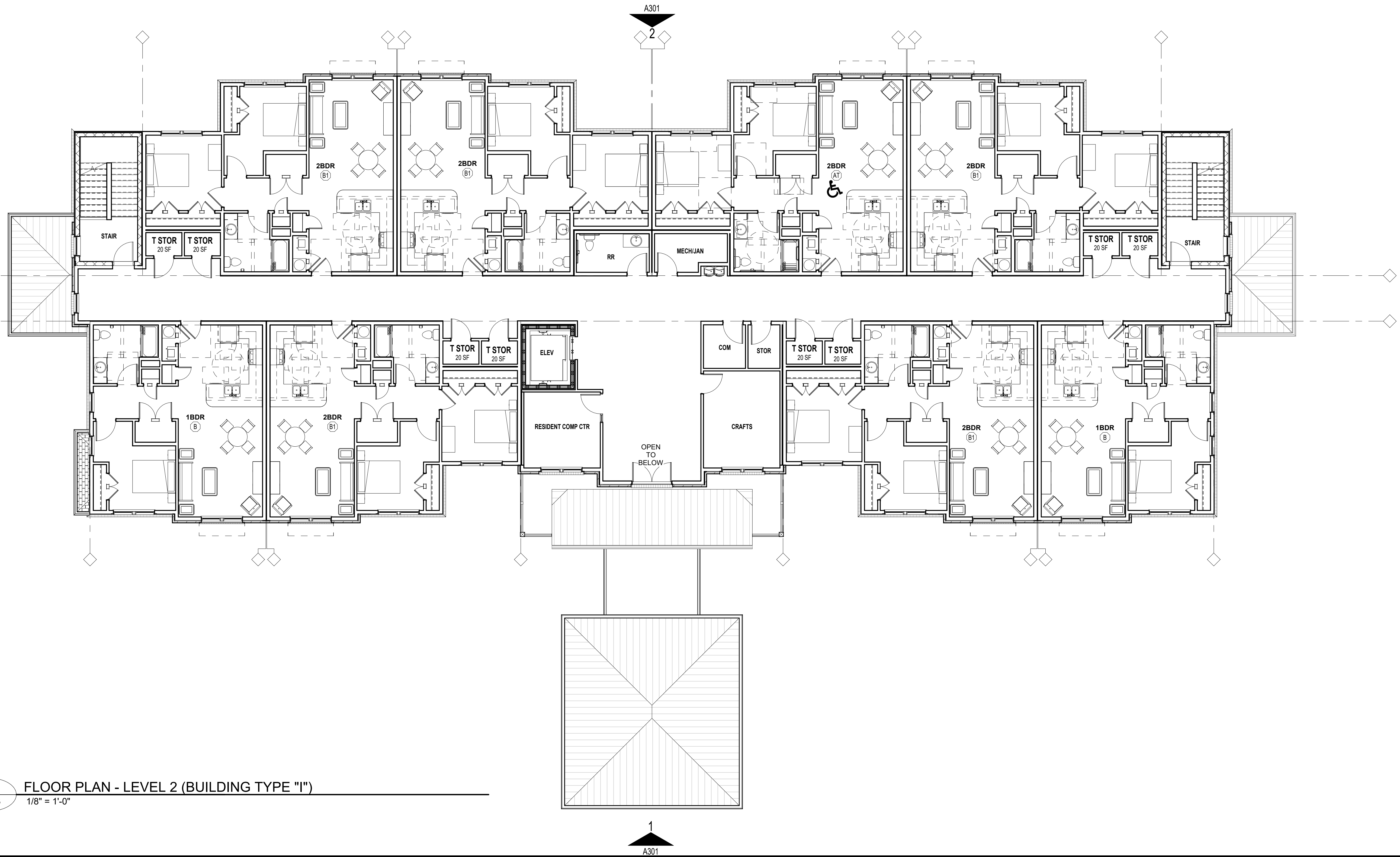
LYNNWOOD ROAD
KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By -
 Checked By JRH
 Date 03/11/22
 Project No. MHA-P21-17

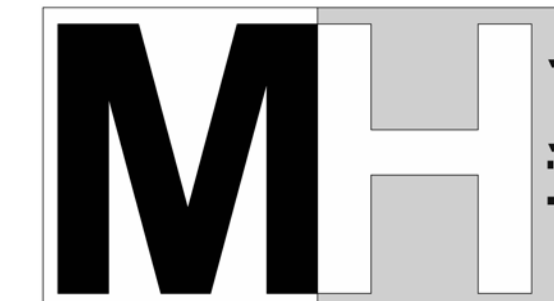
FLOOR PLAN - LEVEL 2
(BUILDING TYPE "I")

A103



1 FLOOR PLAN - LEVEL 2 (BUILDING TYPE "I")
 A103 1/8" = 1'-0"

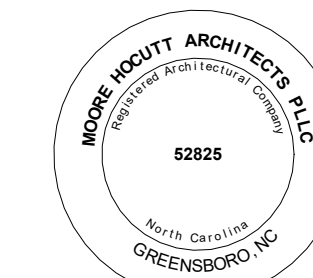
NOT FOR CONSTRUCTION
03/11/22



MOORE HOCUTT

3300 BATTLEGROUND AVE.
SUITE 306
GREENSBORO, NC 27410
P 336.897.0305
www.mharchitects.us

Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.



FOR REVIEW

**KNIGHT'S COURT
SENIOR APARTMENTS**

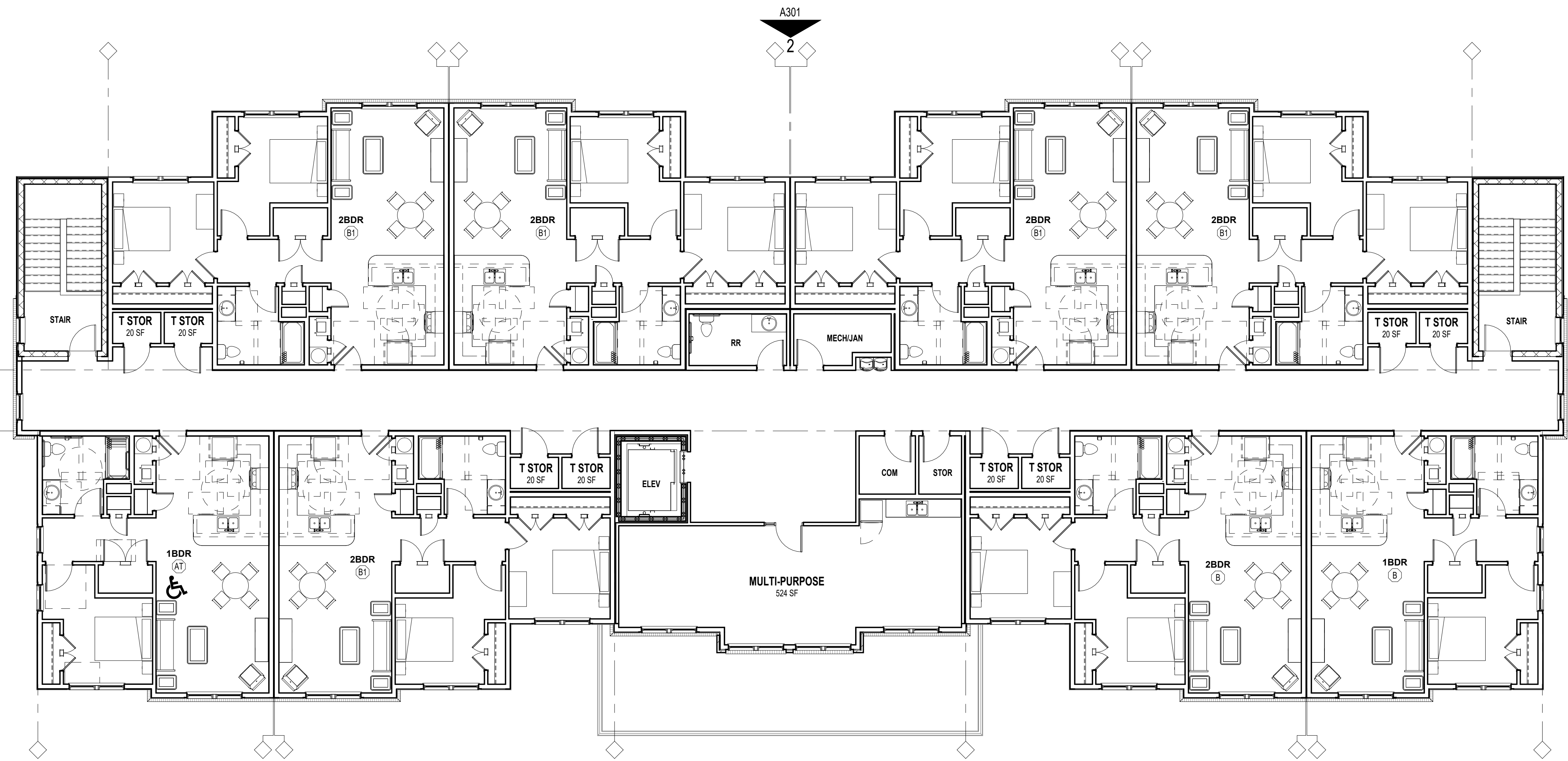
LYNNWOOD ROAD
KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

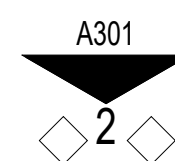
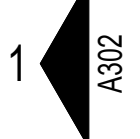
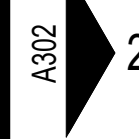
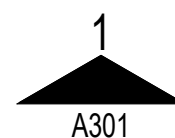
Designed By MLM
 Drawn By -
 Checked By JRH
 Date 03/11/22
 Project No. MHA-P21-17

FLOOR PLAN - LEVEL 3
(BUILDING TYPE "I")

A104



1 FLOOR PLAN - LEVEL 3 (BUILDING TYPE "I")
A104 1/8" = 1'-0"

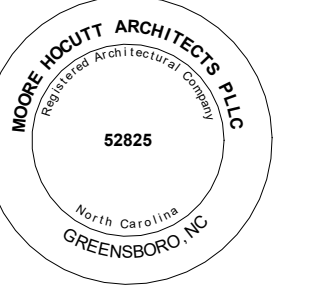


C:\Users\mhoop\OneDrive\Documents\REVIT LOCAL
PROJECT FILES\KNC - CENTRAL MODEL
2_MHArchitects.rvt

3/11/2022 8:20:01 AM

NOT FOR CONSTRUCTION
03/11/22

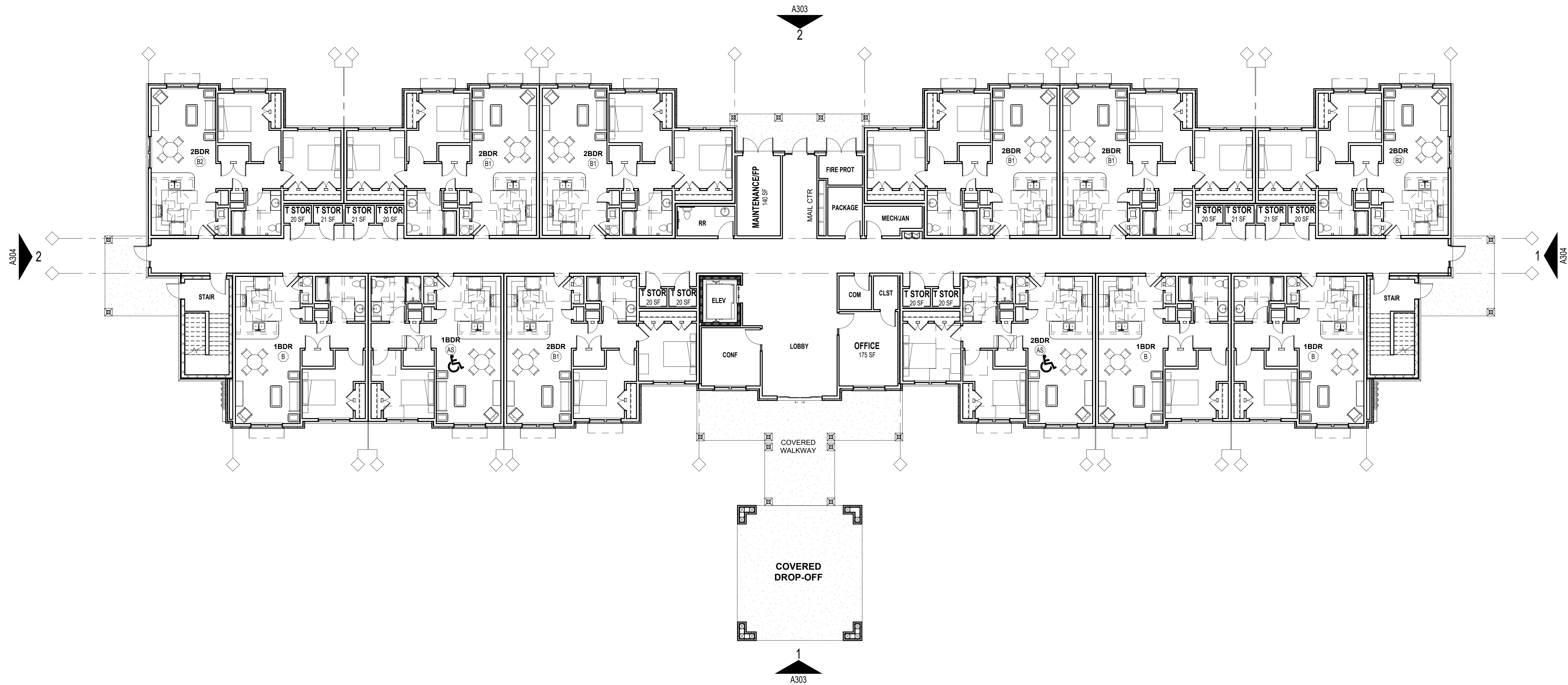
Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.



FOR REVIEW

**KNIGHT'S COURT
SENIOR APARTMENTS**

LYNNWOOD ROAD
KNIGHTDALE, NC 27545



1 FLOOR PLAN - LEVEL 1 (BUILDING TYPE "II")
A107 3/32" = 1'-0"

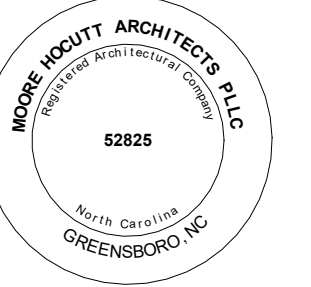
REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By -
 Checked By JRH
 Date 03/11/22
 Project No. MHA-P21-17

FLOOR PLAN - LEVEL 1
(BUILDING TYPE "II")

A107

NOT FOR CONSTRUCTION
03/11/22



FOR REVIEW

**KNIGHT'S COURT
SENIOR APARTMENTS**

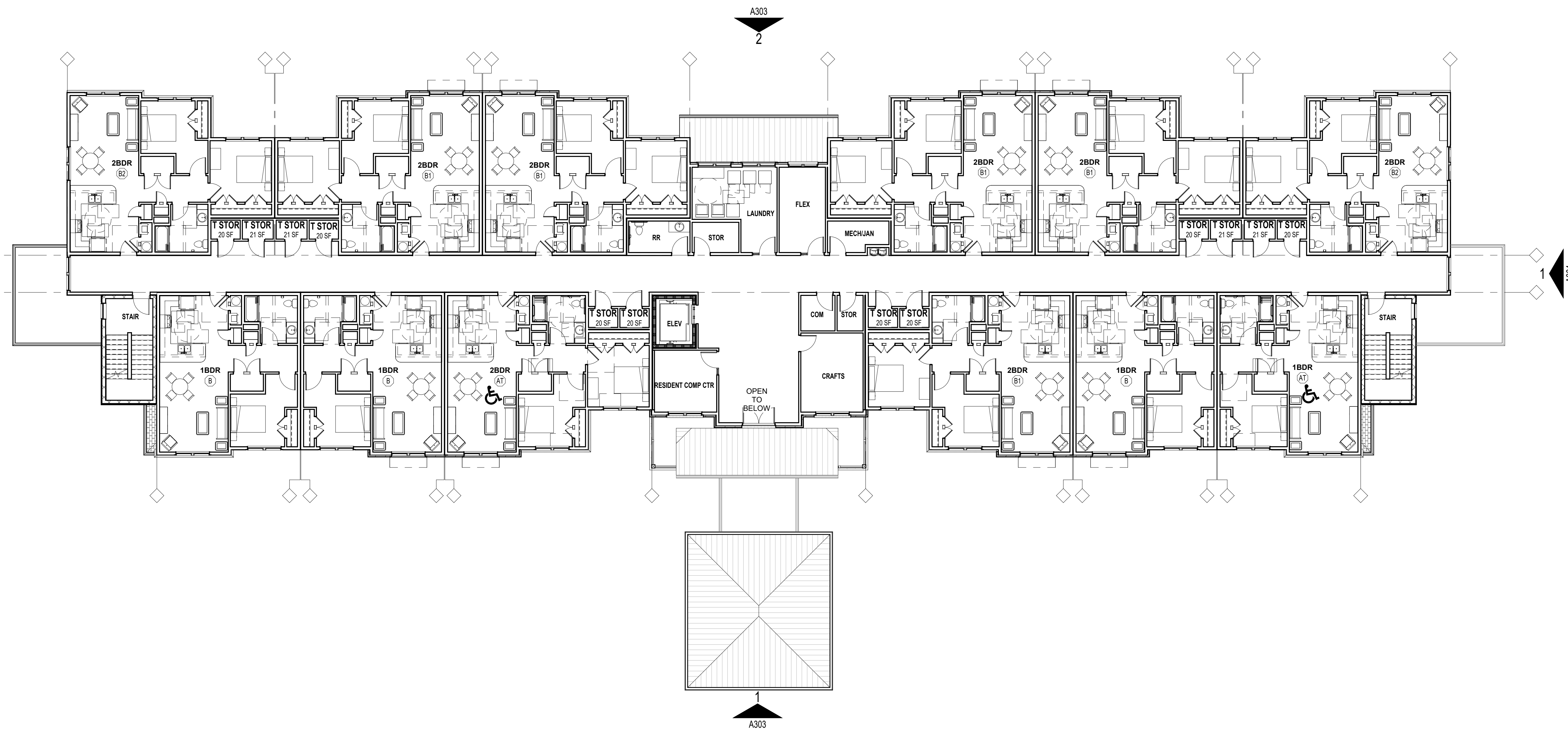
LYNNWOOD ROAD
KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By -
 Checked By JRH
 Date 03/11/22
 Project No. MHA-P21-17

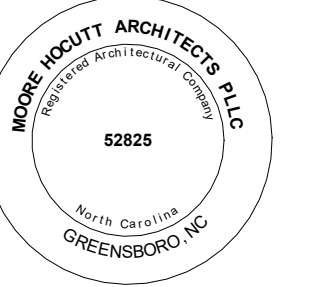
FLOOR PLAN - LEVEL 2
(BUILDING TYPE "II")

A108



1 FLOOR PLAN - LEVEL 2 (BUILDING TYPE "II")
A108 3/32" = 1'-0"

NOT FOR CONSTRUCTION
03/11/22



FOR REVIEW

**KNIGHT'S COURT
SENIOR APARTMENTS**

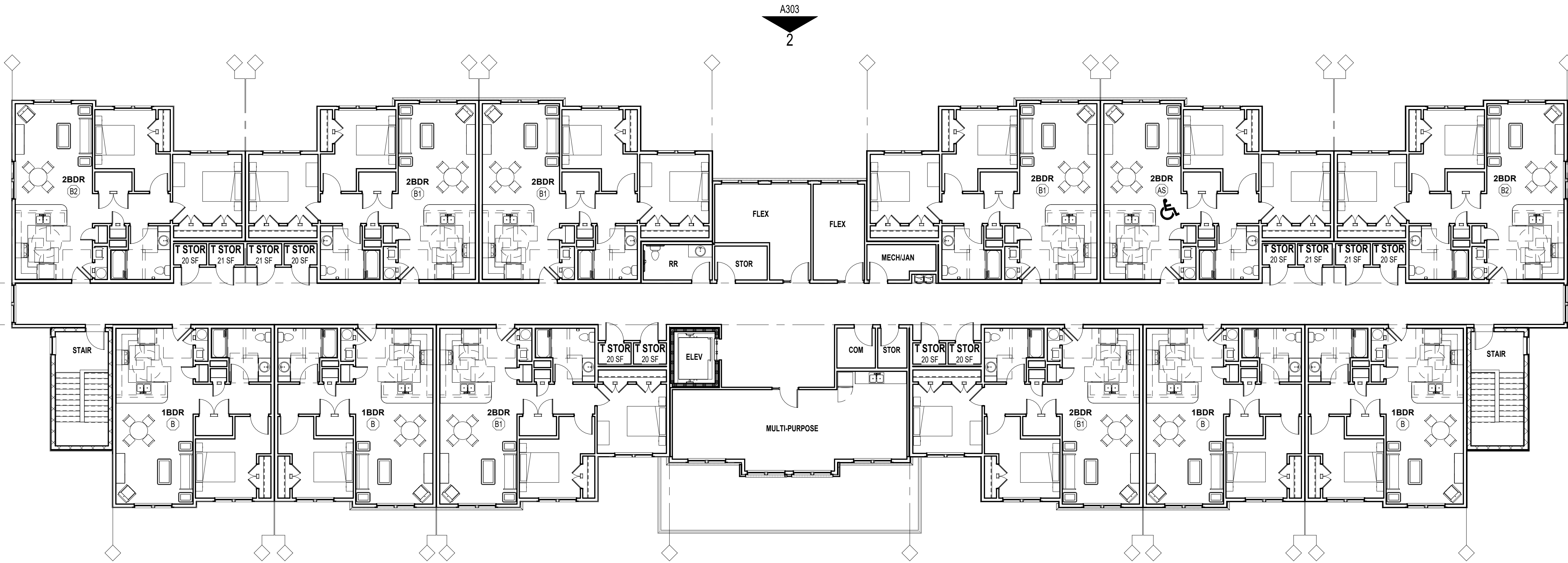
LYNNWOOD ROAD
KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By -
 Checked By JRH
 Date 03/11/22
 Project No. MHA-P21-17

FLOOR PLAN - LEVEL 3
(BUILDING TYPE "II")

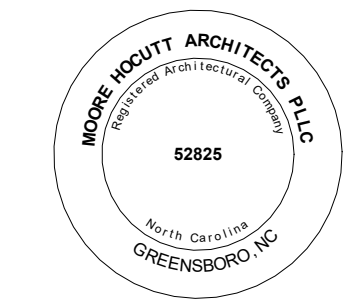
A109



1 FLOOR PLAN - LEVEL 3 (BUILDING TYPE "II")
A109 3/32" = 1'-0"

NOT FOR CONSTRUCTION
03/11/22

Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.



FOR REVIEW

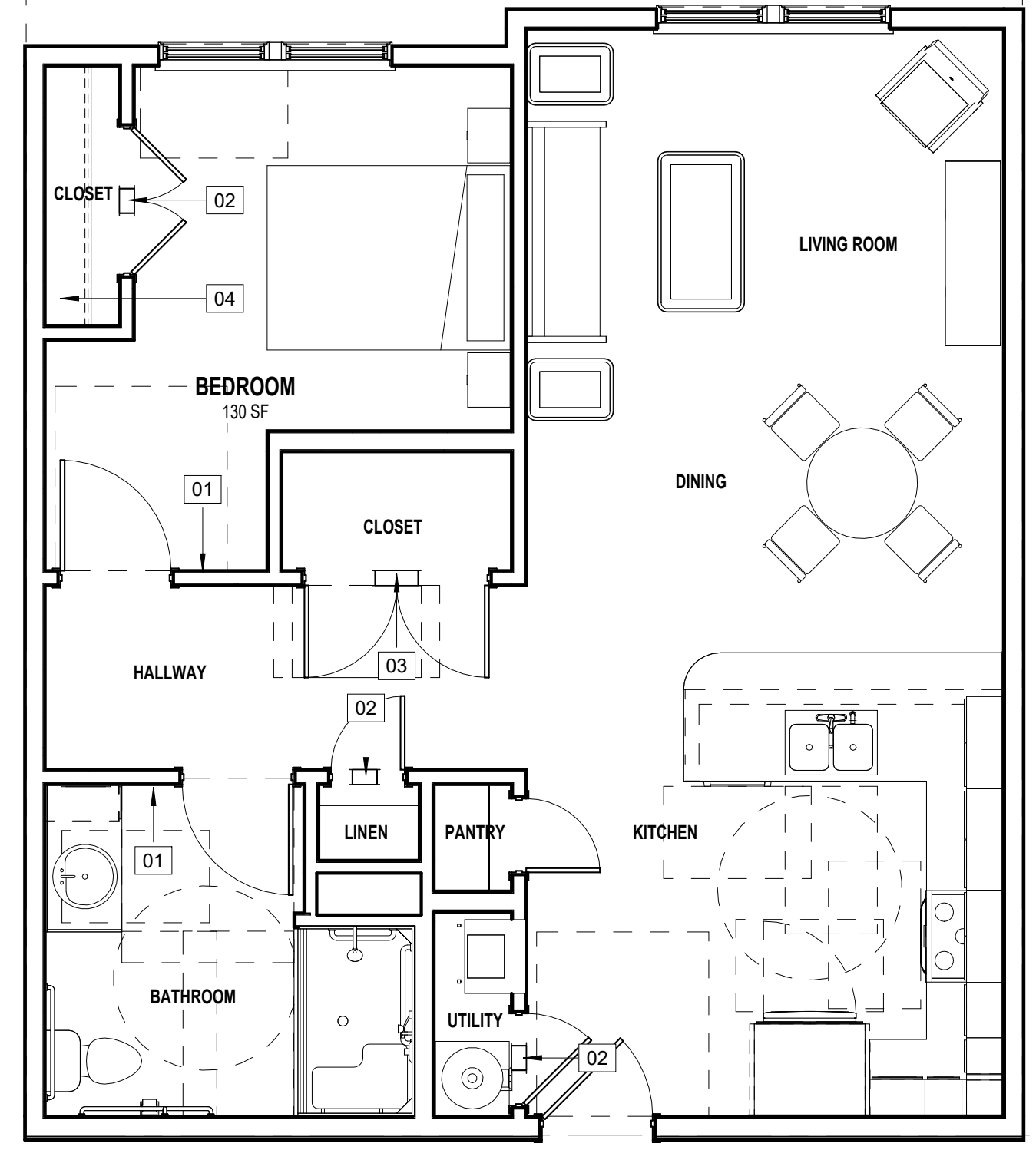
KNIGHT'S COURT
SENIOR APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545

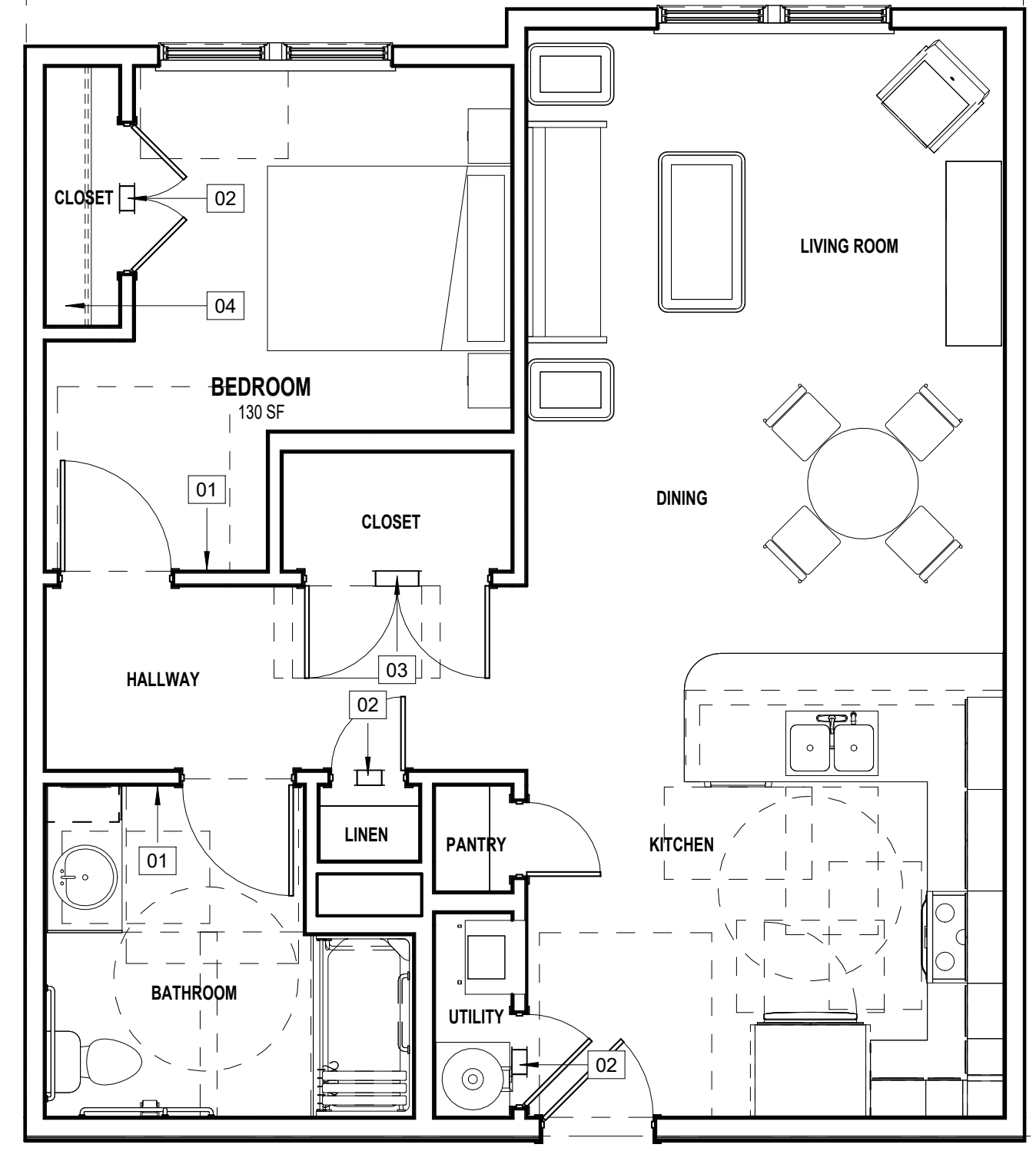
ENLARGED UNIT PLAN KEYNOTES

MARK KEYNOTE

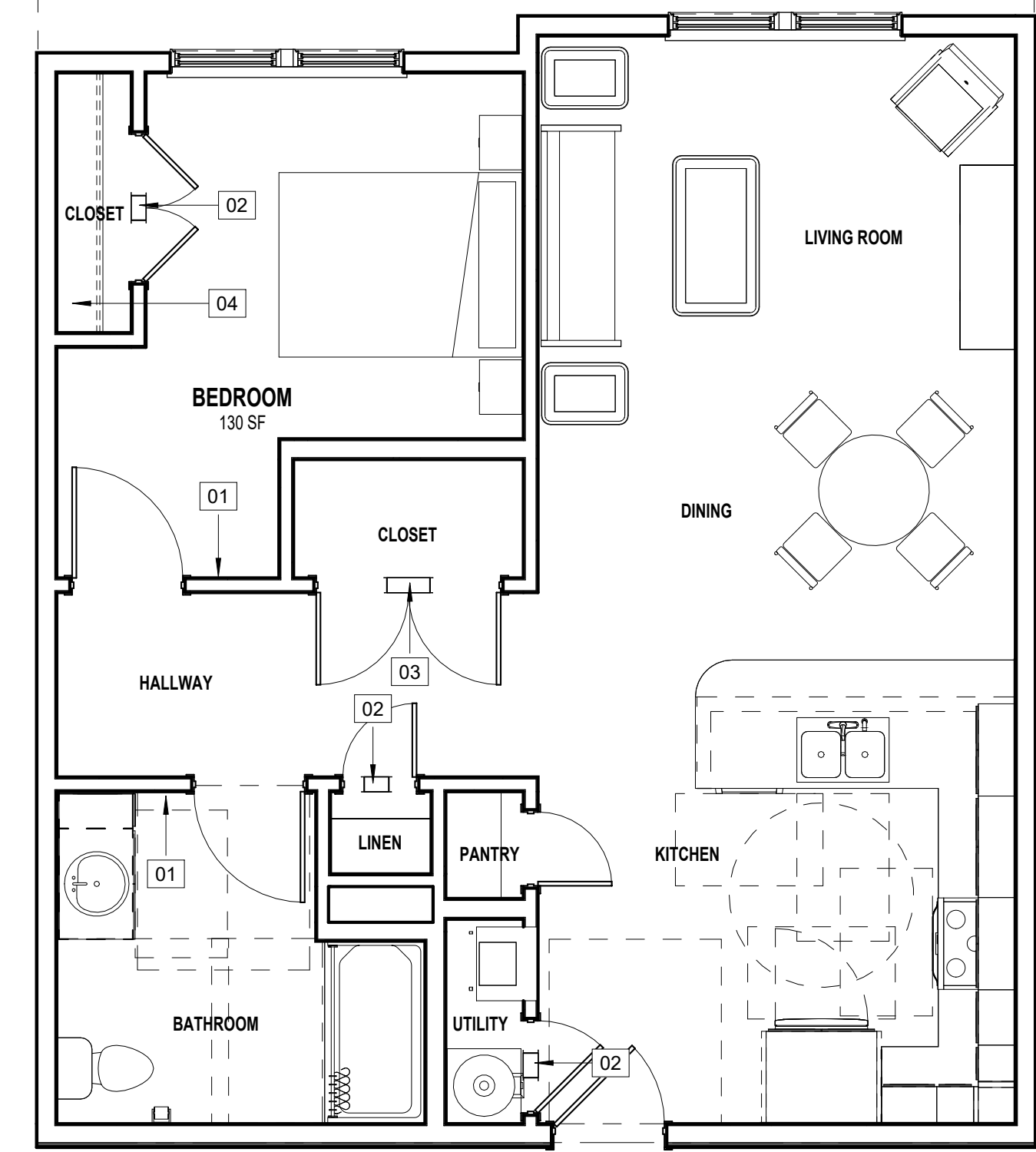
- 01 CALL FOR AID STATION.
- 02 TRANSFER GRILLE (8"x4").
- 03 TRANSFER GRILLE (14"x8").
- 04 CLOSET SHELF AND ROD (MIN. 7LF).



1 ONE BEDROOM UNIT - TYPE "AS"
A201 1/4" = 1'-0"



2 ONE BEDROOM UNIT - TYPE "AT"
A201 1/4" = 1'-0"



3 ONE BEDROOM UNIT - TYPE "B"
A201 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By -
 Checked By JRH
 Date 03/11/22
 Project No. MHA-P21-17

ENLARGED UNITS

NOT FOR CONSTRUCTION

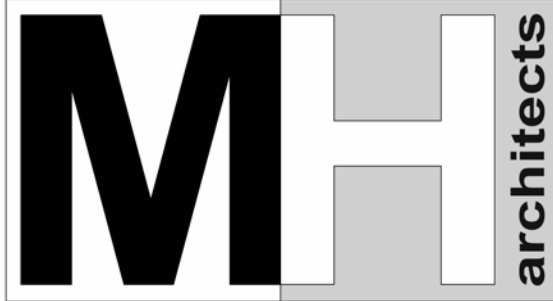
A201

03/11/22

ENLARGED UNIT PLAN KEYNOTES

MARK KEYNOTE

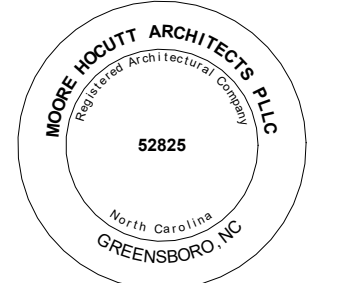
- 01 CALL FOR AID STATION.
- 02 TRANSFER GRILLE (8"x4").
- 03 TRANSFER GRILLE (14"x8").
- 04 CLOSET SHELF AND ROD (MIN. 7LF).



MOORE HOCUTT

3300 BATTLEGROUND AVE.
SUITE 306
GREENSBORO, NC 27410
P 336.897.0305
www.mharchitects.us

Drawings, specifications and other documents, prepared by the Design Professional (DP) are Instruments of Service for use solely with respect to this Project. This includes documents in electronic form. The DP shall be deemed the author and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Instruments of Service shall not be used by the owner for future additions or alterations to this Project or for other projects, without the prior written agreement of the DP. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the DP.



FOR REVIEW

KNIGHT'S COURT
SENIOR APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

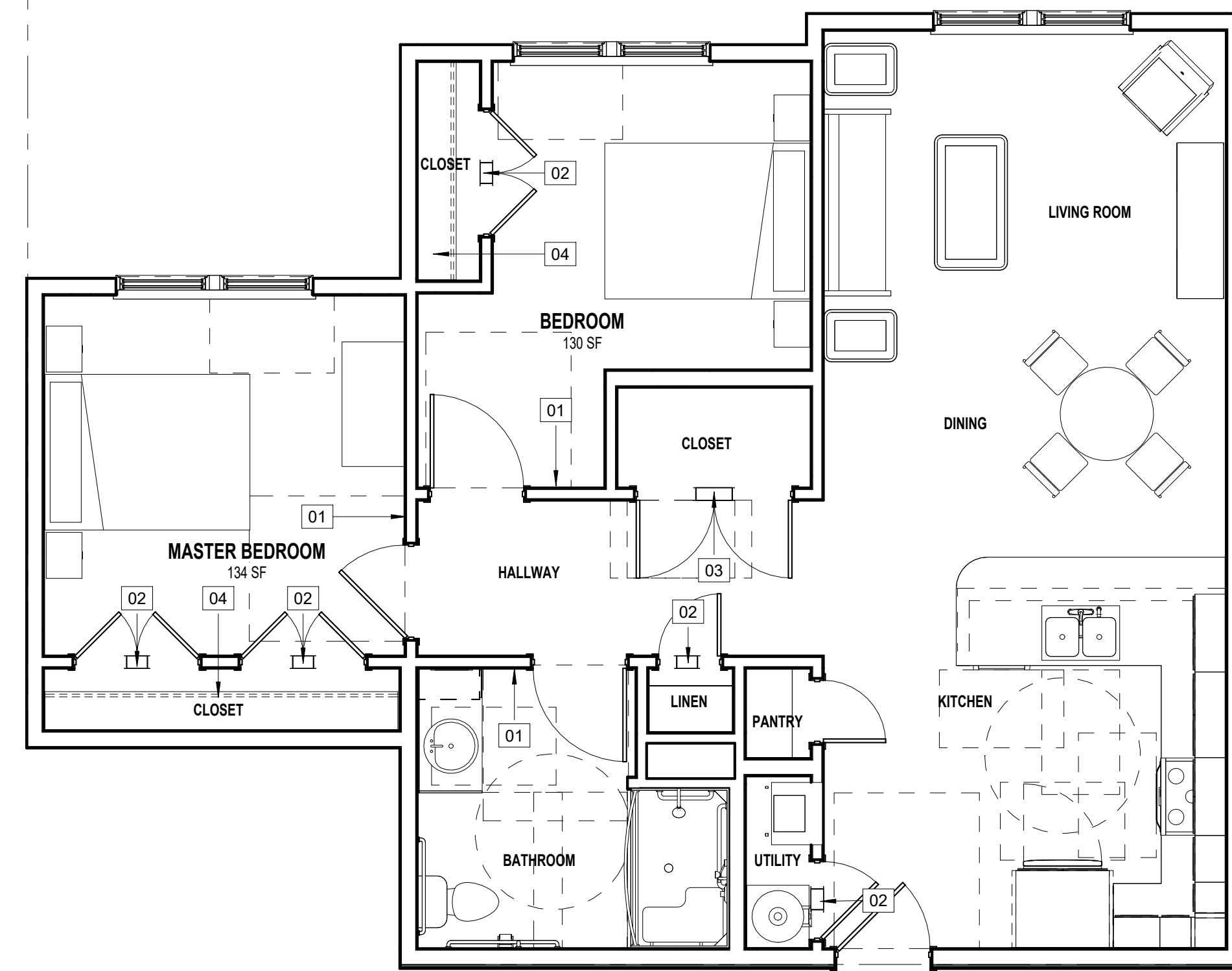
Designed By MLM
 Drawn By -
 Checked By JRH
 Date 03/11/22
 Project No. MHA-P21-17

ENLARGED UNITS

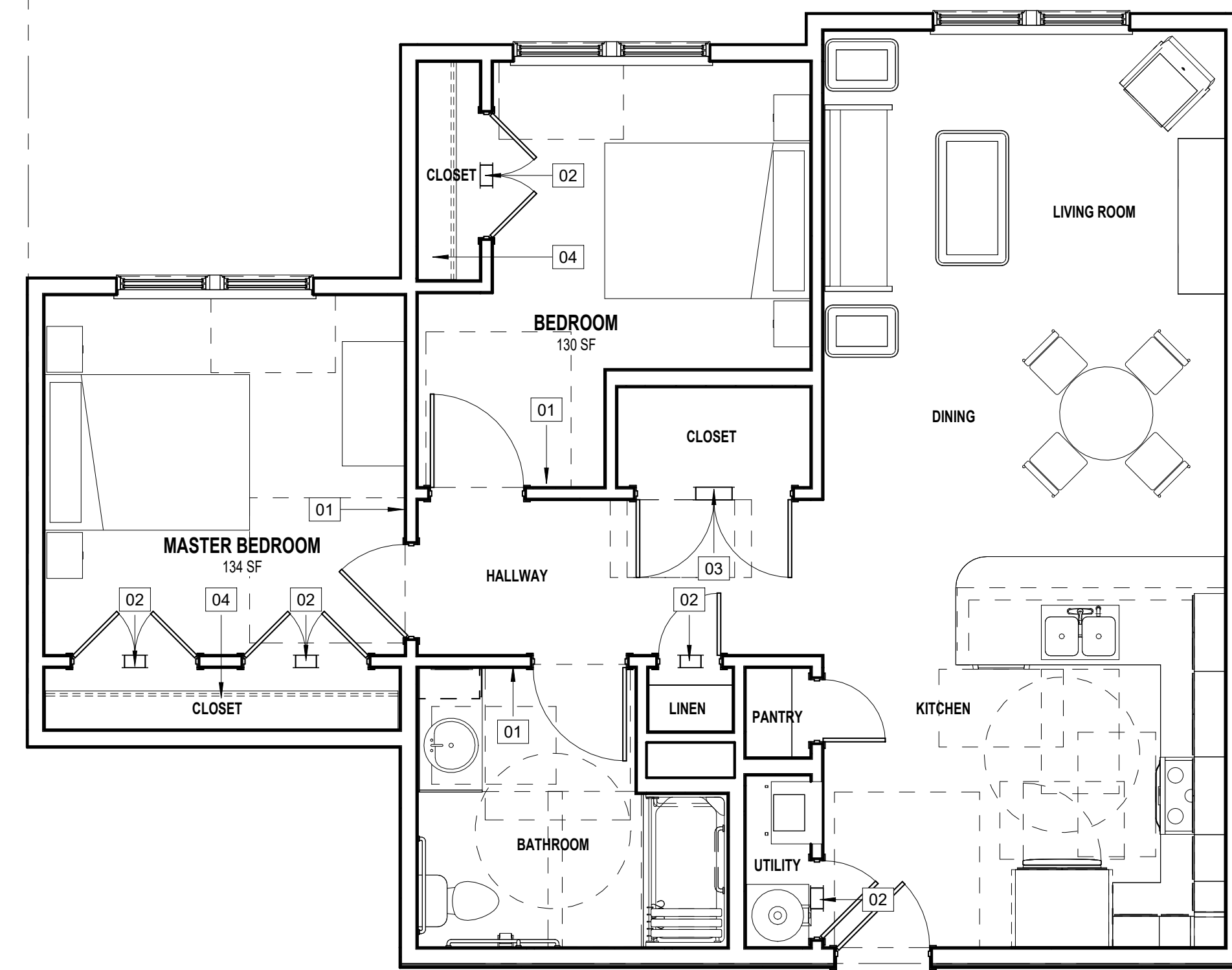
NOT FOR CONSTRUCTION

03/11/22

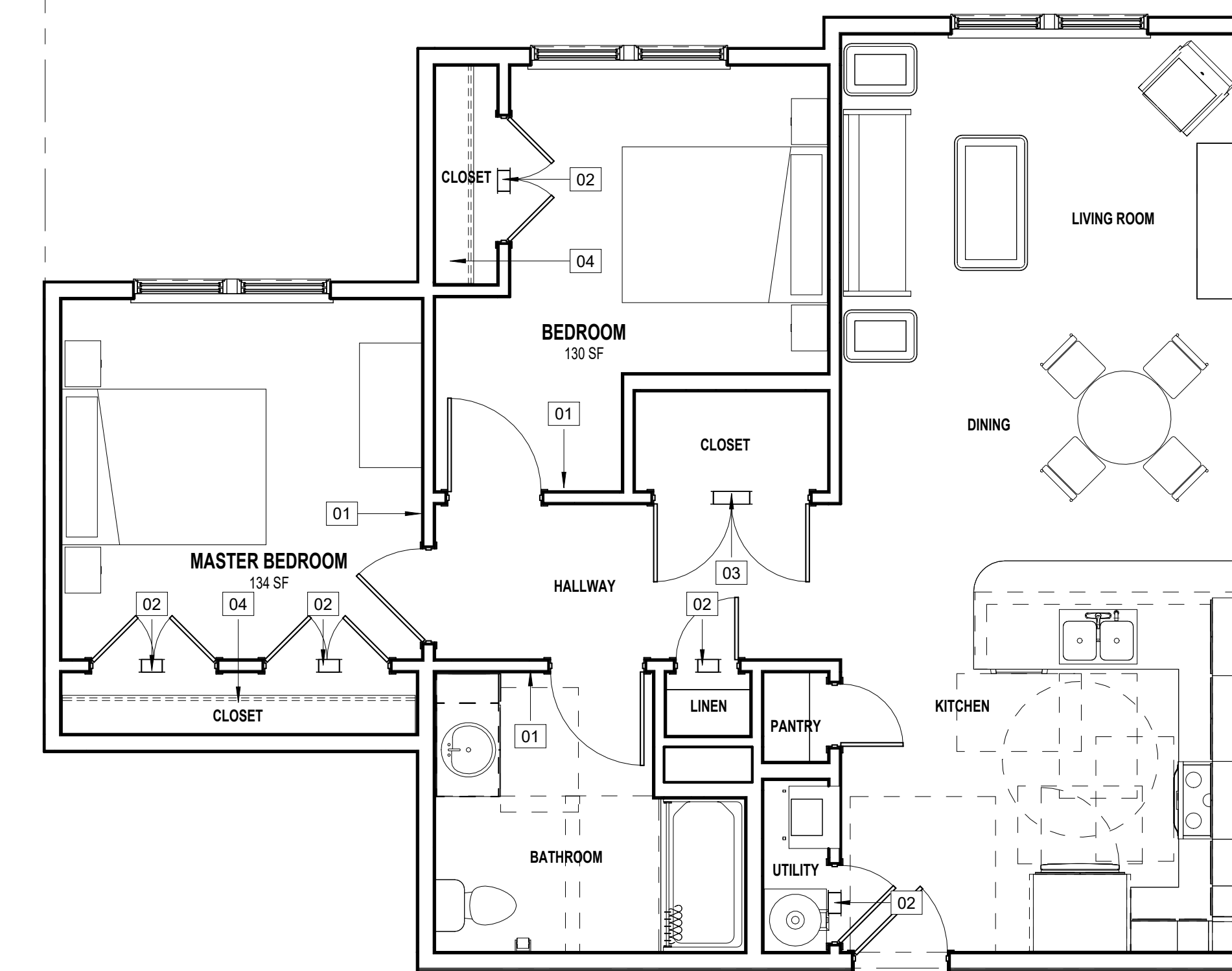
A202



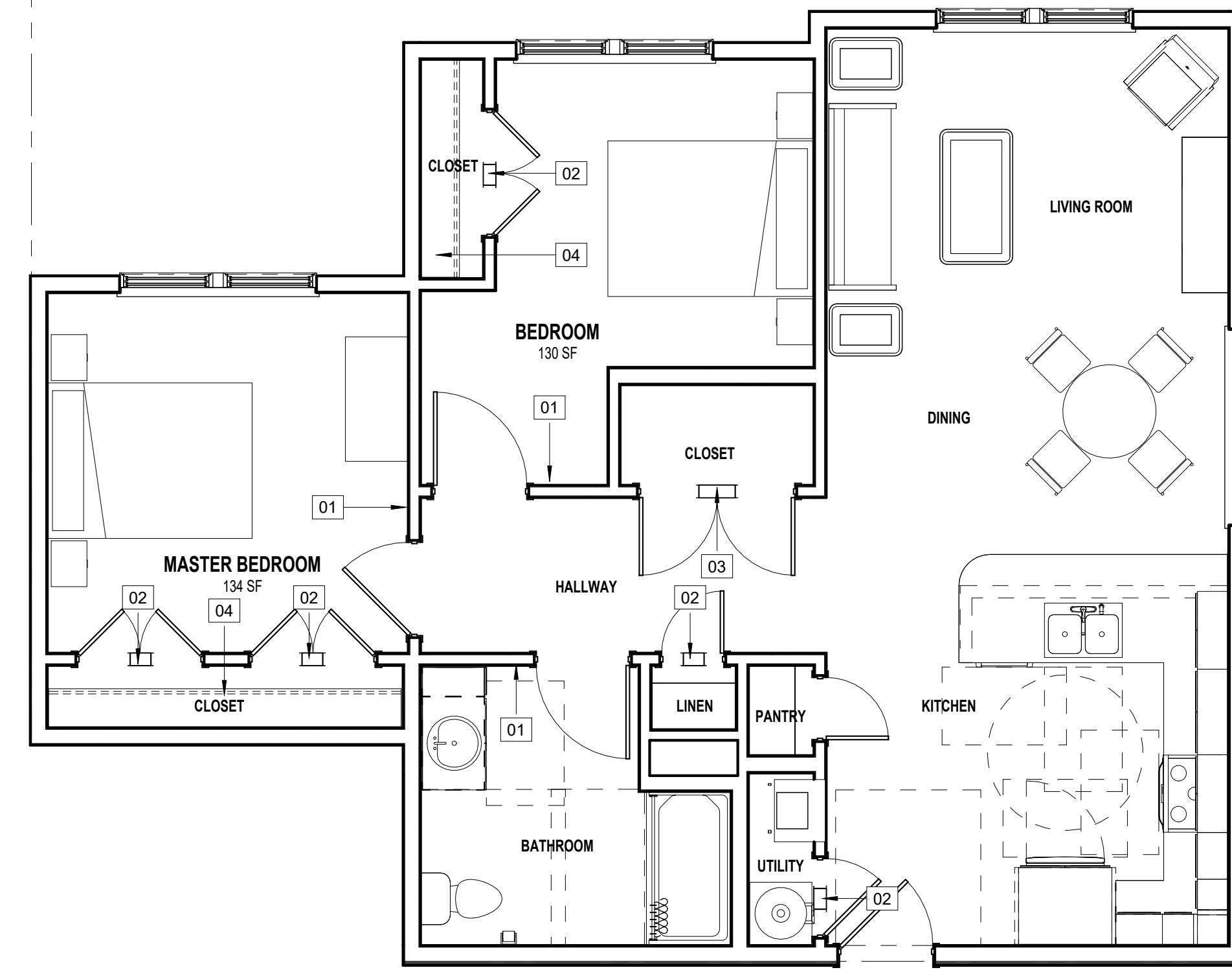
1 TWO BEDROOM UNIT - TYPE "AS" &
A202 1/4" = 1'-0"



2 TWO BEDROOM UNIT - TYPE "AT" &
A202 1/4" = 1'-0"



3 TWO BEDROOM UNIT - TYPE "B1"
A202 1/4" = 1'-0"



4 TWO BEDROOM UNIT - TYPE "B2"
A202 1/4" = 1'-0"

FOR REVIEW

KNIGHT'S COURT
SENIOR APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

Designed By MLM
Drawn By
Checked By JRH
Date 03/11/22
Project No. MHA-P21-17

EXTERIOR ELEVATIONS
(BUILDING TYPE "I")

A301



1 EXTERIOR ELEVATIONS (BUILDING TYPE "I")
A102 | A301 1/8" = 1'-0"



2 EXTERIOR ELEVATIONS (BUILDING TYPE "I")
A102 | A301 1/8" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS

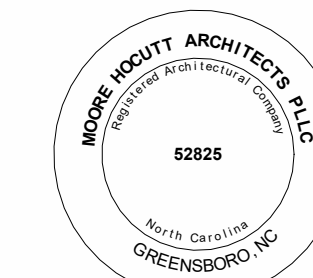
SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

MARK	KEYNOTES
01	FIBER CEMENT CLAPBOARD SIDING.
02	FIBER CEMENT VERTICAL BOARD BATTEN SIDING.
03	FIBER CEMENT TRIM.
04	PVC COLUMN WRAP.
05	FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER.
06	BRICK VENEER WITH ROWLOCK.
07	BRICK ROWLOCK WINDOW SILL.
08	BRICK SOLDIER WINDOW HEAD.
09	ARCHITECTURAL FIBERGLASS SHINGLES.
10	STANDING SEAM METAL ROOF.
11	VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
12	VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
13	ALUMINUM STOREFRONT DOOR.
14	STEEL DOOR.

GENERAL ELEVATION NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY. SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTHFLOW DEVICE FOR DOWNSPOUTS W/O/T TIE-INS.
- MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30' IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
- WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL SEALANTS SHALL MATCH ADJACENT SURFACE, UNO.
- PROVIDE SOLID BLOCKING WITHIN WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
- ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM BUILDING CREATING POSITIVE DRAINAGE.
- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS.
- PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY MOISTURE BARRIER.
- REFER TO POST-TENSION SLAB DRAWINGS FOR ACTUAL BRICK LEDGE DEPTHS BELOW FINISH FLOOR LEVEL.

NOT FOR CONSTRUCTION
03/11/22



FOR REVIEW

KNIGHT'S COURT SENIOR APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

Designed By MLM
Drawn By
Checked By JRH
Date 03/11/22
Project No. MHA-P21-17

EXTERIOR ELEVATIONS
(BUILDING TYPE "I")

A302

NOT FOR CONSTRUCTION
03/11/22



1 EXTERIOR ELEVATIONS (BUILDING TYPE "I")
A102/A302 1/8" = 1'-0"



2 EXTERIOR ELEVATIONS (BUILDING TYPE "I")
A102/A302 1/8" = 1'-0"

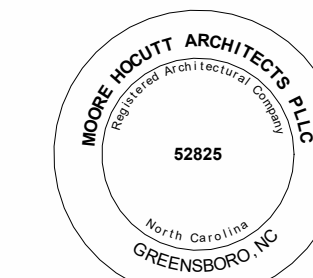
KEYNOTES - EXTERIOR ELEVATIONS

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

MARK	KEYNOTES
01	FIBER CEMENT CLAPBOARD SIDING.
02	FIBER CEMENT VERTICAL BOARD BATTEN SIDING.
03	FIBER CEMENT TRIM.
04	PVC COLUMN WRAP.
05	FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER.
06	BRICK VENEER WITH ROWLOCK.
07	BRICK ROWLOCK WINDOW SILL.
08	BRICK SOLDIER WINDOW HEAD.
09	ARCHITECTURAL FIBERGLASS SHINGLES.
10	STANDING SEAM METAL ROOF.
11	VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
12	VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
13	ALUMINUM STOREFRONT DOOR.
14	STEEL DOOR.

GENERAL ELEVATION NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY.
- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTHFLOW DEVICE FOR DOWNSPOUTS W/O/T TIE-INS.
- MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30' IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
- WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL SEALANTS SHALL MATCH ADJACENT SURFACE, UNO.
- PROVIDE SOLID BLOCKING WITHIN WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
- ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM BUILDING CREATING POSITIVE DRAINAGE.
- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS.
- PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY MOISTURE BARRIER.
- REFER TO POST-TENSION SLAB DRAWINGS FOR ACTUAL BRICK LEDGE DEPTHS BELOW FINISH FLOOR LEVEL.



FOR REVIEW

KNIGHT'S COURT SENIOR APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

Designed By MLM
 Drawn By -
 Checked By JRH
 Date 03/11/22
 Project No. MHA-P21-17

EXTERIOR ELEVATIONS
(BUILDING TYPE "II")

A303

NOT FOR CONSTRUCTION
03/11/22



1 EXTERIOR ELEVATIONS (BUILDING TYPE "II")
A107/A303 3/32" = 1'-0"



2 EXTERIOR ELEVATIONS (BUILDING TYPE "II")
A107/A303 3/32" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

MARK	KEYNOTES
01	FIBER CEMENT CLAPBOARD SIDING.
02	FIBER CEMENT VERTICAL BOARD BATTEN SIDING.
03	FIBER CEMENT TRIM.
04	PVC COLUMN WRAP.
05	FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER.
06	BRICK VENEER WITH ROWLOCK.
07	BRICK ROWLOCK WINDOW SILL.
08	BRICK SOLDIER WINDOW HEAD.
09	ARCHITECTURAL FIBERGLASS SHINGLES.
10	STANDING SEAM METAL ROOF.
11	VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
12	VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
13	ALUMINUM STOREFRONT DOOR.
14	STEEL DOOR.

GENERAL ELEVATION NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY.
- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTHFLOW DEVICE FOR DOWNSPOUTS W/OUT TIE-INS.
- MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30' IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
- WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL SEALANTS SHALL MATCH ADJACENT SURFACE, UNO.
- PROVIDE SOLID BLOCKING WITHIN WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
- ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM BUILDING CREATING POSITIVE DRAINAGE.
- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS.
- PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY MOISTURE BARRIER.
- REFER TO POST-TENSION SLAB DRAWINGS FOR ACTUAL BRICK LEDGE DEPTHS BELOW FINISH FLOOR LEVEL.

C:\Users\mwood\OneDrive\Documents\REVIT LOCAL
PROJECT FILES\KNC - CENTRAL MODEL
2_MHArchitects.rvt

3/11/2022 8:21:43 AM

FOR REVIEW

KNIGHT'S COURT
SENIOR APARTMENTS

LYNNWOOD ROAD
KNIGHTDALE, NC 27545

REVISIONS		
No.	Description	Date

Designed By MLM
Drawn By
Checked By JRH
Date 03/11/22
Project No. MHA-P21-17

EXTERIOR ELEVATIONS
(BUILDING TYPE "II")

A304



1 EXTERIOR ELEVATIONS (BUILDING TYPE "II")
A107 | A304 3/32" = 1'-0"



2 EXTERIOR ELEVATIONS (BUILDING TYPE "II")
A107 | A304 3/32" = 1'-0"

KEYNOTES - EXTERIOR ELEVATIONS

SOME KEYNOTES MAY NOT APPEAR ON THIS SHEET

MARK	KEYNOTES
01	FIBER CEMENT CLAPBOARD SIDING.
02	FIBER CEMENT VERTICAL BOARD BATTEN SIDING.
03	FIBER CEMENT TRIM.
04	PVC COLUMN WRAP.
05	FIBER CEMENT FASCIA AND PREFINISHED ALUMINUM GUTTER.
06	BRICK VENEER WITH ROWLOCK.
07	BRICK ROWLOCK WINDOW SILL.
08	BRICK SOLDIER WINDOW HEAD.
09	ARCHITECTURAL FIBERGLASS SHINGLES.
10	STANDING SEAM METAL ROOF.
11	VINYL-CLAD SINGLE HUNG WINDOW (SINGLE UNIT).
12	VINYL-CLAD SINGLE HUNG WINDOW (DOUBLE UNIT).
13	ALUMINUM STOREFRONT DOOR.
14	STEEL DOOR.

GENERAL ELEVATION NOTES

- ADDRESSING SIGNAGE TO BE LOCATED ON THE SIDE OF THE BUILDING FROM WHERE THE BUILDING IS ADDRESSED. PROVIDE BUILDING ADDRESS IN 6" HIGH LETTERS TO BE APPROVED BY THE FIRE MARSHAL. ADDRESS NUMBERS TO BE ILLUMINATED.
- ALL INSIDE AND OUTSIDE CORNER TRIM AT FIBER CEMENT SIDING SHALL BE 5/4X6.
- VERIFY FLOOR ELEVATIONS WITH CIVIL/SITE DRAWINGS. DATUM DENOTED IN BUILDING ELEVATIONS ARE FOR REFERENCE ONLY.
- SEAL ALL PENETRATIONS INCLUDING WINDOWS AND DOORS TO BACKUP WALL AT PRIMARY MOISTURE BARRIER.
- COORDINATE ALL DOWNSPOUT TIE-INS WITH CIVIL DRAWINGS. PROVIDE SPLASH BLOCKS OR STEALTHFLOW DEVICE FOR DOWNSPOUTS W/OUT TIE-INS.
- MASONRY CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL EXPANSION JOINTS NOT TO EXCEED 30' IN BRICKWORK PER TECHNICAL NOTES 18A AS PUBLISHED BY THE BRICK INDUSTRY ASSOCIATION.
- EXPOSED STEEL LINTELS AND BREAK METAL TO BE PAINTED TO MATCH ADJACENT SURFACE, UNO.
- WINDOW AND DOOR TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL FIBER CEMENT PANEL TRIM SHALL BE 5/4X4 FIBER CEMENT, UNO.
- ALL SEALANTS SHALL MATCH ADJACENT SURFACE, UNO.
- PROVIDE SOLID BLOCKING WITHIN WALL CAVITY BEHIND ALL EXTERIOR LIGHTS AND SIGNAGE.
- ROUGH AND FINISH GRADES SHALL SLOPE AWAY FROM BUILDING CREATING POSITIVE DRAINAGE.
- INSTALLING CONTRACTORS SHALL FOLLOW SIDING, TRIM, BRICK, WINDOW AND DOOR INSTALLATION GUIDELINES TO ENSURE THE PRODUCTS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STANDARDS.
- PROVIDE PREFABRICATED FLASHING BLOCKS AT DRYER VENTS AND LIGHT FIXTURES IN SIDING. SEAL FLASHING BLOCK TO PRIMARY MOISTURE BARRIER.
- REFER TO POST-TENSION SLAB DRAWINGS FOR ACTUAL BRICK LEDGE DEPTHS BELOW FINISH FLOOR LEVEL.

NOT FOR CONSTRUCTION
03/11/22