

ToK Project # ZCP-7-24

# 7800 KNIGHTDALE BLVD.



Know what's below.  
Call before you dig.  
Dial 811 or 1-800-632-4949

owner:

Axiom Holdings, LLC  
3739 National Drive, STE 105  
Raleigh, NC 27612  
(919) 760-0101  
Contact: Tom White

landscape architect:

TMTLA Associates  
5011 Southpark Drive, Ste. 200  
Durham, North Carolina 27713  
(919) 484-8880  
Contact: Andy Porter, PLA

civil engineer:

Stocks Engineering  
801 East Washington Street  
Nashville, North Carolina 27856  
(252) 459-8196  
Contact: Ethan Averette, PE

architect:

Evolution Design & Development  
409 Sadie Drive  
Matthews, NC 28105  
(980) 579-0581  
Contact: Brian Fifolt, Designer

surveyor:

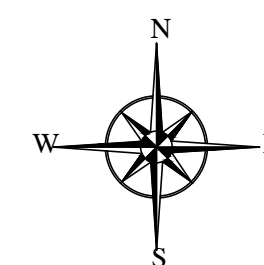
Stewart-Proctor, LLC  
319 Chapanoke Rd # 106  
Raleigh, North Carolina 27603  
(919) 779-1855  
Contact: Herbert Proctor, PLS

## 7800 KNIGHTDALE BLVD. KNIGHTDALE, NC 27545

### SKETCH PLAN PIN# 1754773240



VICINITY MAP  
NOT TO SCALE



#### SITE DATA

OWNER: AXIOM HOLDINGS, LLC  
OWNER ADDRESS: 3739 NATIONAL DR, STE. 105, RALEIGH, NC 27612

PROPERTY ADDRESS: 7800 KNIGHTDALE BLVD.  
PIN: 1754773240  
REID: 0115243  
DEED: D819287/DP1910  
PROPERTY AREA: 217,652 SF / 5.00 AC

EX. USE: VEHICLE/HEAVY EQUIPMENT SALES; AUTO PARTS SALES (R&K MARINE, INC.)  
PROPOSED USE: GENERAL RETAIL / MEDICAL SERVICES

EX. ZONING: HB - HIGHWAY BUSINESS  
OVERLAYS: NONE  
JURISDICTION: TOWN OF KNIGHTDALE

BUILDING AREA: 3,454 SF EXISTING TO BE DEMOLISHED  
BLDG #1 - 7,917 SF RETAIL  
BLDG #2 - 7,917 SF RETAIL  
BLDG #3 - 14,008 SF MEDICAL SERVICES  
TOTAL BLDG SF PROPOSED = 29,842 SF

FRONT SETBACK: 10' MIN., 30' MAX.  
SIDE SETBACK: 4' MIN.  
REAR SETBACK: 0' MIN.  
PARKING REAR SETBACK: 5'

BUILDING HEIGHT: 70' MAX (5-STORIES)  
BLDG. 1 & 2 - 30' PROPOSED (1-STORY) (SEE BLDG. ELEVATIONS)  
BLDG. 3 - 23' PROPOSED (1-STORY) (SEE BLDG. ELEVATIONS)

WATERSHED: MARKS CREEK  
WATERSHED OVERLAY: NONE  
RIVER BASIN: NEUSE RIVER BASIN

PUBLIC GATHERING SPACE: UDO SEC. 6.9. A MINIMUM OF 1 SF PER EVERY 25 SF OF GROSS FLOOR AREA OR 500 SF, WHICHEVER IS LESS. OF PUBLIC GATHERING SPACE SHALL BE PROVIDED.

TREE COVERAGE: SEE LANDSCAPE CALCULATIONS

LANDSCAPE BUFFERS: SEE PLAN VIEW FOR REQUIRED BUFFER YARDS

VEHICULAR PARKING: UDO SEC. 7.1.G. BASED ON PROPOSED USE

BLDG #1 GENERAL RETAIL (10K SF OR LESS)  
MIN- PARKING SPACES 1/2 MAXIMUM ALLOWED (14 MIN. SPACES)  
MAX- PARKING SPACES 3.5 PER KSF GFA  
7,917 / 1,000 SF = 7.9 X 3.5 = 27.6 (28) MAX PARKING SPACES ALLOWED

BLDG #2 GENERAL RETAIL (10K SF OR LESS)  
MIN- PARKING SPACES 1/2 MAXIMUM ALLOWED (14 MIN. SPACES)  
MAX- PARKING SPACES 3.5 PER KSF GFA  
7,917 / 1,000 SF = 7.9 X 3.5 = 27.6 (28) MAX PARKING SPACES ALLOWED

BLDG #3 MEDICAL SERVICES  
MIN- PARKING SPACES 1/2 MAXIMUM ALLOWED (39 MIN. SPACES)  
MAX- PARKING SPACES 3.5 PER KSF GFA  
14,008 / 1,000 SF = 14.008 X 3.5 = 49.028 (49) MAX PARKING SPACES ALLOWED

MIN- PARKING REQUIRED = 47 SPACES  
MAX- PARKING ALLOWED = 133 SPACES  
132 TOTAL PARKING SPACES PROVIDED INCLUDING 6 ADA VAN SPACES  
BLDG. 1 & 2 = 56 SPACES PROVIDED  
BLDG. 3 = 76 SPACES PROVIDED

ELECTRIC VEHICLE PARKING: UDO SEC. 7.1.I. NONRESIDENTIAL USES WITH OFF-STREET PARKING FOR MOTORIZED VEHICLES OF MORE THAN FORTY (40) SPACES SHALL PROVIDE ELECTRIC VEHICLE CHARGING STATIONS AT A RATE OF ONE (1) ELECTRIC VEHICLE CHARGING STATION FOR EVERY FORTY (40) MOTORIZED VEHICLE SPACES  
BLDG 1&2 - 56 / 40= 1.4 (2) EV CHARGING STATIONS REQUIRED/PROVIDED  
BLDG 3 - 77 / 40= 1.9 (2) EV CHARGING STATIONS REQUIRED/PROVIDED

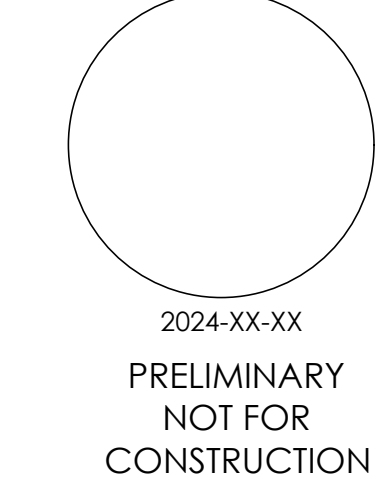
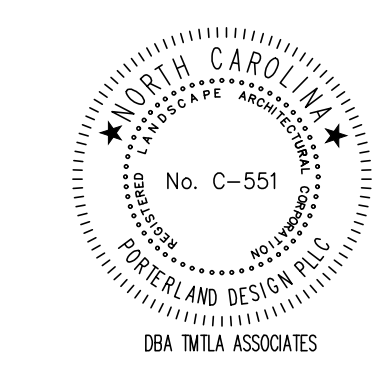
BICYCLE PARKING: UDO SEC. 7.1.F. ONE (1) BICYCLE PARKING SPACE FOR EVERY TEN (10) MOTORIZED VEHICLE SPACES  
BLDG 1&2 - 56 MOTOR VEHICLE SPACES / 10 = 5.6 (6) BIKE PARKING SPACES REQUIRED/PROVIDED  
BLDG 3 - 77 MOTOR VEHICLE SPACES / 10 = 7.7 (8) BIKE PARKING SPACES REQUIRED/PROVIDED

#### SUBMITTAL DATES

FIRST SUBMITTAL — 4/9/2024  
SECOND SUBMITTAL — 10/14/2024

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XXX — GRADING AND DRAINAGE PLAN  
XXX — UTILITY PLAN  
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L-4.0 — LANDSCAPE PLAN  
XXX — SITE DETAILS  
G100 — CONCEPT DESIGNS FOR BUILDINGS ONE & TWO  
A201 — BUILDING ONE EXTERIOR ELEVATIONS  
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A203 — BUILDING ONE & TWO ELEVATIONS & MATERIALS  
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A202 — BUILDING THREE EXTERIOR ELEVATIONS  
A203 — BUILDING THREE ELEVATIONS & MATERIALS



REVISIONS:

1. Tok Concept Plan Comments 2024-10-14

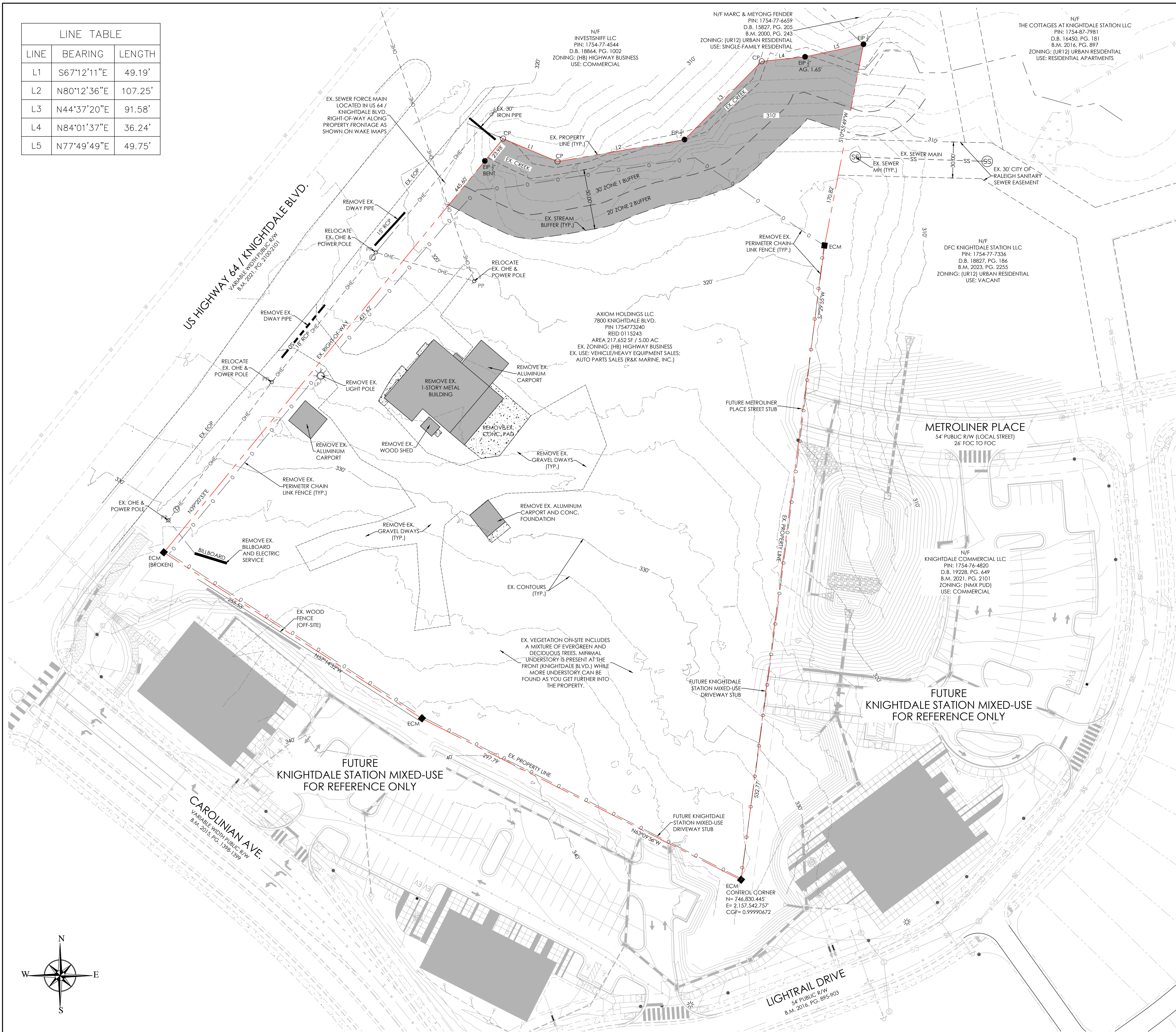
COVER SHEET  
7800 KNIGHTDALE BLVD.  
7800 KNIGHTDALE BLVD  
KNIGHTDALE, NC 27545  
TOK PROJECT #ZCP-7-24

SCALE:  
AS NOTED  
DRAWN BY:  
AJP  
PROJECT #  
24029  
DATE:  
4/9/2024  
SHEET  
L-0.0  
OF

LANDSCAPE ARCHITECTURE & LAND PLANNING  
5011 SOUTH PARK DRIVE, STE. 200-DURHAM, NC 27713  
p: (919) 484-8880 e: info@tmtla.com



LINE	BEARING	LENGTH
L1	S67°12'11"E	49.19'
L2	N80°12'36"E	107.25'
L3	N44°37'20"E	91.58'
L4	N84°01'37"E	36.24'
L5	N77°49'49"E	49.75'



### EXISTING CONDITIONS NOTES

- BOUNDARY AND FIELD TOPOGRAPHIC SURVEY PROVIDED BY STEWART-PROCTOR, MAY 2024.
- ADDITIONAL BASE INFORMATION PER WAKE COUNTY GIS.
- PROJECT SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL #372017540K (ZONE X) DATED JULY 19, 2022.
- THERE ARE NO PROTECTED WETLANDS WITHIN THE PROJECT SITE AS DETERMINED BY SOIL & ENVIRONMENTAL CONSULTANTS, INC.
- THERE ARE BUFFERED STREAMS WITHIN THE PROJECT SITE AS DETERMINED BY SOIL & ENVIRONMENTAL CONSULTANTS, INC.
- EXISTING CONDITIONS AS SHOWN ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE PROJECT SITE AND FAMILIARIZE WITH ACTUAL FIELD CONDITIONS PRIOR TO BIDDING AND COMMENCING WORK. IF FIELD CONDITIONS ARE FOUND TO BE SIGNIFICANTLY DIFFERENT THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER IMMEDIATELY.

### DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS TO PERFORM DEMOLITION WORK ON-SITE AND IN THE RIGHT-OF-WAY.
- IF ANY HAZARDOUS MATERIALS ARE FOUND ON SITE, THEY SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS HANDLER. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- CONTRACTOR SHALL PROTECT ADJACENT STRUCTURES AND INFRASTRUCTURE FROM DAMAGE DUE TO DEMOLITION ACTIVITIES. ANY DAMAGE OUTSIDE OF THE PROJECT LIMITS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- DEMOLITION SHALL BE PERFORMED WITH DUE CARE AND DILIGENCE. ALL STRUCTURES AND UTILITIES NOT DESIGNATED FOR REMOVAL OR MODIFICATION SHALL REMAIN AND BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGED INFRASTRUCTURE ON-SITE OR IN THE RIGHT-OF-WAY SHALL BE REPAIRED TO NCDOT OR TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS BY THE CONTRACTOR AT NO ADDITIONAL COST.
- ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF DISTURBANCE ABOVE AND BELOW GROUND SHALL BE DEMOLISHED AS NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. THIS INCLUDES, BUT IS NOT LIMITED TO, EXISTING TREES, VEGETATION, FENCES, PAVEMENTS, CURB AND GUTTER, STRUCTURES, FOUNDATIONS, POLES, SIGNAGE, WALLS, AND OTHER MISCELLANEOUS SITE ELEMENTS.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES ABOVE AND BELOW GROUND AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR ACTIVITIES. CONTRACTOR SHALL NOTIFY NORTH CAROLINA ONE CALL (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NORTH CAROLINA ONE CALL. THE CONTRACTOR MAY ALSO NEED TO ENGAGE A PRIVATE UTILITY LOCATING FIRM AT THEIR OWN COST TO EFFICIENTLY HAVE ALL UTILITIES LOCATED. CONTRACTOR SHALL REPORT ALL DISCOVERED UTILITIES DURING CONSTRUCTION TO THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER.
- CONTRACTOR SHALL COORDINATE UTILITY ABANDONMENT, REMOVAL, AND RELOCATION WITH THE APPROPRIATE UTILITY SERVICE PROVIDER. ALL UTILITY ABANDONMENT, REMOVAL AND RELOCATION WORK SHALL BE PERFORMED PER THE SERVICE PROVIDERS STANDARDS AND SPECIFICATIONS.
- REFERENCE SITE LAYOUT PLAN SHEET L-2 FOR LAYOUT DIMENSIONS AND EXTENT OF DEMOLITION AREAS. ALL PAVEMENT, CURB AND GUTTER AND SIDEWALK TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM LINE FOR REMOVAL. EXISTING PAVEMENT, CURB AND GUTTER, AND SIDEWALK NOT INDICATED FOR REMOVAL, WHICH IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED TO MATCH ORIGINAL CONFIGURATION.
- ALL DEMOLITION AND CONSTRUCTION WASTE SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR AND DISPOSED OF PROPERLY PER STATE, LOCAL, AND FEDERAL REGULATIONS.
- UNLESS OTHERWISE DIRECTED, THE CONTRACTOR SHALL PROTECT ALL TREES THAT ARE TO REMAIN AND FENCE THOSE WHICH MAY RISK DAMAGE FROM CONSTRUCTION EQUIPMENT OR WORK. TREE PROTECTION FENCING SHALL BE INSTALLED AS SHOWN ON THESE PLANS. ALL TREES WHICH ARE TO BE REMOVED SHALL BE DONE IN A MANNER WHICH WILL NOT INJURE PLANT MATERIAL TO REMAIN. STUMPS SHALL BE COMPLETELY REMOVED AND HAULED OFF.
- CONTRACTOR SHALL STRIP TOPSOIL AND STOCKPILE FOR LATER REUSE.
- EROSION AND SEDIMENTATION CONTROL MEASURES PER APPROVED EROSION CONTROL PLANS SHALL BE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES.

### LEGEND

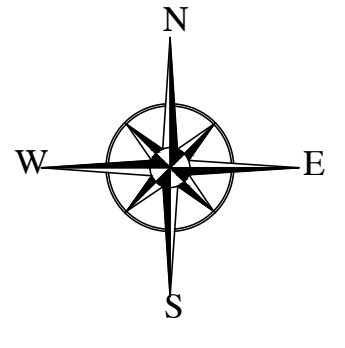


2024-XX-XX  
 PRELIMINARY  
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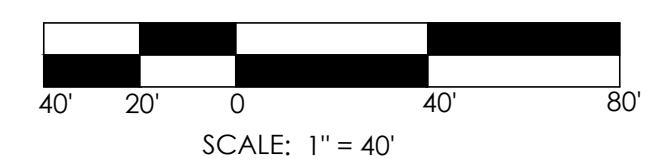
REVISIONS:  
 1. Tok Concept Plan Comments 2024-10-14

EXISTING CONDITIONS &  
 PRELIMINARY DEMOLITION PLAN  
**7800 KNIGHTDALE BLVD.**  
 7800 KNIGHTDALE BLVD  
 KNIGHTDALE, NC 27545  
 TOK PROJECT #ZCP-7-24

SCALE:  
 AS NOTED  
 DRAWN BY:  
 AJP  
 PROJECT #  
 24029  
 DATE:  
 4/9/2024  
 SHEET  
 L-1.0  
 OF



1 EXISTING CONDITIONS & PRELIMINARY DEMOLITION PLAN  
 L-1.0 SCALE: 1"=40'





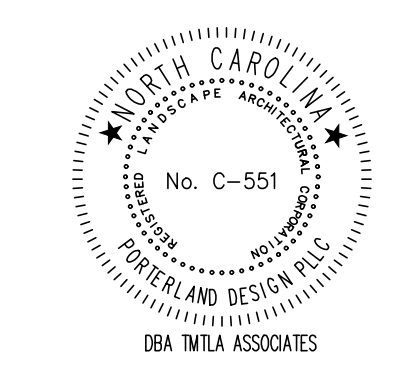
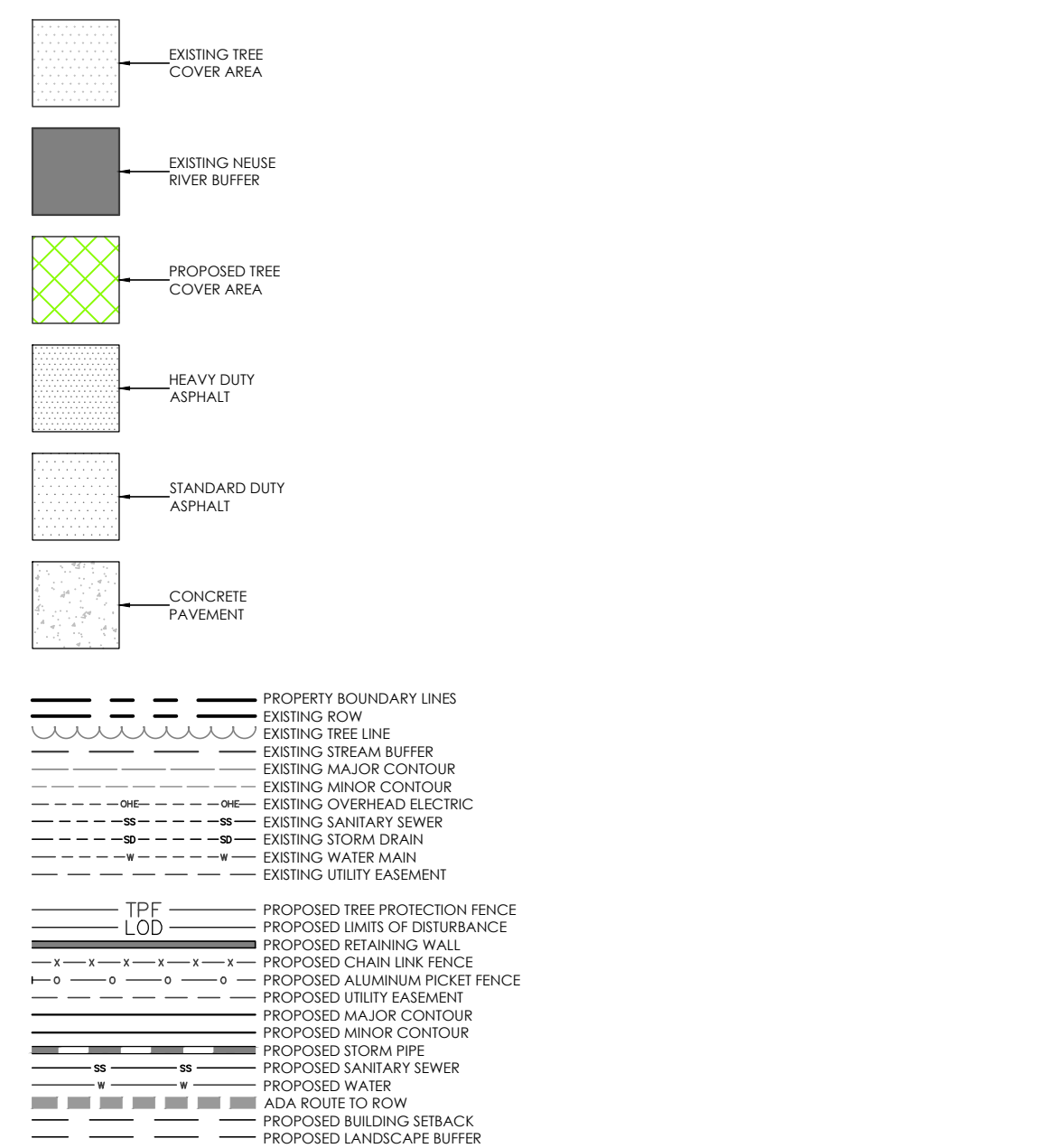
LINE	BEARING	LENGTH
L1	S67°12'11"E	49.19'
L2	N80°12'36"E	107.25'
L3	N44°37'20"E	91.58'
L4	N84°01'37"E	36.24'
L5	N77°49'49"E	49.75'



**SITE LAYOUT PLAN NOTES**

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE, AND NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE. IF DISCREPANCIES ARE FOUND THE MORE STRINGENT REQUIREMENTS WILL PREVAIL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO COMPLETE THE PROPOSED WORK. NO CHANGES MAY BE MADE TO THE APPROVED DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE ISSUING AUTHORITY.
- DIMENSIONS ARE TO EDGE OF PAVEMENT, EDGE OF SIDEWALK, BACK OF CURB, CENTERLINE OF COLUMN AND FACE OF BUILDING WALL UNLESS OTHERWISE NOTED. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL CONSTRUCTION TRADES PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO REFERENCE CURRENT ARCHITECTURAL DRAWINGS FOR BUILDING INFORMATION.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. PAINT STRIPING SHALL BE WHITE UNLESS OTHERWISE NOTED.
- ALL LANDSCAPE ISLANDS SHALL HAVE RAISED CURB AND GUTTER. MINIMUM CURB RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
- A SEPARATE PERMIT AND APPROVAL IS REQUIRED FOR SIGNS.
- FIRE LANE MARKING AND SIGNAGE TO BE IN ACCORDANCE WITH LOCAL GUIDELINES. CONTRACTOR TO CONTACT THE LOCAL FIRE MARSHAL FOR INSTRUCTIONS.
- THE SITE WILL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1-2009 AND CHAPTER 11 OF THE NCCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.
- ALL PAVEMENT PATCHING SHALL BE PERFORMED PER TOWN OF KNIGHTDALE OR NCDOT STANDARDS AND SPECIFICATION, AS APPLICABLE.
- CONTRACTOR SHALL UTILIZE SIGNS, BARRICADES, FLAGMEN OR GUARDS AS REQUIRED TO PROTECT THE SAFETY OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL WORK AS ILLUSTRATED ON THE PLANS. ALL PROJECT STAKING SHALL BE PERFORMED BY A REGISTERED PROFESSIONAL SURVEYOR PAID BY THE CONTRACTOR. DO NOT SCALE THE DRAWINGS. DIGITAL INFORMATION IS PROVIDED FOR CONSTRUCTION DRAWINGS. IF EXISTING CONDITIONS DIFFER FROM THOSE ILLUSTRATED ON THE PLANS, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR TO COMPLETE THE WORK ILLUSTRATED ON THE DRAWINGS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURB EXISTS.
- ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND UNLESS OTHERWISE NOTED.

**LEGEND**

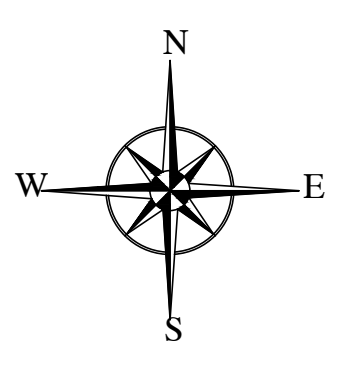


2024-XX-XX  
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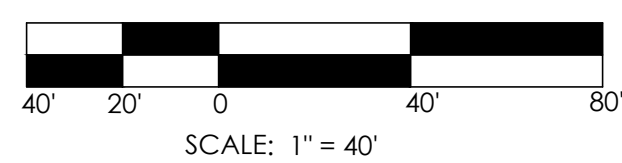
REVISIONS:  
 1. Tok Concept Plan Comments 2024-10-14

**SITE LAYOUT PLAN**  
**7800 KNIGHTDALE BLVD.**  
 7800 KNIGHTDALE BLVD  
 KNIGHTDALE, NC 27545  
**TOK PROJECT #ZCP-7-24**

SCALE:  
 AS NOTED  
 DRAWN BY:  
 AJP  
 PROJECT #  
 24029  
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 4/9/2024  
 SHEET  
**L-2.0**  
 OF



**1 SITE LAYOUT PLAN**  
 L-2.0 SCALE: 1"=40'





LINE TABLE		
LINE	BEARING	LENGTH
L1	S67°12'11"E	49.19'
L2	N80°12'36"E	107.25'
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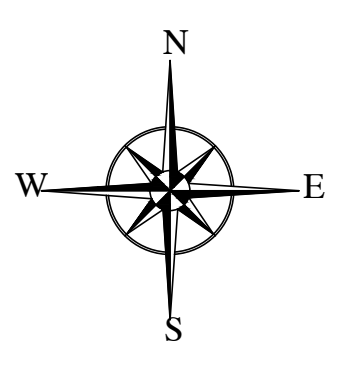
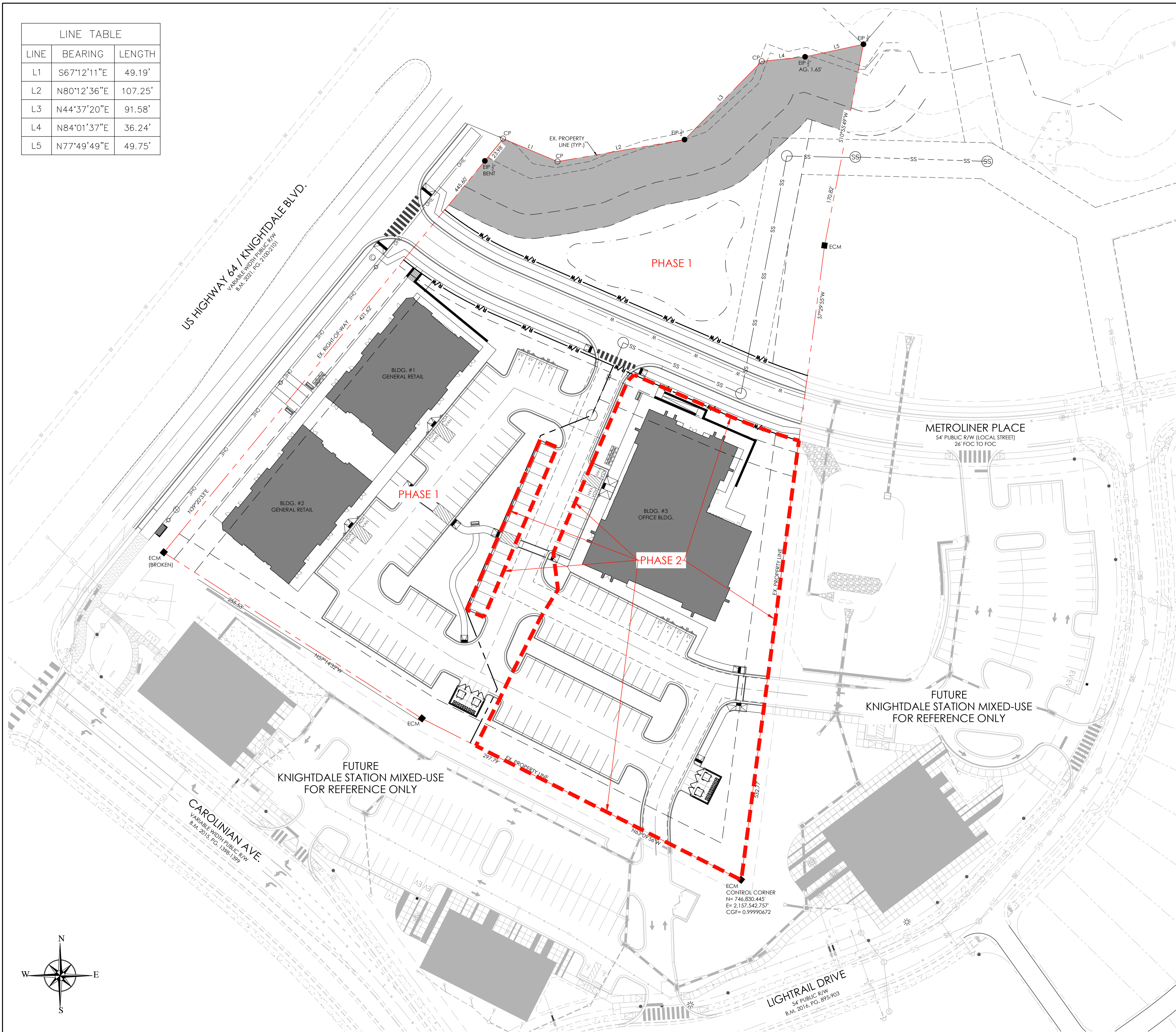
**PHASING PLAN NOTES**

- THE 7800 KNIGHTDALE BLVD. PROJECT WILL BE CONSTRUCTED IN TWO PHASES.
  - PHASE 1 - ALL WORK OUTSIDE OF THE PHASE 2 AREA SHOWN ON THIS PLAN.
  - PHASE 2 - ALL WORK INSIDE THE PHASE 2 AREA SHOWN ON THIS PLAN.

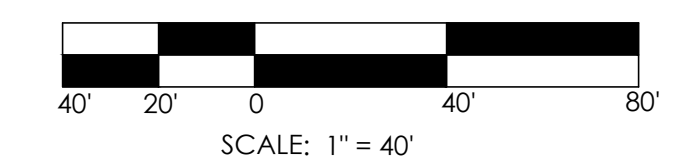
**LEGEND**

--- PHASE LINE

- EXISTING TREE COVER AREA
- EXISTING HOUSE RIVER BUFFER
- PROPOSED TREE COVER AREA
- HEAVY DUTY ASPHALT
- STANDARD DUTY ASPHALT
- CONCRETE PAVEMENT
- PROPERTY BOUNDARY LINES
- EXISTING ROW
- EXISTING TREE LINE
- EXISTING STREAM BUFFER
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING OVERHEAD ELECTRIC
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- EXISTING WATER MAIN
- EXISTING UTILITY EASEMENT
- PROPOSED TREE PROTECTION FENCE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED RETAINING WALL
- PROPOSED CHAIN LINK FENCE
- PROPOSED ALUMINUM PICKET FENCE
- PROPOSED UTILITY EASEMENT
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED STORM PIPE
- PROPOSED SANITARY SEWER
- PROPOSED WATER
- ADA ROUTE TO ROW
- PROPOSED BUILDING SETBACK
- PROPOSED LANDSCAPE BUFFER



1 PHASING PLAN  
L-2.1 SCALE: 1"=40'



2024-XX-XX  
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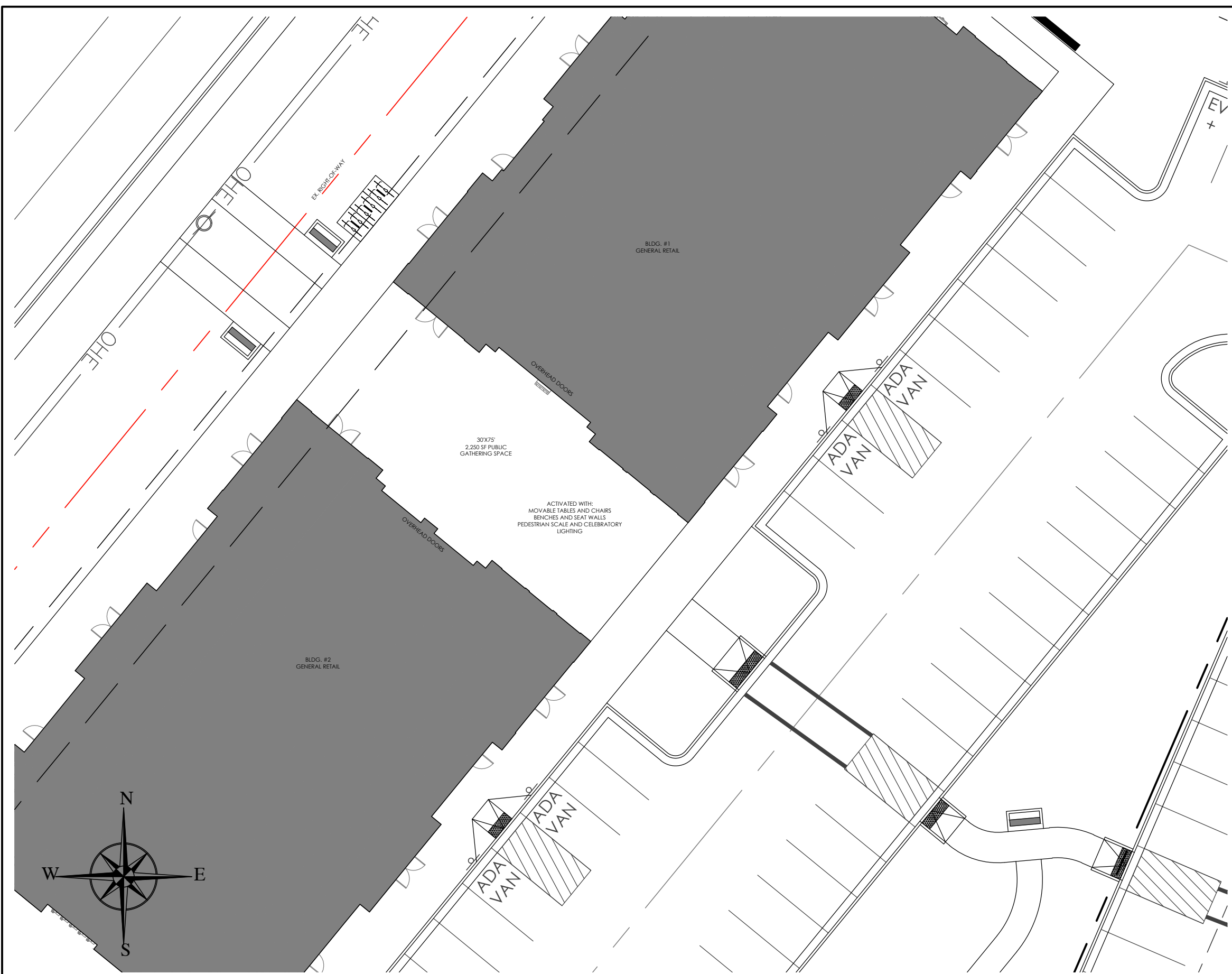
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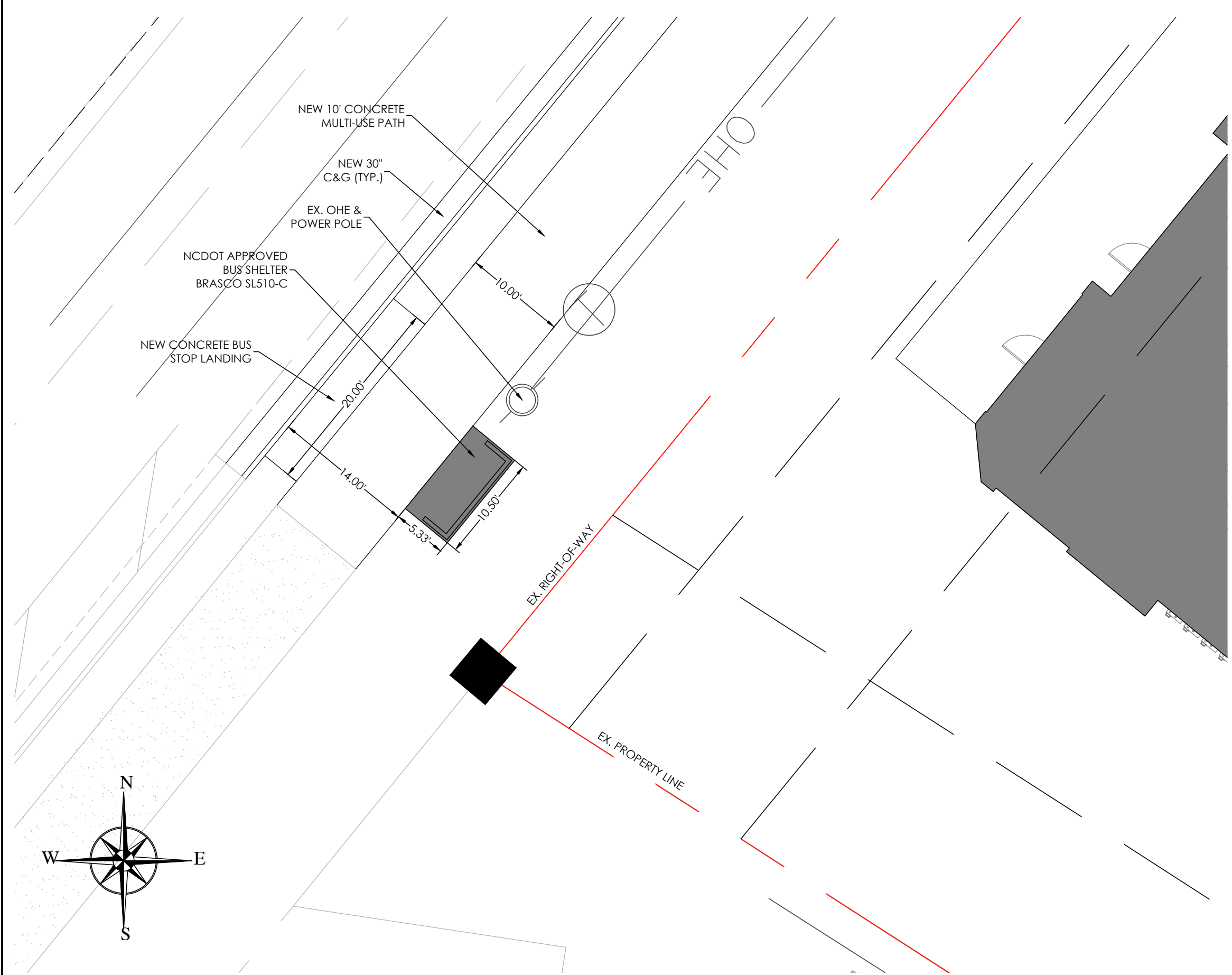
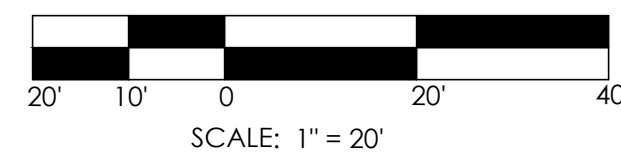
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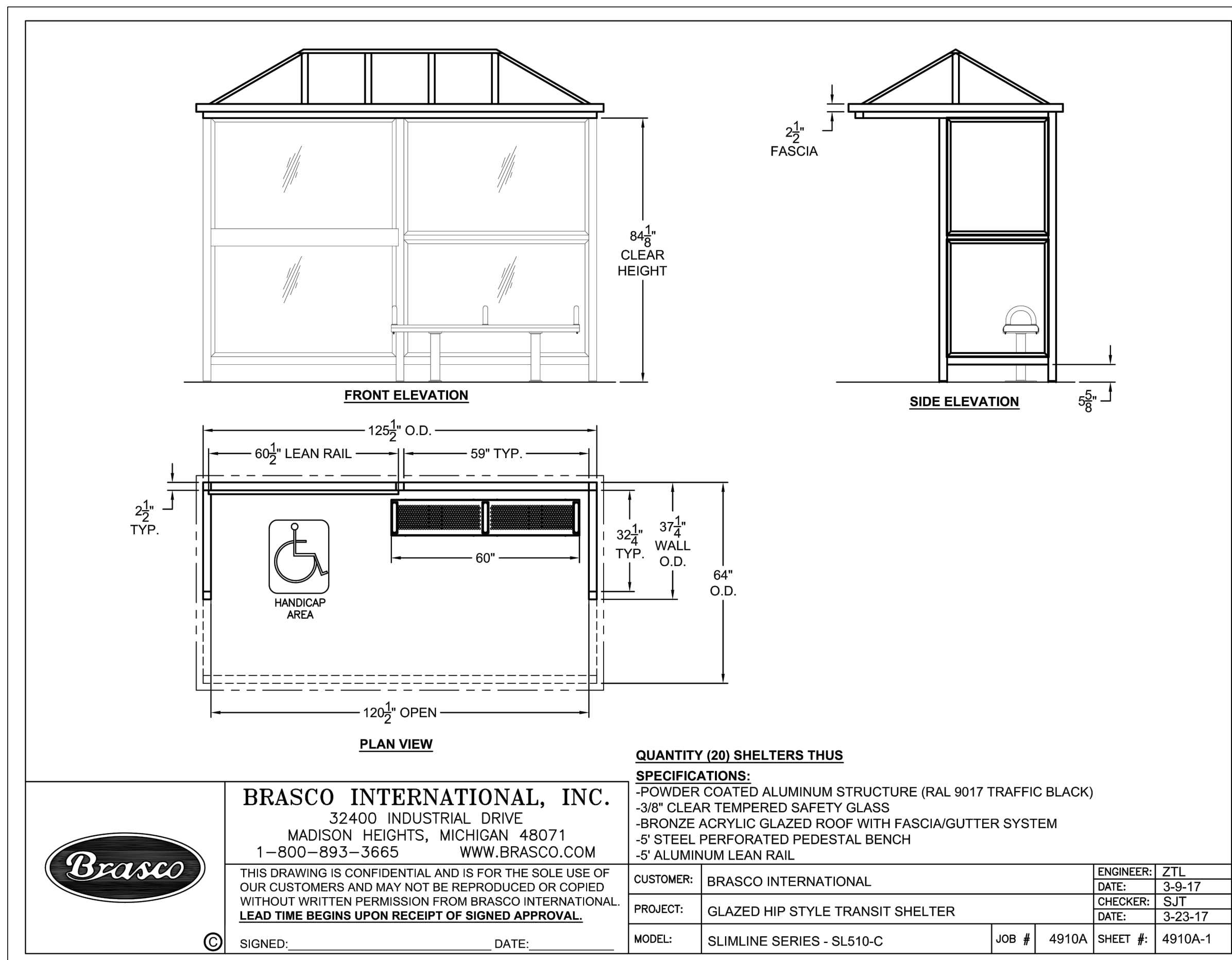
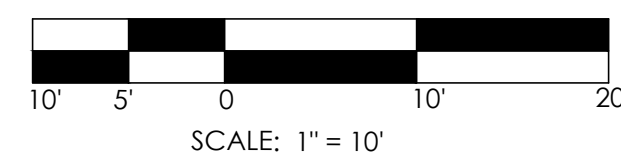




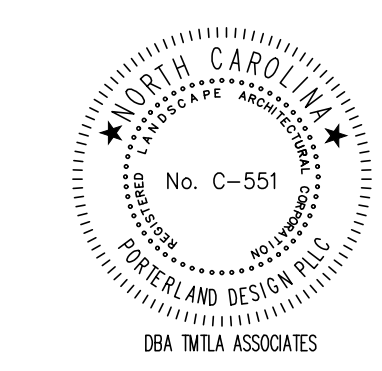
1 PUBLIC GATHERING SPACE  
L-2.2 SCALE: 1"=20'



2 BUS STOP PLAN  
L-2.2 SCALE: 1"=10'



3 BUS SHELTER DETAIL  
L-2.2 SCALE: 1"=10'



2024-XX-XX  
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EXPANDED PLAN VIEWS  
7800 KNIGHTDALE BLVD.  
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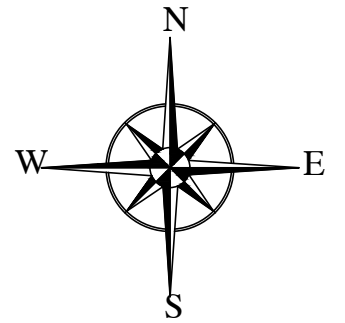


**SITE LIGHTING PLAN NOTES**

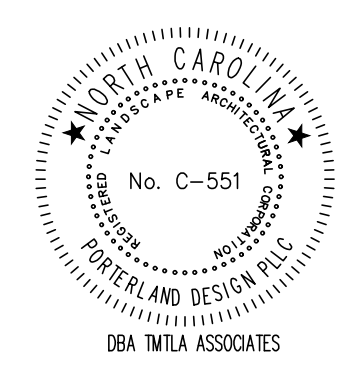
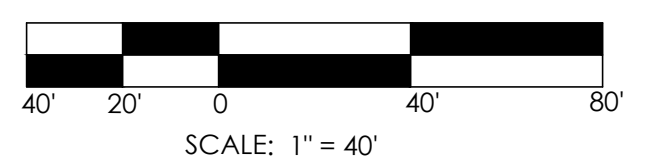
1. PROPOSED SITE LIGHTING SHALL MEET ALL STANDARDS AND SPECIFICATIONS OF THE TOWN OF KNIGHTDALE AND NCDOT AS APPLICABLE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO COMPLETE THE PROPOSED WORK.
3. LIGHTING SHALL BE ORIENTED NOT TO DIRECT GLARE OR EXCESSIVE ILLUMINATION ONTO STREETS IN A MANNER THAT MAY DISTRACT OR INTERFERE WITH THE VISION OF MOTOR VEHICLE DRIVERS ON SUCH STREETS.
4. CONTRACTOR TO COORDINATE ALL BUILDING MOUNTED LIGHTING WITH ELECTRICAL DESIGNER.
5. CONTRACTOR SHALL COORDINATE LIGHT FIXTURE, AND LIGHT POLE INSTALLATION WITH DUKE ENERGY.
6. CONTRACTOR TO PROVIDE 2" SCHEDULE 40 PVC ELECTRICAL CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AND AS NECESSARY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES/POLES AND CONNECT BACK TO ELECTRICAL TIE IN LOCATION.
7. CONTRACTOR TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS PRIOR TO PAVING.
8. ALL ELECTRICAL CONDUIT, LIGHT POLES, AND FIXTURES TO BE FURNISHED BY THE CONTRACTOR.
9. ALL CONDUIT ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
10. ALL CONDUITS MORE THAN 20' IN LENGTH SHALL HAVE A POLY STRING INSTALLED.
11. ALL PVC JOINTS ARE TO BE SOLVENT WELDED.

**LEGEND**

	EXISTING TREE COVER AREA
	EXISTING HOUSE RIVER BUFFER
	PROPOSED TREE COVER AREA
	HEAVY DUTY ASPHALT
	STANDARD DUTY ASPHALT
	CONCRETE PAVEMENT
	PROPERTY BOUNDARY LINES
	EXISTING ROW
	EXISTING TREE LINE
	EXISTING STREAM BUFFER
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING OVERHEAD ELECTRIC
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING WATER MAIN
	EXISTING UTILITY EASEMENT
	PROPOSED TREE PROTECTION FENCE
	PROPOSED LIMITS OF DISTURBANCE
	PROPOSED RETAINING WALL
	PROPOSED CHAIN LINK FENCE
	PROPOSED ALUMINUM PICKET FENCE
	PROPOSED UTILITY EASEMENT
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED STORM PIPE
	PROPOSED SANITARY SEWER
	PROPOSED WATER
	ADA ROUTE TO ROW
	PROPOSED BUILDING SETBACK
	PROPOSED LANDSCAPE BUFFER



1 SITE LIGHTING PLAN  
L-3.0 SCALE: 1"=40'



2024-XX-XX  
PRELIMINARY  
NOT FOR  
CONSTRUCTION

**REVISIONS:**

1. Tok Concept Plan Comments 2024-10-14

SITE LIGHTING PLAN  
7800 KNIGHTDALE BLVD.  
7800 KNIGHTDALE BLVD  
KNIGHTDALE, NC 27545  
TOK PROJECT #ZCP-7-24

SCALE:  
AS NOTED  
DRAWN BY:  
AJP  
PROJECT #  
24029  
DATE:  
4/9/2024  
SHEET  
L-3.0  
OF

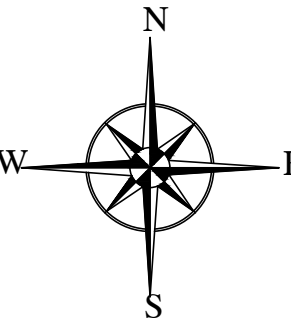


**LEGEND**

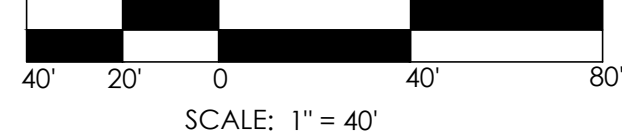
- EXISTING TREE COVER AREA
- EXISTING HEDGE RIVER BUFFER
- PROPOSED TREE COVER AREA
- HEAVY DUTY ASPHALT
- STANDARD DUTY ASPHALT
- CONCRETE PAVEMENT
- PROPERTY BOUNDARY LINES
- EXISTING STREAM BUFFER
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING OVERHEAD ELECTRIC
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- EXISTING WATER MAIN
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- PROPOSED TREE PROTECTION FENCE
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- PROPOSED STORM PIPE
- PROPOSED SANITARY SEWER
- PROPOSED WATER
- ADA ROUTE TO ROW
- PROPOSED BUILDING SETBACK
- PROPOSED LANDSCAPE BUFFER

**US HIGHWAY 64 / KNIGHTDALE BLVD.**  
 VARIABLE WIDTH LOCAL STREET  
 B.M. 2011, P.G. 2109-2201

**CAROLINIAN AVE.**  
 VARIABLE WIDTH LOCAL STREET  
 B.M. 2015, P.G. 1398-1399



**1 LANDSCAPE PLAN**  
 L-4.0 SCALE: 1" = 40'



**LANDSCAPE CALCULATIONS**

**UDO SEC. 7.4.J. INTERIOR PARKING LOT LANDSCAPING**  
 APPLICABILITY: PARKING LOTS WITH MORE THAN SIXTEEN (16) PARKING SPACES SHALL BE LANDSCAPED.  
 MINIMUM PLANTINGS: NO PARKING SPACE SHALL BE MORE THAN SIXTY (60) FEET FROM THE BASE OF A DECIDUOUS CANOPY TREE. IN ADDITION, LANDSCAPE AREAS SHALL BE PROVIDED AT THE END OF EACH PARKING ROW AND SHALL CONTAIN A DECIDUOUS CANOPY TREE.  
 PERFORMANCE STANDARDS: DECIDUOUS CANOPY TREES SHALL BE PLANTED IN A MANNER THAT PROVIDES SHADE FOR THE ENTIRE PARKING LOT AT MATURITY. EACH CANOPY TREE SHALL BE PROVIDED WITH A MINIMUM PERVIOUS GROUND AREA OF THREE HUNDRED (300) SQUARE FEET FOR ADEQUATE ROOT GROWTH WHICH SHALL BE SEPARATED FROM PARKING SPACES BY AN EIGHTEEN (18) INCH STANDARD CURB AND GUTTER DESIGNED TO MINIMIZE DAMAGE BY VEHICLES TO PLANTS WITHIN THE LANDSCAPED AREA.

**UDO SEC. 7.4.L. STREET TREE PLANTINGS**  
 STREET TREES SHALL BE CANOPY TREES AND SHALL BE INSTALLED AT A MINIMUM AVERAGE DISTANCE OF FORTY (40) FEET ON CENTER IN A PLANTING STRIP A MINIMUM OF FIVE (5) FEET IN WIDTH.  
 STREET TREES SHALL BE PLACED AT LEAST TEN (10) FEET FROM LIGHT POLES AND TWELVE (12) FEET FROM ELECTRICAL TRANSFORMERS IN ORDER TO ALLOW THESE UTILITIES TO BE SAFELY SERVICED (UNDERSTORY TREES MAY BE PLACED WITHIN FIVE (5) FEET OF SUCH DEVICES).  
 STREET TREES SHALL BE DECIDUOUS HARDWOODS AND SHALL MEET THE CRITERIA SET FORTH IN SECTION 7.4 (C).

**KNIGHTDALE BLVD. - 392 LF FRONTAGE**  
 392 LF / 40 LF = 9.8 (10) STREET TREES REQUIRED/PROVIDED  
**METROLINER PL. (NORTH) - 333 LF FRONTAGE**  
 333 LF / 40 LF = 8.3 (8) STREET TREES REQUIRED/PROVIDED  
**METROLINER PL. (SOUTH) - 330 LF FRONTAGE**  
 330 LF / 40 LF = 8.2 (8) STREET TREES REQUIRED/PROVIDED

**UDO SEC. 7.4.M. OVERALL TREE CANOPY**  
 ALL NEW DEVELOPMENT ON LOTS OR PARCELS OVER TWO (2) ACRES MUST MEET THE FOLLOWING TREE COVER REQUIREMENT DURING THE INITIAL MASTER PLAN PROCESS. A TREE COVER AREA EQUAL TO THE PERIMETER OF THE DEVELOPMENT IN FEET MULTIPLIED BY TWENTY (20) SHALL BE MAINTAINED ON-SITE UP TO A MAXIMUM TREE COVER AREA CONSISTING OF TEN (10) PERCENT OF THE ENTIRE SITE. ANY REQUIRED LANDSCAPE BUFFER YARDS AND NEUSE RIVER BASIN RIPARIAN BUFFERS (NRBS) MAY BE CREDITED TOWARD THIS REQUIREMENT. IN THE EVENT THAT THE REQUIRED TREE COVER AREA CANNOT BE MET WITH THE REQUIRED LANDSCAPE BUFFER YARDS AND NRBS, ADDITIONAL SPACE MUST BE SET ASIDE. IN THIS ADDITIONAL SPACE, PREFERENCE IS GIVEN TO PRESERVING EXISTING TREES RATHER THAN UTILIZING NEW PLANTINGS.  
 EXISTING PARCEL PERIMETER = 2,037 LF X 20 = 40,740 SF / 0.94 AC (0.94 AC / 5.0 AC = 18.8%)  
 PARCEL AREA = 217,452 SF X 0.1 = 21,745 SF / 0.50 AC  
 MIN. REQUIRED TREE COVER AREA = 21,745 SF / 0.50 AC  
 TREE PRESERVATION AREA PROVIDED = XX,XXX SF  
 TREE REPLACEMENT AREA PROVIDED = XX,XXX SF  
 TOTAL TREE COVER PROVIDED = 42,953 SF

**LANDSCAPE PLAN NOTES**

1. ALL PLANT MATERIAL ON THIS SITE MUST MEET MINIMUM TOWN OF KNIGHTDALE UDO REQUIREMENTS FOR SIZE, HEIGHT, AND SPACING. PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS WITHIN THIS PLAN SET.
2. PLANTING STOCK SHALL MEET ALL STANDARDS WITHIN THE LATEST EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK." ALL PLANTS SHALL BE VIGOROUS, HEALTHY MATERIAL FREE FROM PESTS AND DISEASE.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE PROJECT SITE AND FAMILIARIZE WITH ACTUAL FIELD CONDITIONS PRIOR TO BIDDING AND COMMENCING WORK. THE CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT THE SITE AND PERFORM THE WORK SPECIFIED INCLUDING THE FINE GRADING AND INCORPORATION OF TOPSOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATIONS FROM GRADES AND CONDITIONS SHOWN WEATHER SURFACE OR SUBSURFACE. IF FIELD CONDITIONS ARE FOUND TO BE SIGNIFICANTLY DIFFERENT THE CONTRACTOR SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT OR ENGINEER IMMEDIATELY AND PRIOR TO ORDERING MATERIALS.
4. CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS TO PERFORM THE WORK.
5. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES ABOVE AND BELOW GROUND AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM THEIR ACTIVITIES. CONTRACTOR SHALL NOTIFY NORTH CAROLINA ONE CALL (1-800-432-4499) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NORTH CAROLINA ONE CALL. THE CONTRACTOR MAY ALSO NEED TO ENGAGE A PRIVATE UTILITY LOCATING FIRM AT THEIR OWN COST TO EFFICIENTLY HAVE ALL UTILITIES LOCATED.
6. ANY DAMAGE TO EXISTING IMPROVEMENTS OUTSIDE OF THE PROJECT LIMITS, INCLUDING CURB AND GUTTER, SIDEWALKS, PAVED OR TURF AREAS SHALL BE REPAIRED TO ORIGINAL CONDITIONS BY THE CONTRACTOR WITHOUT ADDITIONAL COST TO THE DEVELOPER.
7. PLANT QUANTITIES TO BE VERIFIED BY LANDSCAPE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE PLANS AS COMPARED TO THE PLANT LIST THE CONTRACTOR SHALL PROVIDE THE QUANTITY SHOWN ON THE PLANS.
8. CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OR MODIFICATIONS TO THE LANDSCAPE PLANS. THIS MAY REQUIRE A MODIFICATION TO THE APPROVED PLANS. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES ON THE PLANS.
9. ALL ABOVE GROUND MECHANICAL EQUIPMENT, ELECTRICAL TRANSFORMERS, DUMPSTERS, BACKFLOW PREVENTERS, AND VALVE BOXES SHALL BE SCREENED FROM VIEW OF ADJACENT PROPERTIES AND RIGHT-OF-WAY WHILE MAINTAINING REQUIRED ACCESS TO LOCAL CODE STANDARDS AND REQUIREMENTS.
10. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTIONS BETWEEN TWO FEET AND EIGHT FEET IN HEIGHT ABOVE THE NEAREST VEHICLE SURFACE OR ADJACENT CURB LINE SHALL BE ALLOWED.
11. ALL UNPAVED AREAS SHALL BE TOPSOILED AND SEEDED / SODDED OR MULCHED TO THE LIMITS OF CONSTRUCTION BASED ON ACTUAL FIELD CONDITIONS BEYOND THE APPROVED PLANS.
12. ALL SOD TO BE REBEL FESCUE IV, TURF GEM, LESCO OR EQUAL. ALL SEED TO BE REBEL FESCUE IV, TURF GEM, LESCO OR EQUAL @ 6 LBS. PER 1000 S.F. IN LAWN AREAS 3" TOPSOIL SHALL BE TILED INTO THE TOP 6" OF GROUND PRIOR TO SEEDING.
13. SLOPES GREATER THAN 3:1 SHALL REQUIRE HYDRO-SEEDING. SLOPES GREATER THAN 2:1 SHALL BE SODDED WITH CENTIPEDE GRASS. ADDITIONAL STABILIZATION MEASURES MAY BE REQUIRED FOR SLOPES GREATER THAN 3:1 TO ENSURE SOIL STABILIZATION AND ESTABLISHMENT OF PERMANENT GROUND COVER.
14. INTERIOR MULCH SHALL BE DOUBLE GROUND PINE BARK TO A DEPTH OF 4". PERIMETER LANDSCAPE BUFFERS SHALL BE MULCHED WITH 4" PINE STRAW TO BED LINES SHOWN OR BUFFER LIMITS. BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS.
15. PINE STRAW SHALL NOT BE USED AS MULCH OR GROUND COVER WITHIN TEN FEET OF ANY STRUCTURES CONSISTING OF EXTERIOR COMBUSTIBLE CONSTRUCTION.
16. CONTRACTOR SHALL LEVEL AND SMOOTH ALL DISTURBED AREAS AND REMOVE ALL ROCKS AND CONSTRUCTION DEBRIS PRIOR TO SEEDING, SOD OR PLANT INSTALLATION.
17. NOTE THAT WITHIN LANDSCAPED AREAS SURROUNDING BUILDING, THE GRADES SHOWN ON THE GRADING SHEET ARE "TOP OF MULCH" OR "TOP OF TOPSOIL." CONTRACTOR SHALL ENSURE POSITIVE FINISHED DRAINAGE (MIN. 2%) AWAY FROM ALL BUILDINGS AND COORDINATE WITH THE LANDSCAPE PLAN TO LEAVE SUBGRADE LOW ENOUGH TO MAINTAIN THESE SPOTS AS FINISHED GRADE.
18. OWNER SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THIS PLAN.
19. TREE PLANTING AND SITE LIGHTING SHALL BE SEPARATED BY AT LEAST 10 FEET.

**LANDSCAPE SCOPE OF WORK**

1. FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT REQUIRED OR INDICATED BY THE DRAWINGS AND SPECIFICATIONS TO COMPLETE THE WORK INCLUDING INSTALLATION OF ALL TREES, SHRUBS, GROUND COVER, ANNUALS, SEED, SOD AND MULCH.
2. MATERIALS AND WORK:  
 THE SELECTION OF ALL MATERIALS AND THE EXECUTION OF ALL WORK REQUIRED UNDER THE CONTRACT SHALL BE SUBJECT TO APPROVAL BY THE OWNER. THE OWNER SHALL HAVE THE RIGHT TO REJECT ANY AND ALL MATERIALS AND ANY AND ALL WORK, WHICH IN HIS OPINION, DOES NOT MEET THE REQUIREMENTS OF THE CONTRACT.
3. PLANT MATERIALS:  
 ALL PLANT MATERIALS SHALL BE NURSERY GROWN, FRESHLY DUG IN THE FIELD, NATURALLY SHAPED, WELL BRANCHED, FULLY FOLIATED WHEN IN LEAF WITH FULLY DEVELOPED ROOT SYSTEMS. TREES MUST BE SELF-SUPPORTING, WITH STRAIGHT TRUNKS AND LEADERS INTACT. ALL PLANTS MUST BE FREE OF DISEASE, INSECT INFESTATION OR THEIR EGGS AND SHALL HAVE BEEN GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
4. PLANT SIZE:  
 SPECIFIED SIZES INDICATES THE MINIMUM ALLOWABLE SIZE AT PLANTING, WHERE CONTAINER AND HEIGHT/SPREADS ARE INDICATED FOR A SINGLE SPECIES. BOTH SIZE REQUIREMENTS SHALL BE MET WHEN ONLY PLANT HEIGHT OR SPREAD ARE INDICATED. CONTAINER SIZE SHALL BE BASED ON "AMERICAN STANDARDS FOR NURSERY STOCK" STANDARDS.
5. ORGANIC MATTER:  
 AGED MANURE, COMPOST OR PINE BARK FINES, AT THE OPTION OF THE CONTRACTOR, MATERIAL SHALL BE AIR DRIED, FINELY SHREDDED AND SUITABLE FOR HORTICULTURAL PURPOSES AND SHALL CONTAIN NO MORE THAN 35% MOISTURE CONTENT BY WEIGHT.
6. PINE BARK MULCH:  
 ALL PINE BARK MULCH SHALL BE CLEAN, DOUBLE GROUND, FINE TEXTURED NUGGET MULCH WITH MINIMAL AMOUNTS OF SAPWOOD CONTENT.
7. TURF AREAS:  
 PRIOR TO ANY SEEDING OR SOD APPLICATION, VERIFY THAT ALL TRENCHING AND LAND DISTURBING ACTIVITIES HAVE BEEN COMPLETED. ENSURE ALL AREAS ARE FREE OF STONES, LARGE SOIL CLOUDS AND ANY OTHER CONSTRUCTION DEBRIS.

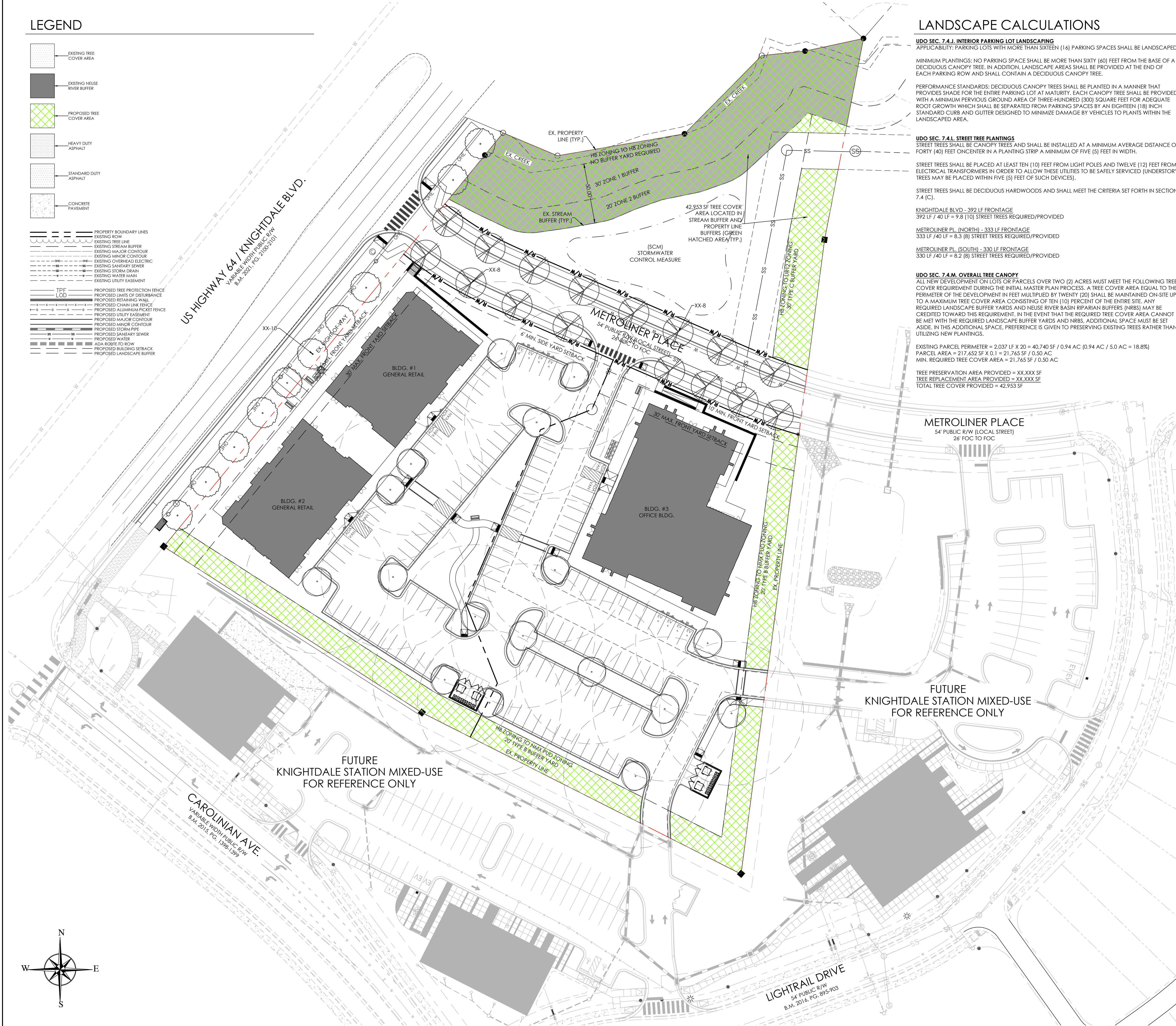


2024-XX-XX  
 PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

**REVISIONS:**  
 1. Tok Concept Plan Comments 2024-10-14

**LANDSCAPE PLAN**  
**7800 KNIGHTDALE BLVD.**  
 7800 KNIGHTDALE BLVD  
 KNIGHTDALE, NC 27545  
**TOK PROJECT #ZCP-7-24**

SCALE:  
 AS NOTED  
 DRAWN BY:  
 AJP  
 PROJECT #  
 24029  
 DATE:  
 4/9/2024  
 SHEET  
**L-4.0**  
 OF





# Knightdale Concept Design

7800 Knightdale Blvd,  
Knightdale, NC 27545

Concept Designs for Buildings One & Two



Evolution Design & Development  
608 Matthews-Mint Hill Rd, Suite 102,  
Matthews, NC 28105  
980.579.0581  
contact@evolution-dd.com  
evolution-dd.com

Project Number 2024-10  
Date 8-19-24

**G100**























# Knightsdale Concept Design

7800 Knightsdale Blvd,  
Knightsdale, NC 27545

Concept Design for Building Three



**EVOLUTION DESIGN**  
&  
**DEVELOPMENT**  
INNOVATIVE DESIGN NEXT LEVEL LIVING

Evolution Design & Development  
608 Matthews-Mint Hill Rd, Suite 102,  
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Project Number 2024-10  
Date 9-15-24

**G100**











