

MAILMAN POST AMENDMENT TO MASTER PLAN

MAILMAN ROAD
KNIGHTDALE, NC

DATE: JUNE 26, 2023
REV: JANUARY 4, 2024
ZMA-10-22

PROJECT DATA:

NAME OF PROJECT:

MAILMAN POST

ADDRESS: 438 MAILMAN ROAD, ST. MATTHEW'S, NC 27545; 409 MAILMAN ROAD, ST. MATTHEW'S NC 27545; 417 MAILMAN ROAD, ST. MATTHEW'S, NC; 1324 FAYETTEVILLE ST, ST. MATTHEW'S, NC 27545; 0 MAILMAN ROAD, ST. MATTHEW'S, NC

NC PIN(S): 1763-08-8851, 1763-08-3716, 1763-09-5280, 1763-09-5560, 1753-98-9828, 1753-98-9764, 1753-98-0579, PORTION OF 1753-89-9448

DEED REFERENCE: DB. 14674 PG. 1408, DB. 18802 PG. 2455, DB. 16990 PG. 2508, DB 17-E PG 2129, DB. 8228 PG. 609

LANDOWNERS:

GIOVANNI MORTARINO TRUSTEE
2830 CHALEMAGNE DRIVE, VIRGINIA BEACH, VA 23451

POPE, JASON RICHARD, MARKIE S
417 MAILMAN RD, KNIGHTDALE, NC 27545

PUBLIC SERVICE COMPANY OF NORTH CAROLINA, INC
SCANA LAND DEPT
220 OPERATION WAY, CAYCE, SC 29033

POPE HEIRS, ET AL,
PO BOX 142, KNIGHTDALE, NC 27545

POPE, DAVID WAYNE POPE, RENEE G
1305 FAYETTEVILLE ST, KNIGHTDALE, NC 27545

PREPARED BY:

MCKIM & CREED, INC.
1730 VARSITY DRIVE, SUITE 500, RALEIGH, NC 27606
PHONE: (919) 233-8091
CONTACT: LUKE TURNER, KLTurner@mckimcreed.com

DEVELOPER:

TURNBRIDGE EQUITIES
4800 HAMPDEN LANE, SUITE 200, BETHESDA, MD 20814
PHONE: (301) 366-6222
CONTACT: JASON DAVIS, jd@turnbridgeeq.com

CURRENT ZONING: RT (WEST), GR3-PUD (EAST)

CURRENT USE: SF RESIDENTIAL & VACANT

PROPOSED ZONING: GR-3-PUD GENERAL RESIDENTIAL-3, PLANNED UNIT DEVELOPMENT

PROPOSED USE: SF RESIDENTIAL

TOTAL PROJECT AREA: 73.91 ACRES (302 UNITS, 30.23 AC)

PROPOSED DENSITY: 4.09 DU/A

RIVER BASIN: NEUSE

SURFACE WATER CLASSIFICATION: C, NSW

FIRM PANEL #(s): 3720176300K & 3720175300K EFFECTIVE 07/19/2022

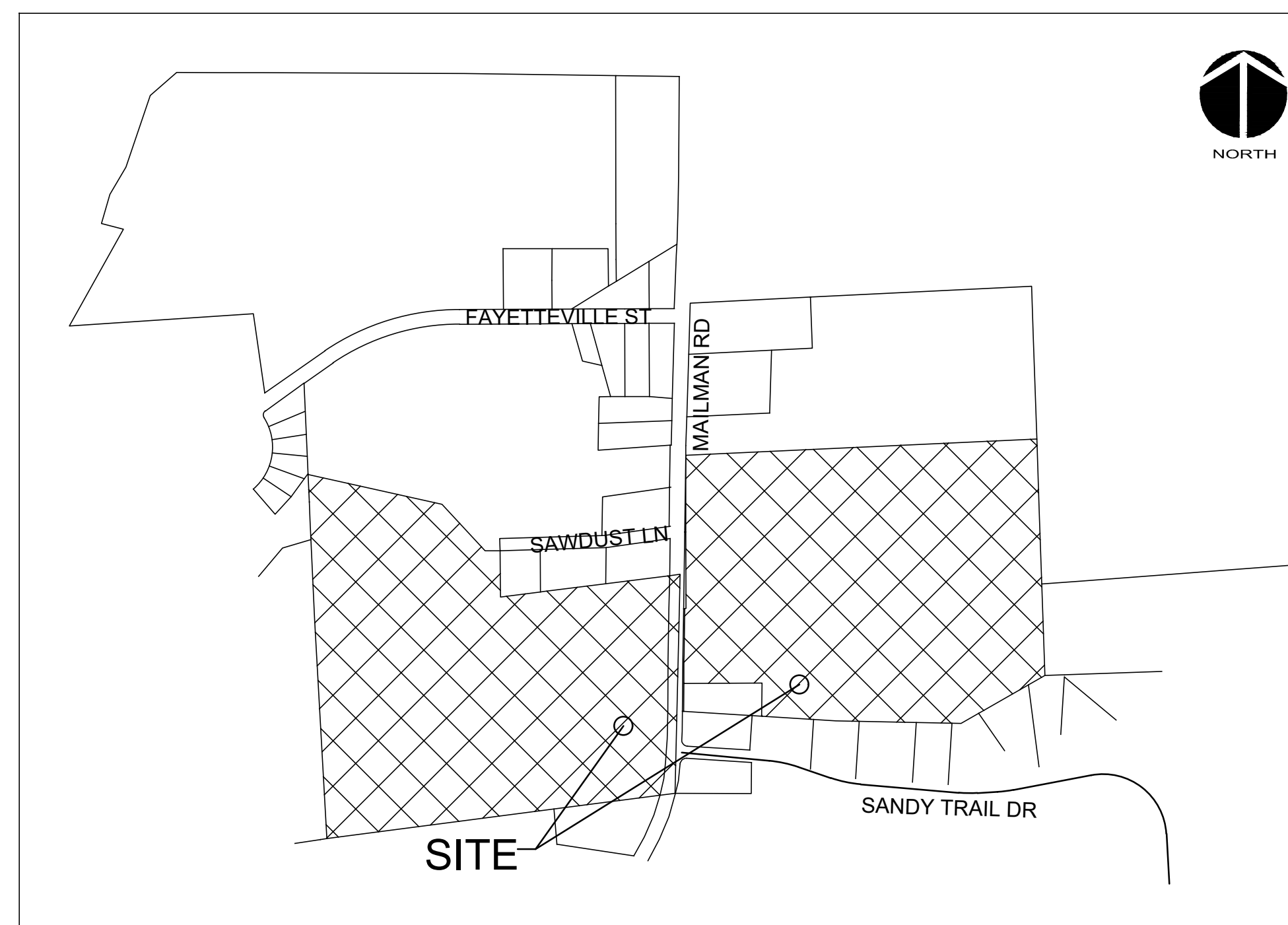
OPEN SPACE:

ACTIVE OPEN SPACE PROVIDED: 4.50 ACRES

PASSIVE OPEN SPACE PROVIDED: 17.11 ACRES (5.07 ACRES OF CANOPY SAVE PROVIDED)

PARKING PROVIDED: 115 SPACES WEST (INCLUDES AMENITY PARKING), 66 SPACES EAST

CONNECTIVITY INDEX: 1.51



VICINITY MAP

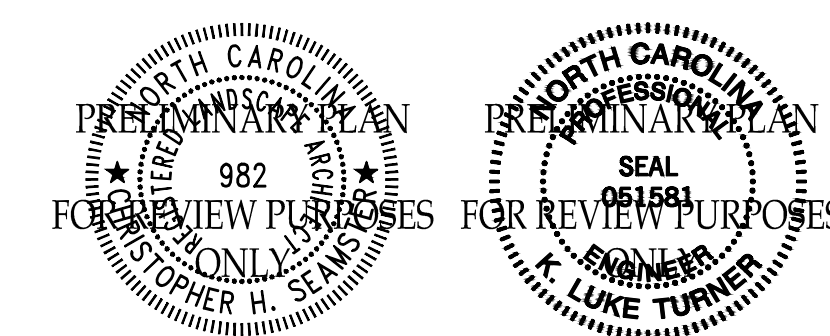
SHEET LIST TABLE	
C1.0	COVER
C2.0	EX. CONDITIONS AND DEMO PLAN
C3.0	SITE PLAN - OVERALL
C3.1	SITE PLAN - WEST
C3.2	SITE PLAN - EAST
C3.3	STREET SECTION
C3.4	SIGN AND MARKING PLAN - WEST
C3.5	SIGN AND MARKING PLAN - EAST
C6.1	LIGHTING PLAN - WEST
C6.2	LIGHTING PLAN - EAST
C7.0	GRADING PLAN - OVERALL
C7.1	GRADING PLAN - WEST
C7.2	GRADING PLAN - EAST
C8.0	UTILITY PLAN - OVERALL
C8.1	UTILITY PLAN - WEST
C8.2	UTILITY PLAN - EAST
C10.1	LANDSCAPING PLAN - WEST
C10.2	LANDSCAPING PLAN - EAST
C10.3	LANDSCAPING DETAILS

FRONT LOAD SINGLE FAMILY LOT STANDARDS FOR 80' WIDE LOTS:	MINIMUM LOT SIZE: 8,800 SF MINIMUM LOT WIDTH: 80' PROP. FRONT SETBACK: 10' PROP. DRIVEWAY LENGTH: 25' SIDE SETBACK: 5' CORNER SIDE SETBACK: 10' PROP. REAR SETBACK: 20'
FRONT LOAD SINGLE FAMILY LOT STANDARDS FOR 60' WIDE LOTS:	MINIMUM LOT SIZE: 6,600 SF MINIMUM LOT WIDTH: 60' PROP. FRONT SETBACK: 10' PROP. DRIVEWAY LENGTH: 25' SIDE SETBACK: 5' CORNER SIDE SETBACK: 10' PROP. REAR SETBACK: 20'
REAR LOAD SINGLE FAMILY LOT STANDARDS:	MINIMUM LOT SIZE: 2,700 SF MINIMUM LOT WIDTH: 30' PROP. FRONT SETBACK: 10' PROP. DRIVEWAY LENGTH: 20' SIDE SETBACK: 3' CORNER SIDE SETBACK: 10' PROP. REAR SETBACK: 20'
REAR LOAD TOWNHOME LOT STANDARDS:	MINIMUM LOT SIZE: 1,600 SF MINIMUM LOT WIDTH: 20' PROP. FRONT SETBACK: 10' PROP. DRIVEWAY LENGTH: 20' BUILDING SEPARATION: 10' PROP. REAR SETBACK: 20'



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PRELIMINARY
DO NOT USE FOR CONSTRUCTION

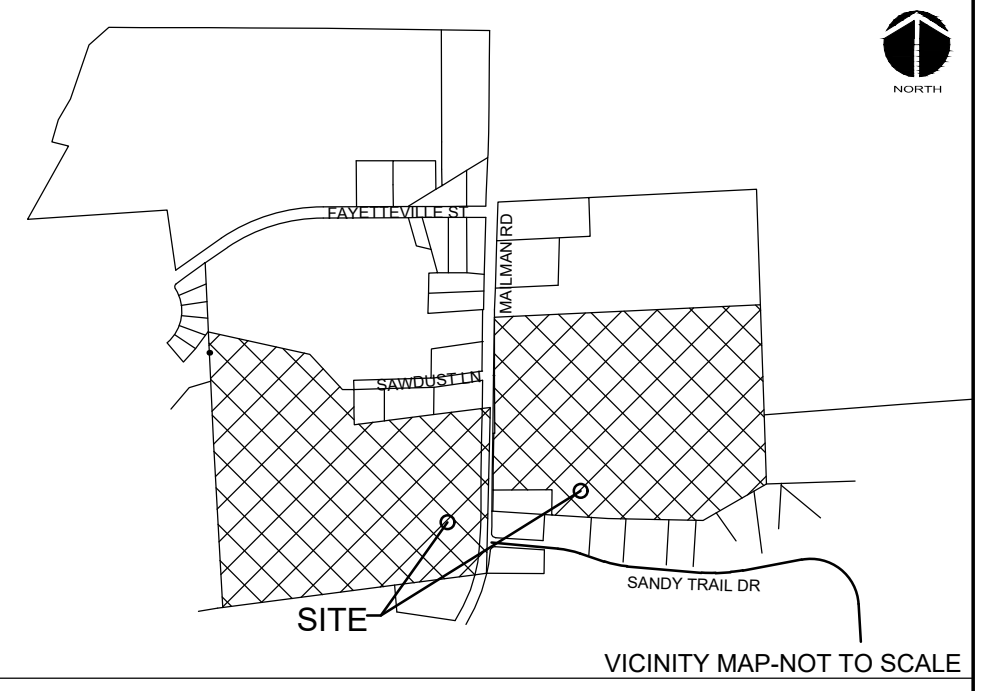
I:\09493\0001\ENG-BC-DRAWINGS\1- PRODUCTION_SHEETS\2- WORKING_DWG\C2-0 EXISTING CONDITIONS - DEMOLITION.DWG - 01/04/2024 10:02:35



LINE #	LENGTH	DIRECTION
L1	116.59	S3° 09' 33"E
L2	54.24	S3° 19' 11"E
L3	72.04	S3° 09' 35"E
L4	70.60	S3° 18' 31"E
L5	88.64	S3° 11' 17"E
L6	54.15	S3° 21' 59"E
L7	80.57	S3° 16' 43"E
L8	25.68	S3° 07' 22"E
L9	333.18	S3° 15' 09"E
L10	3.64	S3° 36' 10"E
L11	596.17	S2° 33' 59"E
L12	3.19	S2° 33' 59"E
L13	71.01	S2° 36' 28"E
L14	13.79	S2° 39' 03"E
L15	307.71	N59° 58' 21"W
L16	233.79	N87° 08' 07"W
L17	452.44	N40° 17' 34"W

LINE #	LENGTH	DIRECTION
L18	79.87	N0° 32' 53"W
L19	434.73	S82° 47' 28"W
L20	249.04	S82° 47' 28"W
L21	59.10	S82° 47' 28"W
L22	898.34	N1° 19' 24"E
L23	77.71	N82° 35' 05"E
L24	422.52	N82° 35' 05"E
L25	939.77	N82° 35' 05"E
L26	788.19	S83° 03' 32"W
L27	10.87	N89° 47' 16"E
L28	47.94	S0° 18' 08"W
L29	47.94	S0° 18' 08"W
L30	18.79	S0° 56' 07"W
L31	191.51	S0° 54' 30"W
L32	5.01	S86° 06' 40"W
L33	314.41	S0° 07' 08"E
L34	314.54	S0° 07' 08"E

LINE #	LENGTH	DIRECTION
L35	16.03	S87° 18' 34"W
L36	1425.54	S87° 18' 34"W
L37	299.24	N1° 56' 58"W
L38	295.80	N1° 56' 58"W
L39	375.20	N1° 58' 27"W
L40	396.27	N60° 05' 02"E
L41	514.42	S88° 49' 03"E
L42	304.85	S86° 23' 46"E
L43	135.60	S0° 45' 10"W
L44	309.58	N89° 47' 16"E
L45	322.16	S86° 07' 17"W
L46	327.88	N0° 45' 21"E
L47	316.53	S86° 02' 42"W
L48	301.42	S86° 02' 42"W
L49	503.54	N0° 17' 46"E
L50	844.43	S86° 02' 42"W
L51	1451.88	S86° 44' 22"W



LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING R/W
- EXISTING GAS LINE
- OVERHEAD POWERLINE
- EXISTING EASEMENT
- EXISTING POND
- RIPARIAN BUFFER LINE
- EXISTING CONTOUR
- EXISTING WETLANDS

PROPERTY OWNERS:

GIOVANNI MORTARINO
2830 CHARLEMAGNE DR
VIRGINIA BEACH, VA 23451

JASON RICHARD AND MARKIE S. POPE
417 MAILMAN RD
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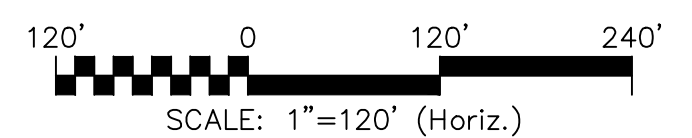
ROBERT HOLMQUIST AND DONNIE ERIC POPE
PO BOX 142
KNIGHTDALE, NC 27545

DAVID WAYNE AND RENEE G. POPE
1305 FAYETTEVILLE ST
KNIGHTDALE, NC 27545

***** NOTICE TO CONTRACTOR *****

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL AND VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR.

SURVEY REFERENCES:
DEED BOOK 14674, PAGE 1408
DEED BOOK 16990, PAGE 25083
DEED BOOK 15864, PAGE 1083
DEED BOOK 17-E, PAGE 2129
DEED BOOK 8228, PAGE 609



REV NO.	DESCRIPTIONS/REVISIONS	DATE

SEAL

PRELIMINARY PLAN
FOR REVIEW PURPOSES ONLY

SEAL

PRELIMINARY PLAN
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Raleigh, North Carolina 27606
Phone: (919)233-8091, Fax: (919)233-8031
F-1222

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MAILMAN POST

EXISTING CONDITIONS AND DEMOLITION PLAN

DATE: January 4, 2024	SCALE: HORIZONTAL: 1"=120'	M&C FILE NUMBER: EXISTING CONDITIONS - DEMOLITION
MCE PROJ # 09493-0001	VERTICAL: N/A	DRAWING NUMBER: C2.0
DRAWN: CEC	STATUS: PRELIMINARY NOT FOR CONSTRUCTION	REVISION:
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR: CHS		

FAYETTEVILLE STREET PUBLIC 60' R/W N.C.S.R. 2513

SITE DATA

DEVELOPER:
TURNBRIDGE EQUITIES
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MD 20814
JASON DAVIS
646-303-5717
jd@turnbridgeeq.com

APPLICANT/ENGINEER:
MKIM & CREED, INC.
1730 VARSITY DRIVE, SUITE 500
RALEIGH, NC 27606
K. LUKE TURNER, PE
919-233-8091
kturner@mkimcreed.com

CURRENT ZONING: RT, GR8, GR3 PUD

PARCEL PIN: 1763-08-8851, 1763-08-3716, 1763-09-5280,
1763-09-5560, 1753-98-9828, 1753-98-9764,
1753-89-9448, 1753-98-0579

PROPERTY ADDRESS: 438 MAILMAN ROAD, 409 MAILMAN ROAD, 1324 MAILMAN ROAD

EXISTING USE: VACANT.

PROPOSED USE: SINGLE FAMILY RESIDENTIAL.

TOTAL SITE AREA: 73.91 ACRES

TOTAL HOUSING UNITS: 302

20' X 80' REAR-LOAD TH LOTS: 55 TOTAL
30' X 94' REAR-LOAD SF LOTS: 79 TOTAL
35' X 102' REAR-LOAD SF LOTS: 86 TOTAL
60' X 110' FRONT-LOAD SF LOTS: 47 TOTAL
80' X 110' FRONT-LOAD SF LOTS: 35 TOTAL

PASSIVE OPEN SPACE REQUIRED: 4.5 ACRES

PASSIVE OPEN SPACE AS SHOWN: 17.11 ACRES
PASSIVE OPEN SPACE (WEST SIDE): 10.27 ACRES
PASSIVE OPEN SPACE (EAST SIDE): 6.84 ACRES

ACTIVE OPEN SPACE REQUIRED: 4.5 ACRES

247 SINGLE-FAMILY HOMES X 3.5 BEDROOMS = 864.5 BEDROOMS
55 TOWNHOMES X 2.5 BEDROOMS = 137.5 BEDROOMS
1002 BEDROOMS X 520 SF = 521,040 SF OR 11.96 AC
25% REDUCTION FOR AMENITY SITE = 390,780 SF OR 8.97 AC
(>1,500 CLUBHOUSE & >2,500 SF POOL)
50% ACTIVE & 50% PASSIVE OS = 195,390 SF OR 4.5 AC

ACTIVE OPEN SPACE AS SHOWN: 4.50 ACRES
ACTIVE OPEN SPACE (WEST SIDE): 2.83 ACRES
ACTIVE OPEN SPACE (EAST SIDE): 1.67 ACRES

ACTIVE OPEN SPACE USES ARE PLANNED BUT SUBJECT TO CHANGE.

LOT QUANTITIES:

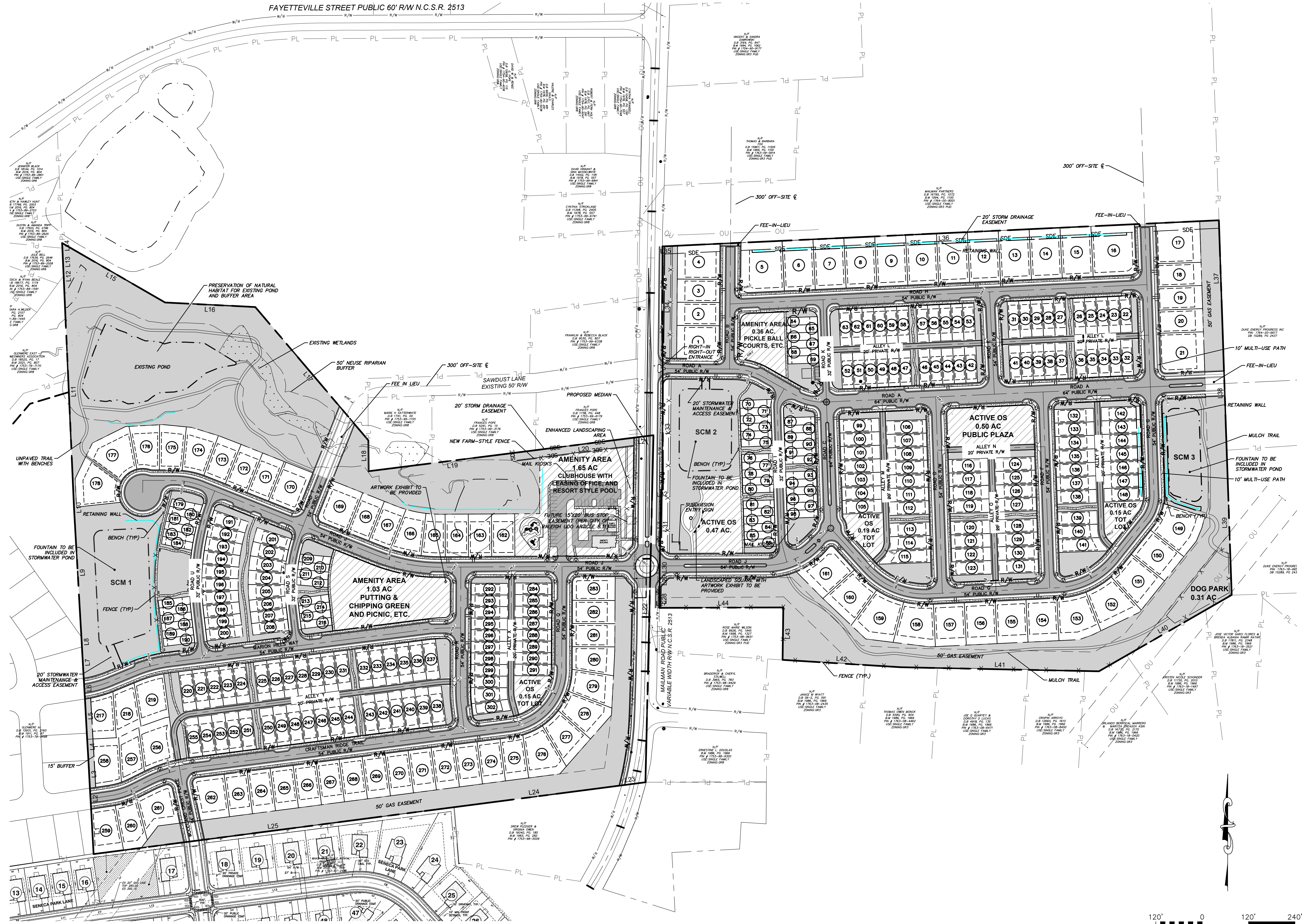
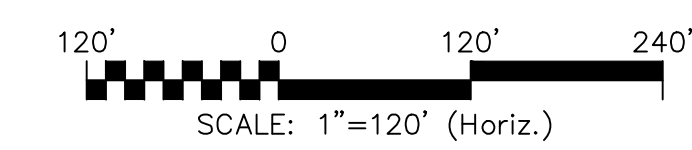
- (35) 80' X 110' FRONT-LOAD SF LOTS
- (47) 60' X 110' FRONT-LOAD SF LOTS
- (86) 35' X 102' REAR-LOAD SF LOTS
- (79) 30' X 94' REAR-LOAD SF LOTS
- (55) 20' X 80' REAR-LOAD TH

PHASING PLAN AND TIMETABLE

- PHASE 1 (MAILMAN WEST):**
- HORIZONTAL CONSTRUCTION (GRADING, ROADS, UTILITIES, ETC.) Q3 2024 - Q3 2025
 - VERTICAL CONSTRUCTION (HOME AND BUILDING CONSTRUCTION) Q3 2025 - Q3 2026
- PHASE 2 (MAILMAN EA):**
- HORIZONTAL CONSTRUCTION (GRADING, ROADS, UTILITIES, ETC.) Q4 2024 - Q4 2025
 - VERTICAL CONSTRUCTION (HOME AND BUILDING CONSTRUCTION) Q4 2025 - Q4 2026
- *NOTE:** CONSTRUCTION SCHEDULE MAY VARY AS THESE ARE GENERAL TIMELINES.

LEGEND:

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - EXISTING R/W
- PROPOSED R/W
- ROAD CENTERLINE
- PROPOSED LOT LINE
- GAS EASEMENT
- PERIMETER BUFFER
- STORM DRAINAGE EASEMENT
- SCM
- RETAINING WALL
- RIPARIAN BUFFER LINE
- WETLANDS
- COMMON OPEN SPACE
- ACTIVE OPEN SPACE



I:\09493\001\ENG\60-DRAWINGS\81-PRODUCTION-SHEETS\2-WORKING-DWG\C3.0-SITE-PLAN-OVERALL.DWG - 01/04/2024 10:02:45

REV. NO.	DESCRIPTIONS	DATE

PRELIMINARY PLAN
FOR REVIEW PURPOSES ONLY

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FOR REVIEW PURPOSES ONLY

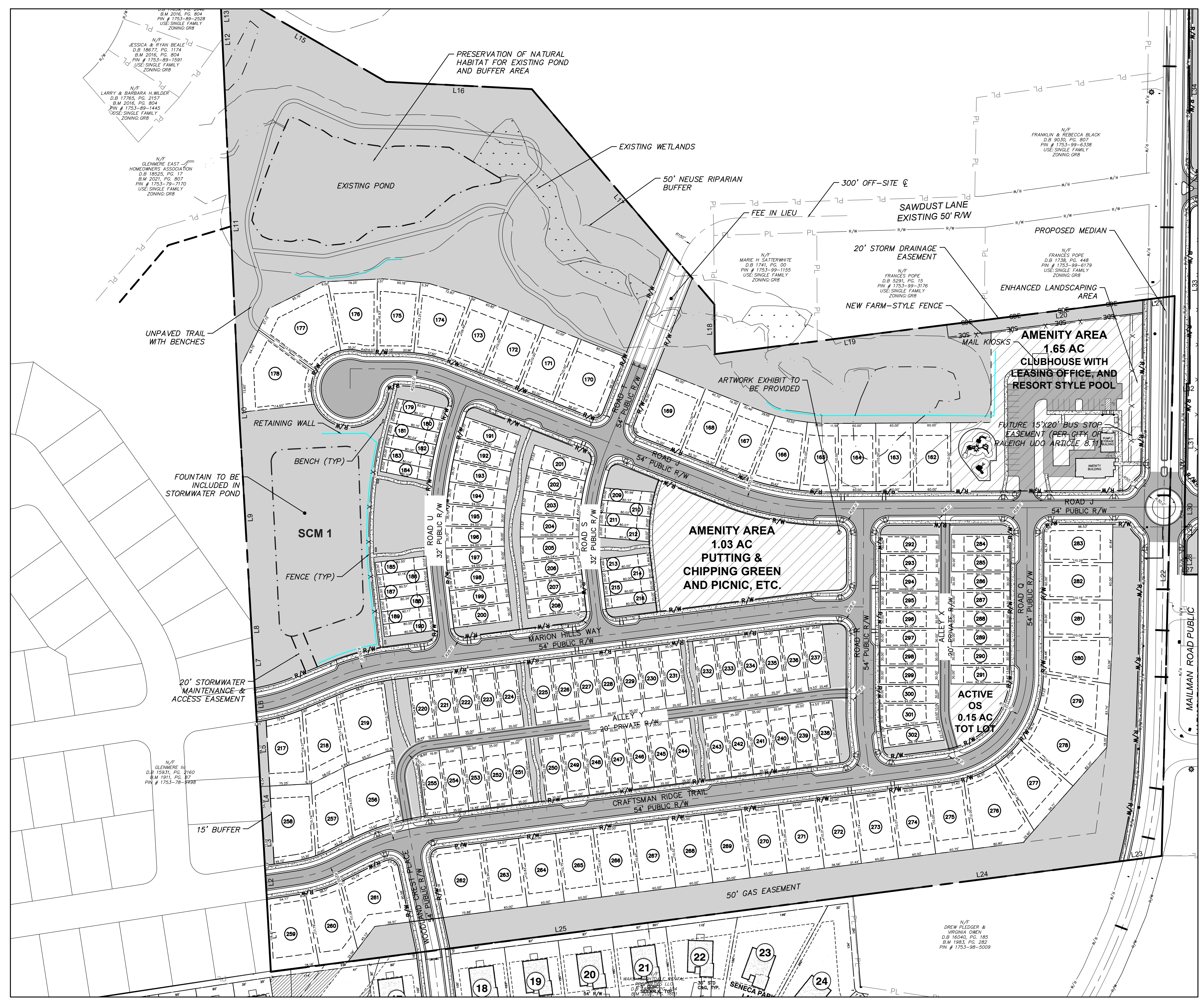
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TURNBRIDGE EQUITIES

MAILMAN POST
SITE PLAN

DATE: January 4, 2024	SCALE: 1"=120'	MAC FILE NUMBER: C3.0
MCE PROJ #: 09493-0001	HORIZONTAL: 1"=120'	DRAWING NUMBER: C3.0
DRAWN: CEC	VERTICAL: N/A	
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR: CHS		
STATUS: PRELIMINARY NOT FOR CONSTRUCTION		

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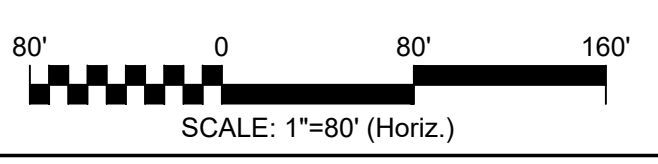


- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT PROPERTY LINE
 - EXISTING R/W
 - - - PROPOSED R/W
 - ROAD CENTERLINE
 - - - PROPOSED LOT LINE
 - GAS EASEMENT
 - PERIMETER BUFFER
 - STORM DRAINAGE EASEMENT
 - SCM
 - RETAINING WALL
 - RIPARIAN BUFFER LINE
 - WETLANDS
 - COMMON OPEN SPACE
 - ACTIVE OPEN SPACE

WEST SIDE LOT QUANTITIES:

- (6) 80' X 110' FRONT-LOAD SF LOTS
- (42) 60' X 110' FRONT-LOAD SF LOTS
- (36) 35' X 102' REAR-LOAD SF LOTS
- (37) 30' X 94' REAR-LOAD SF LOTS
- (20) 20' X 80' REAR-LOAD TH

TOTAL # OF UNITS FOR WEST SIDE: 141



REV. NO.	DESCRIPTIONS	DATE

PRELIMINARY PLAN
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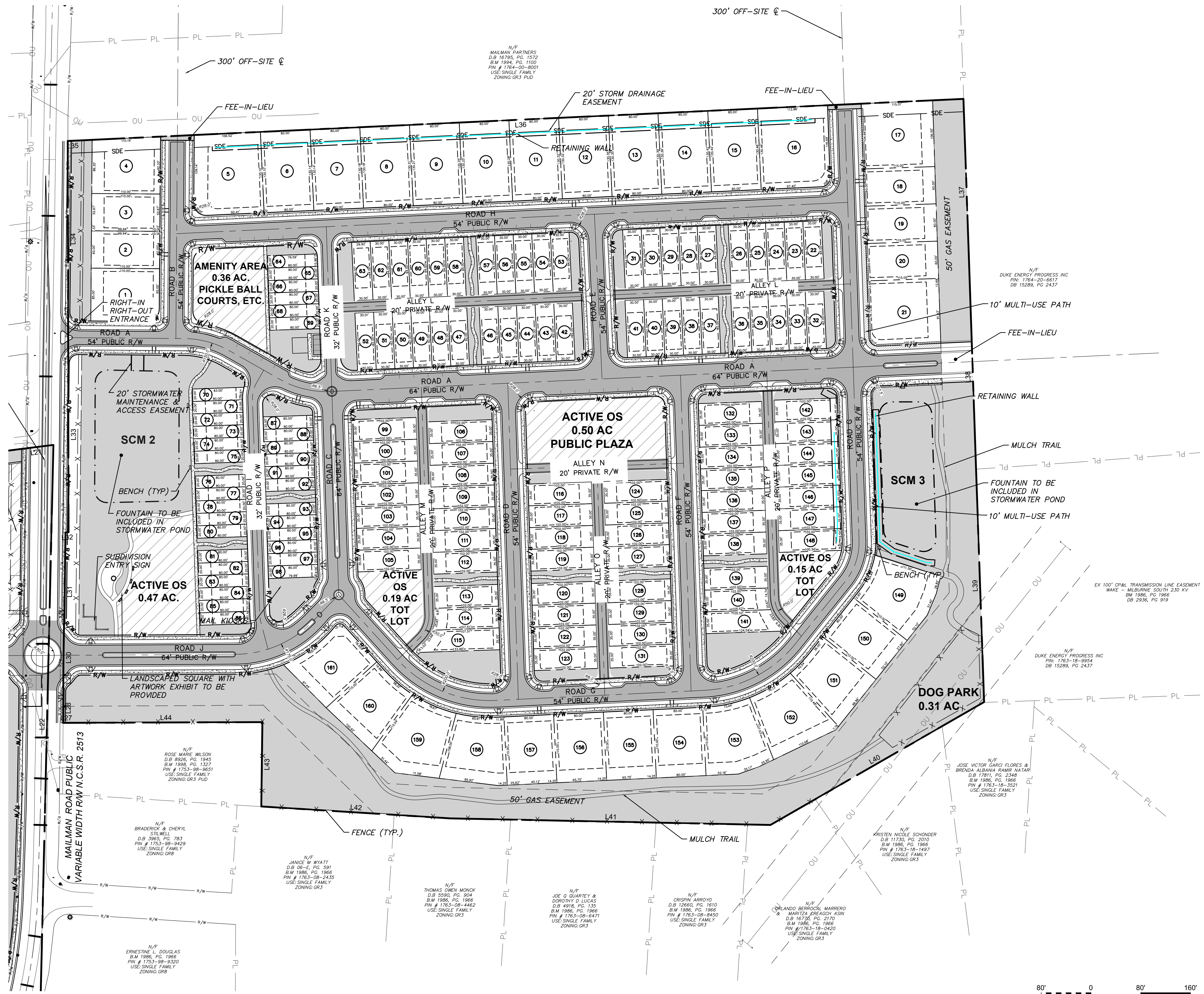
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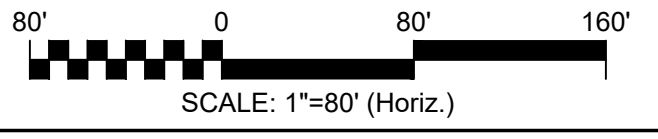
MAILMAN POST
SITE PLAN - WEST

DATE: January 4, 2024	SCALE: 1"=80'	MAC FILE NUMBER: 09493-0001
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DRAWN: CEC	VERTICAL: N/A	
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR: CHS		
STATUS: PRELIMINARY		
NOT FOR CONSTRUCTION		



- LEGEND:**
- PROPERTY LINE
 - ADJACENT PROPERTY LINE
 - EXISTING R/W
 - PROPOSED R/W
 - ROAD CENTERLINE
 - PROPOSED LOT LINE
 - GAS EASEMENT
 - PERIMETER BUFFER
 - STORM DRAINAGE EASEMENT
 - SCM
 - RETAINING WALL
 - RIPARIAN BUFFER LINE
 - WETLANDS
 - COMMON OPEN SPACE
 - ACTIVE OPEN SPACE

- EAST SIDE LOT QUANTITIES:**
- (29) 80' X 110' FRONT-LOAD SF LOTS
 - (5) 60' X 110' FRONT-LOAD SF LOTS
 - (50) 35' X 102' REAR-LOAD SF LOTS
 - (42) 30' X 94' REAR-LOAD SF LOTS
 - (35) 20' X 80' REAR-LOAD TH
- TOTAL # OF UNITS FOR EAST SIDE: 161



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REV. NO.	DESCRIPTIONS	DATE

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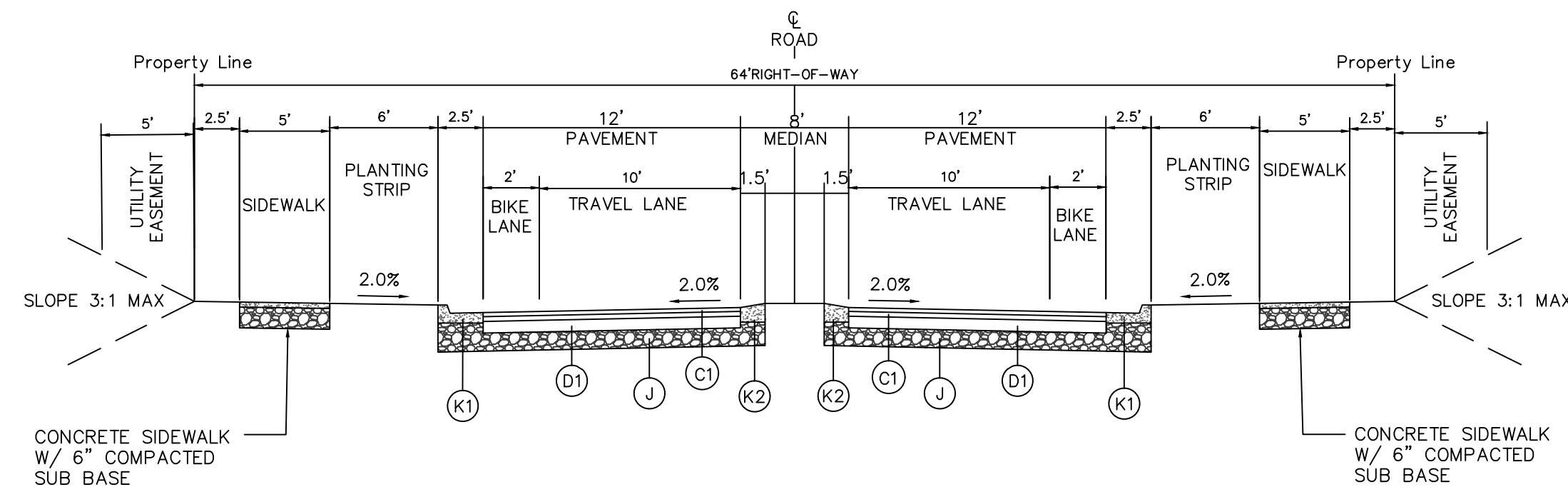
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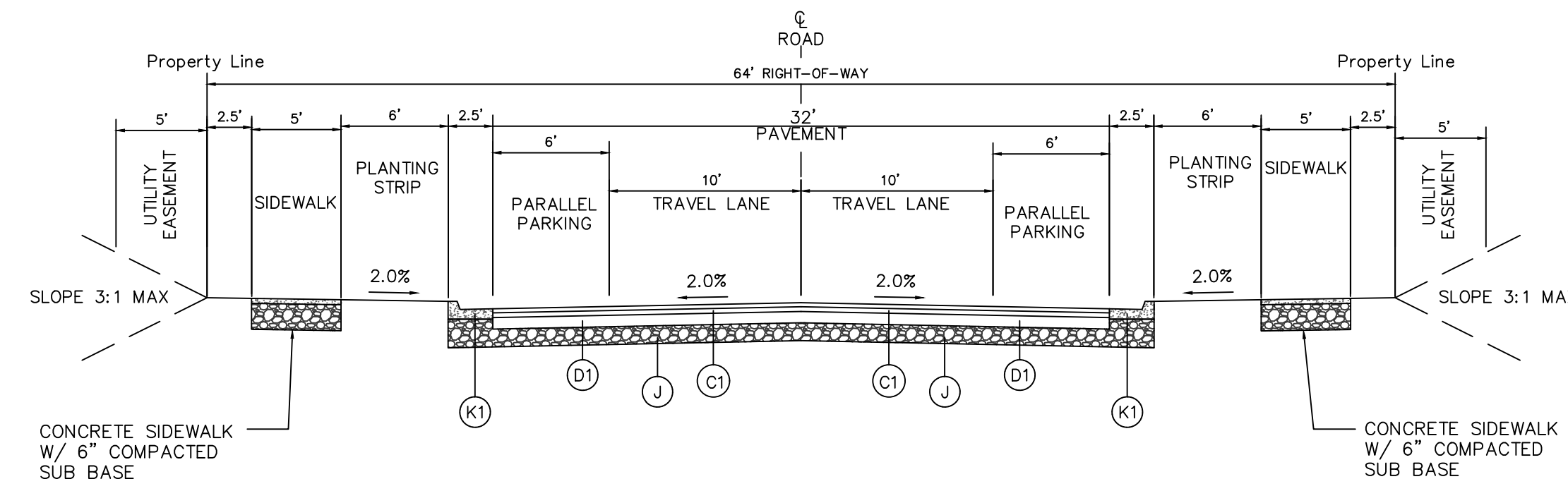
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MAILMAN POST
SITE PLAN - EAST

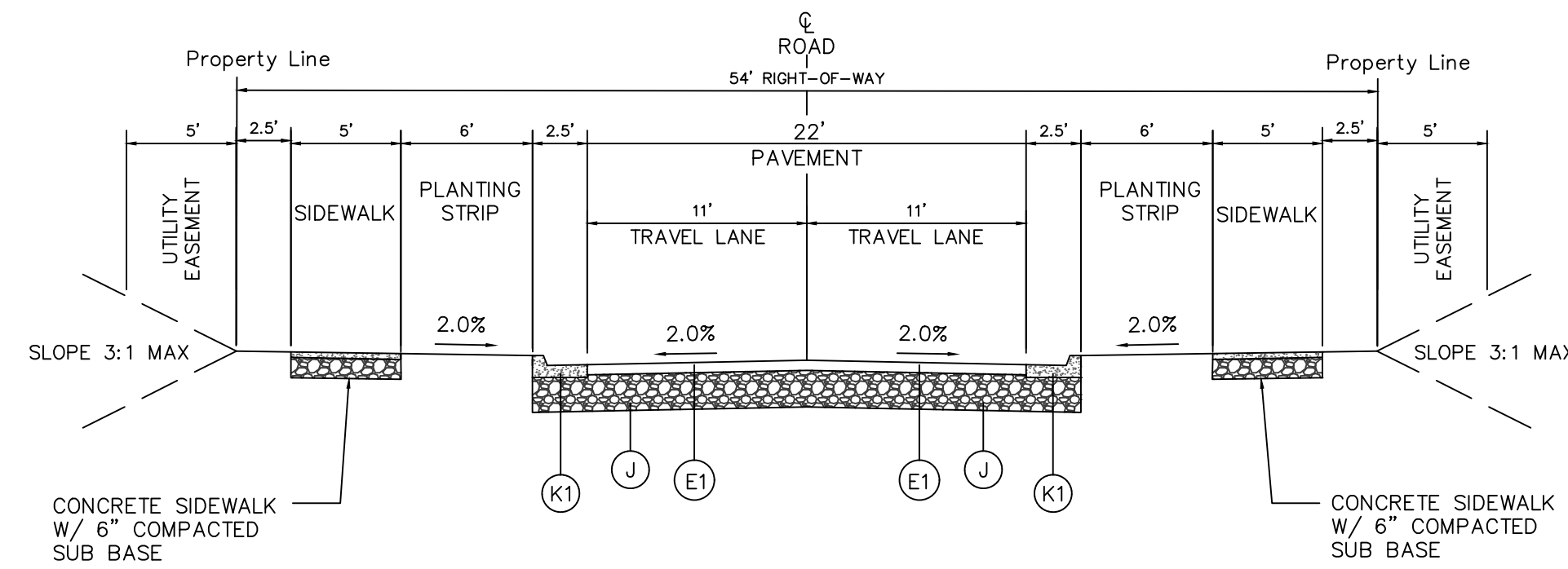
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DRAWN: CEC	DESIGNED: KLT	CHECKED: KLT
PROJ. MGR: CHS	STATUS: PRELIMINARY	REVISION: NOT FOR CONSTRUCTION



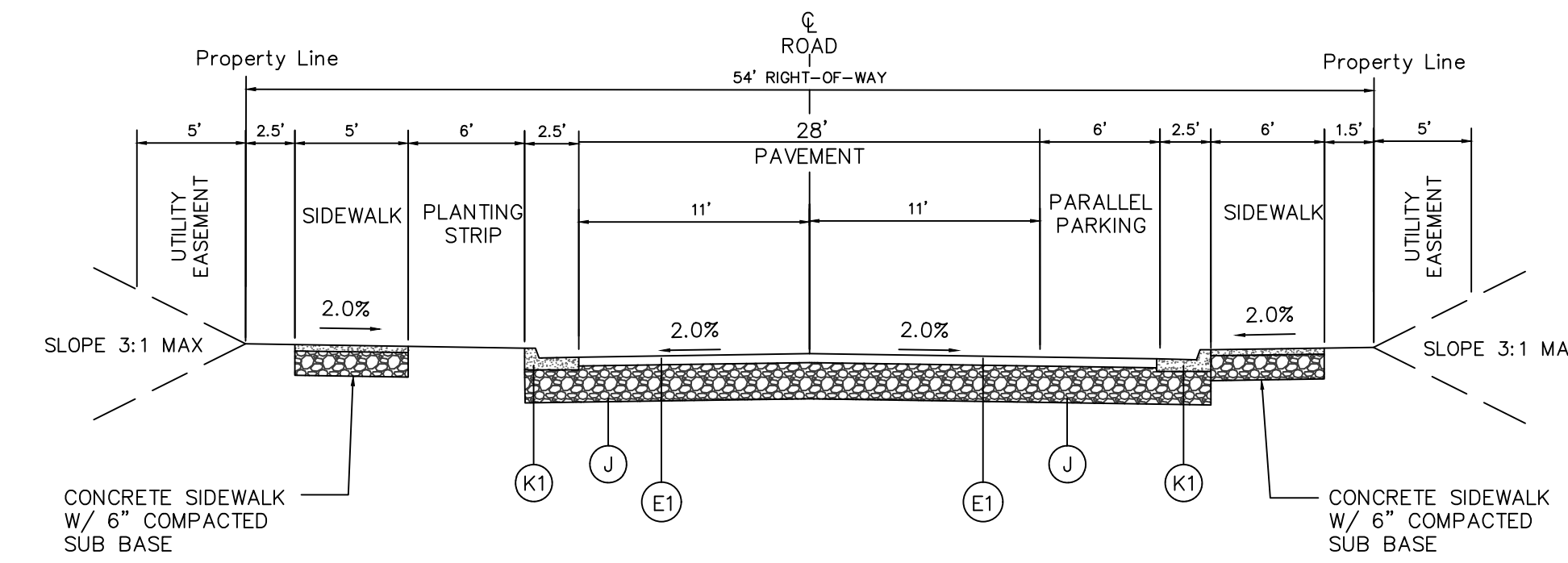
TYPICAL CROSS SECTION - 64' ROW W/ MEDIAN
NOT TO SCALE



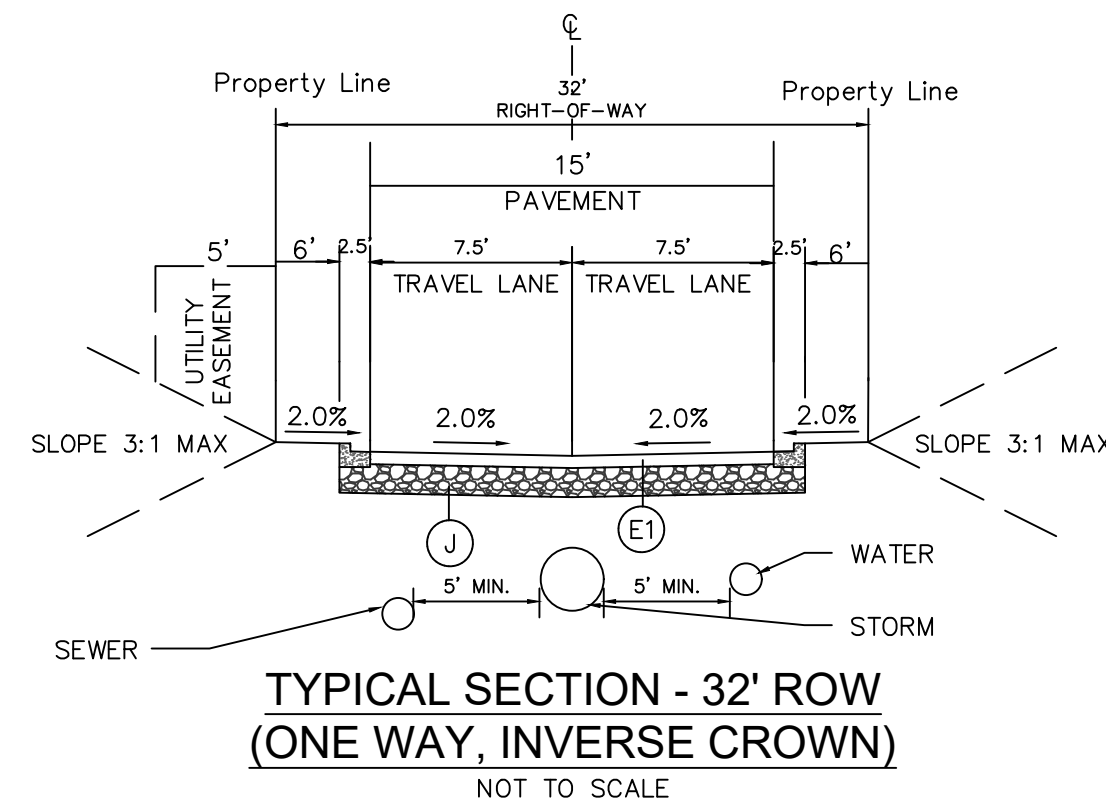
TYPICAL CROSS SECTION - 64' ROW W/ PARALLEL PARKING
NOT TO SCALE



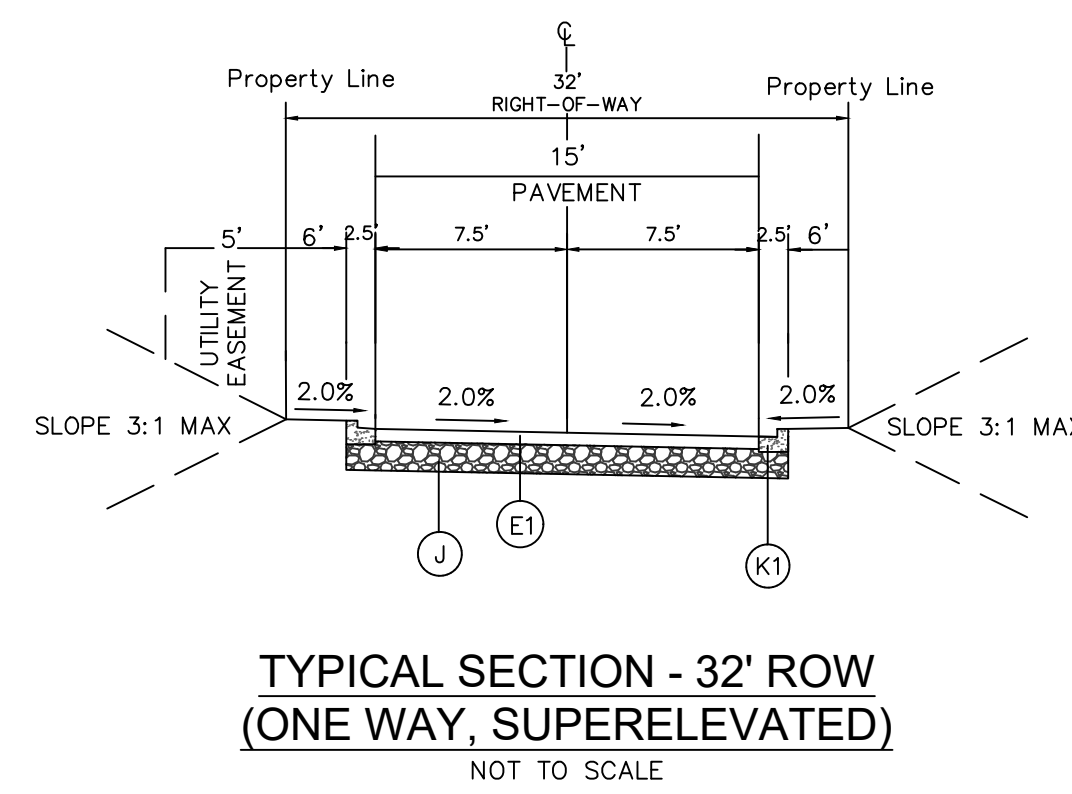
TYPICAL CROSS SECTION - 54' ROW
NOT TO SCALE



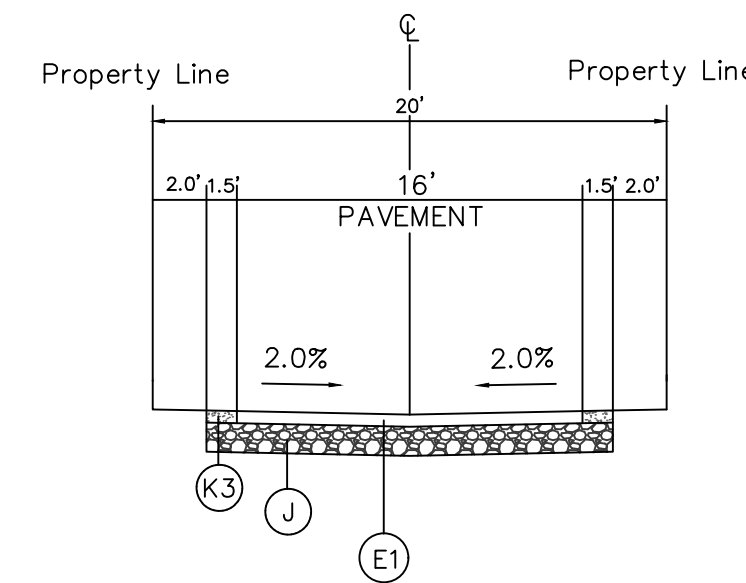
TYPICAL CROSS SECTION - 54' ROW
W/ PARALLEL PARKING
NOT TO SCALE



TYPICAL SECTION - 32' ROW
(ONE WAY, INVERSE CROWN)
NOT TO SCALE

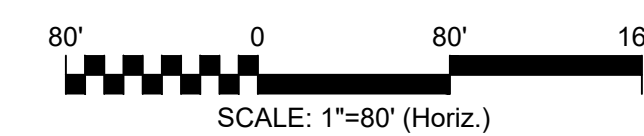


TYPICAL SECTION - 32' ROW
(ONE WAY, SUPERELEVATED)
NOT TO SCALE



TYPICAL SECTION - REAR ALLEY (PRIVATE)
NOT TO SCALE

PAVEMENT SCHEDULE	
(C1)	1.5" S9.5B ASPHALT SURFACE COURSE AT AN AVERAGE RATE OF 110 LBS. PER SQ. YARD.
(D1)	2.5" I19.0B INTERMEDIATE COURSE AT AN AVERAGE RATE OF 220 LBS. PER SQ. YARD.
(E1)	2.5" S9.5A BITUMINOUS SURFACE COURSE
(J)	8" COMPACTED ABC STONE BASE COURSE
(K1)	30" STANDARD CURB AND GUTTER
(K2)	18" MEDIAN CURB AND GUTTER
(K3)	18" BINDER CURB AND GUTTER
(U)	COMPACTED SUBGRADE



I:\09493\001\ENG-DR\01-PRODUCTION-SHEETS\2-WORKING-DWG\C3.0-SITE PLAN-OVERALL.DWG - 01/04/2024 10:03:00

REV. NO.	DESCRIPTIONS	DATE

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FOR REVIEW PURPOSES ONLY

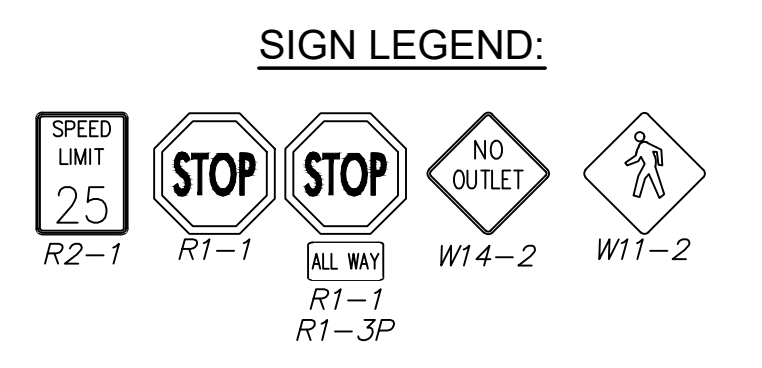
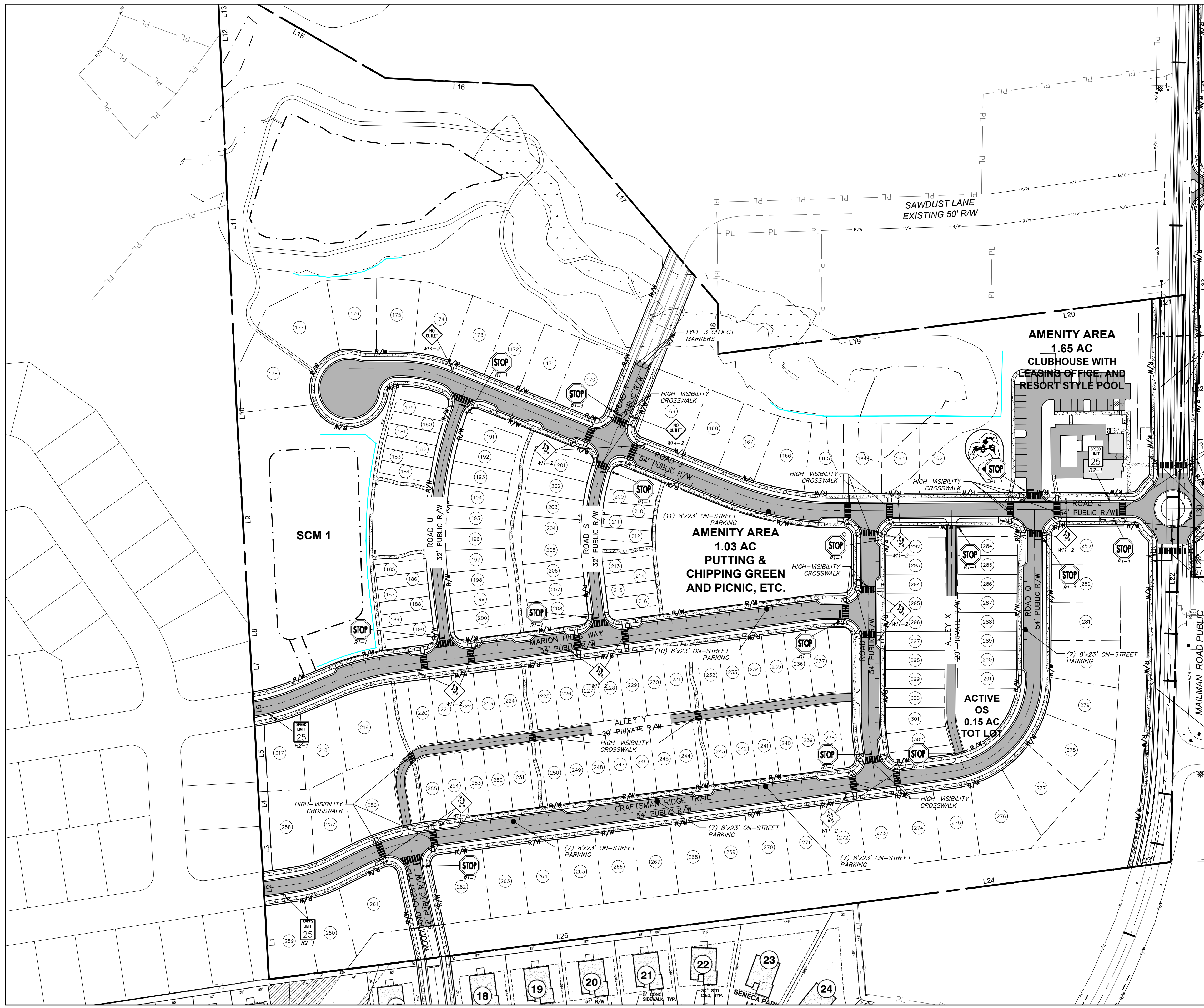
PRELIMINARY PLAN
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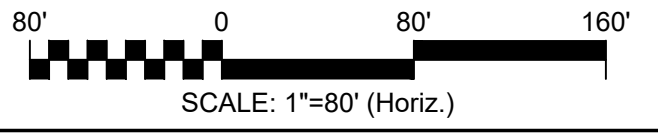
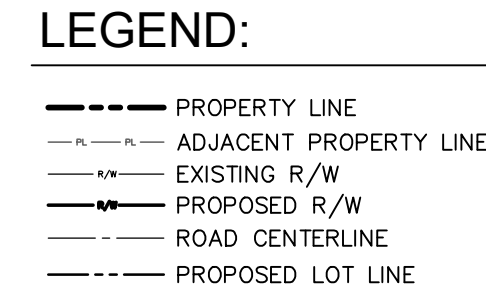
MAILMAN POST

STREET CROSS SECTIONS

DATE: January 4, 2024	SCALE: 1"=80'	MAC FILE NUMBER: C33-SITE PLAN-OVERALL.dwg
MCE PROJ. #: 09493-0001	HORIZONTAL: 1"=80'	DRAWING NUMBER: C3.3
DRAWN: CEC	VERTICAL: N/A	
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR: CHS		
STATUS: PRELIMINARY		
		NOT FOR CONSTRUCTION



PAVEMENT MARKING NOTES:
 STOP BARS: 24" SOLID WHITE THERMOPLASTIC PER NCDOT STANDARDS. STOP BAR SHALL BE WHITE THERMOPLASTIC. SEE DETAIL NCDOT 1205.01
 HIGH-VISIBILITY CROSSWALK: LINES SHALL BE 24" WIDE X 6' LONG WHITE THERMOPLASTIC PER NCDOT STANDARDS. SEE NCDOT DETAIL 1205.07
 PARKING STRIPING: 4" SOLID WHITE PARKING SPACE STRIPING. USE WHITE THERMOPLASTIC MARKINGS.



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REV. NO.	DESCRIPTIONS	DATE

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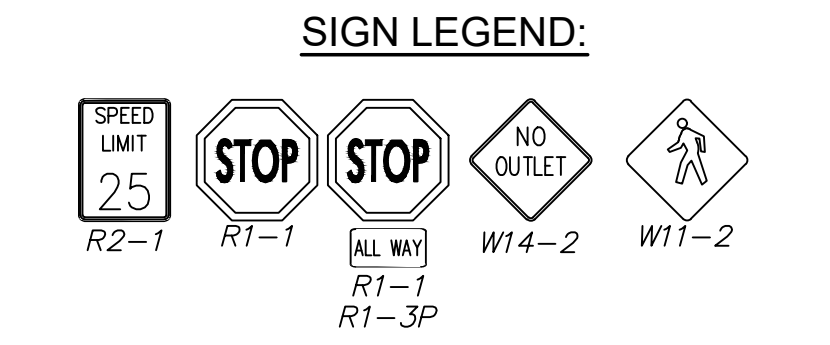
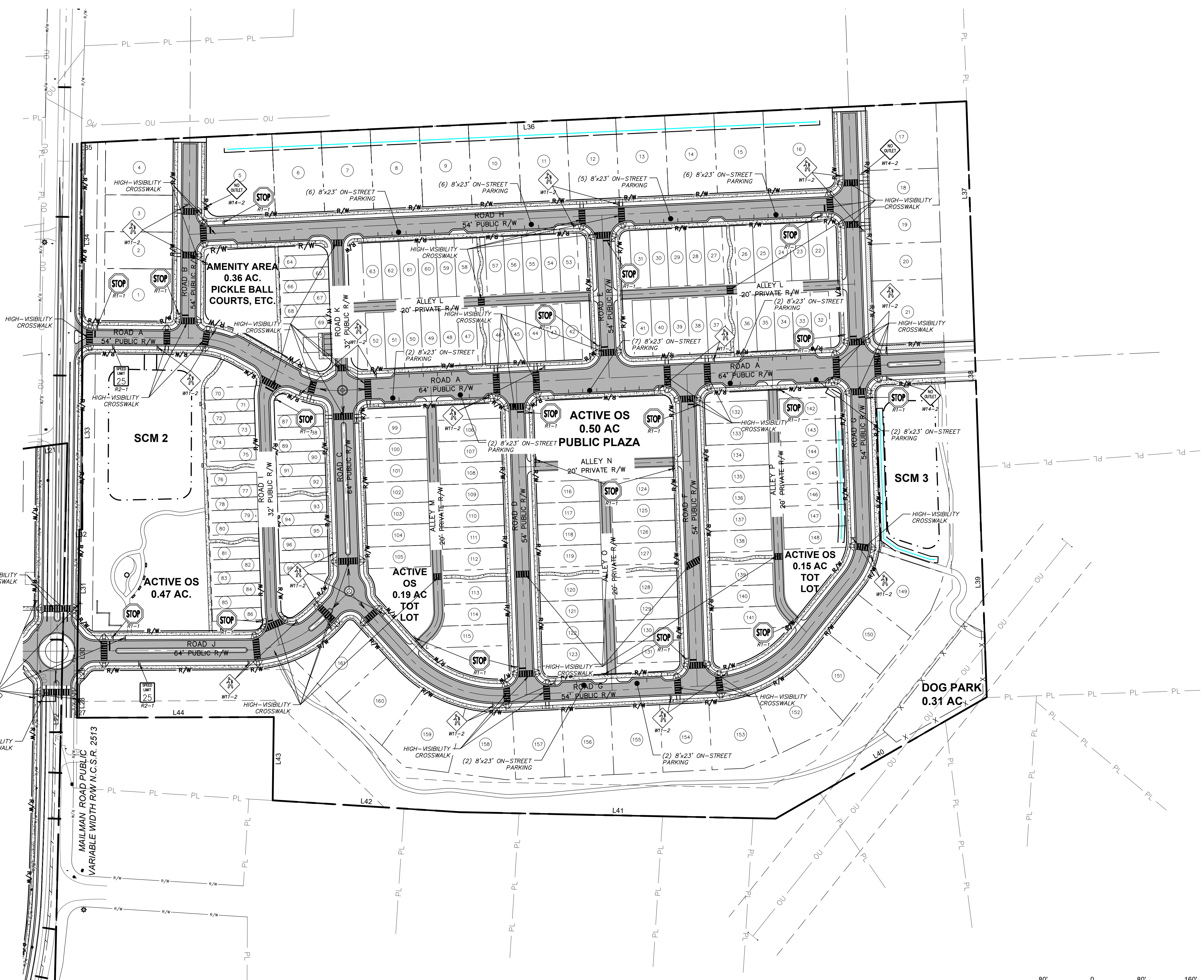
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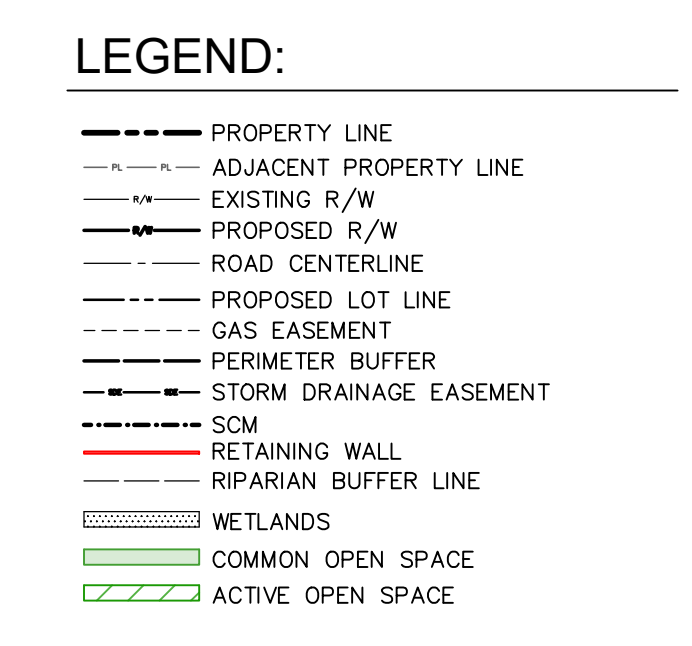
TURNBRIDGE EQUITIES

MAILMAN POST
 SIGNAGE/PAVEMENT MARKING PLAN - WEST

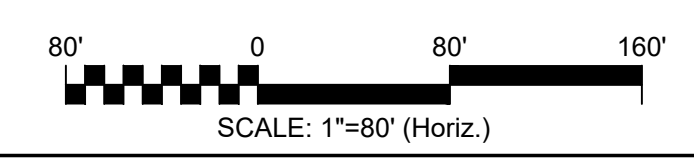
DATE: January 4, 2024	SCALE: HORIZONTAL: 1"=80'	MAC FILE NUMBER: CLASH PLAN.dwg
MCE PROJ #: 09493-0001	VERTICAL: N/A	DRAWING NUMBER: C3.4
DRAWN: CEC	STATUS: PRELIMINARY	REVISION: NOT FOR CONSTRUCTION
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR.: CHS		



PAVEMENT MARKING NOTES:
 STOP SIGNS: 24" SOLID WHITE THERMOPLASTIC PER NCDOT STANDARDS. STOP BAR SHALL BE WHITE THERMOPLASTIC. SEE DETAIL NCDOT 1205.01
 HIGH-VISIBILITY CROSSWALK: LINES SHALL BE 24" WIDE X 6' LONG WHITE THERMOPLASTIC PER NCDOT STANDARDS. SEE NCDOT DETAIL 1205.07
 PARKING STRIPING: 4" SOLID WHITE PARKING SPACE STRIPING. USE WHITE THERMOPLASTIC MARKINGS.



NOTE: SIGNS ARE MOUNTED WITH RECTANGULAR RAPID-FLASHING BEACONS



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REV. NO.	DESCRIPTIONS	DATE

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TURNBRIDGE EQUITIES

MAILMAN POST
 SIGNAGE/PAVEMENT MARKING PLAN - EAST

DATE: January 4, 2024	SCALE: HORIZONTAL: 1"=80'	MAC FILE NUMBER: CLASHN PLAN.dwg
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DRAWN: CEC		
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR.: CHS		
STATUS: PRELIMINARY NOT FOR CONSTRUCTION		

I:\09493\001\ENG\60-DRAWINGS\81-PRODUCTION-SHEETS\2-WORKING-DWG\C60-LIGHTING-PLAN.DWG - 01/04/2024 10:03:32



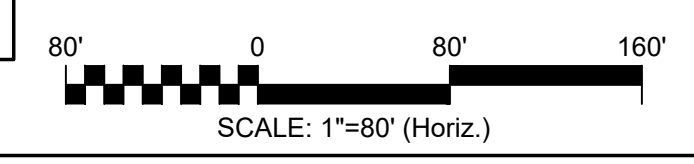
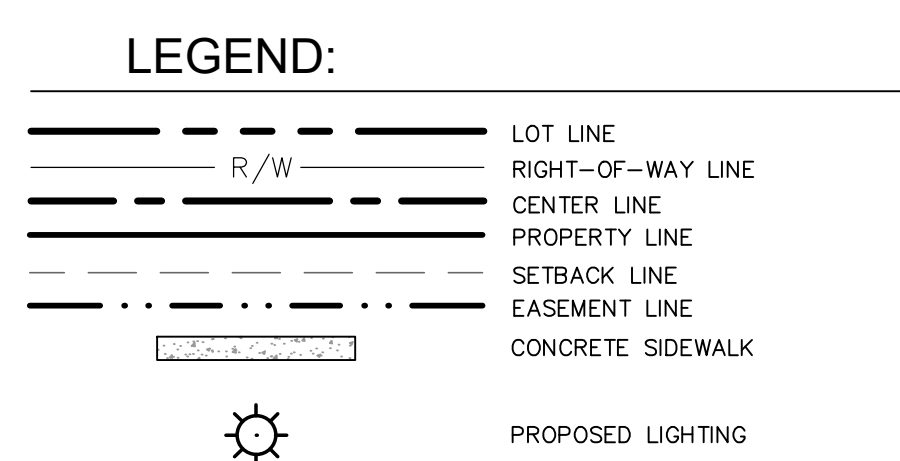
Outdoor Lighting
Cutoff Enclosed
(Flat glass cobra head)

Light source: High-pressure sodium (golden yellow)
 Wattage: 100, 150, 250, 400
 Lumens: 9,500, 16,000, 28,500, 50,000
 Light source: Metal halide (white)
 Wattage: 250, 350
 Lumens: 20,000, 33,000
 Light pattern: IESNA Type III (oval)
 IESNA cutoff classification: Full cutoff

Poles available:	
Name	Mounting height
Fiberglass	25, 30, 35'
Fiberglass	25, 30, 35'
Wood	25, 30, 35'
Metal (special condition)	25, 30, 35'

Features		Benefits	
Little or no installation cost	Design services by lighting professionals included	Eliminates high and unexpected repair bills	Low expense than reworked service
Electricity included	Maintenance included	Warranty included	One year monthly cost on your electric bill
Turnkey operation	Backed by over 40 years of experience	Provides hassle-free installation and service	A name you can trust today... and tomorrow

- LIGHTING NOTES:**
- TOTAL PUBLIC STREET LIGHTS: 49 LIGHTS
 - ALL STREET LIGHTS INSTALLED SHALL BE LED STREET LIGHTS (9500 LUMEN LED 75W ROADWAY LIGHTS)
 - THE TOWN WILL BE RESPONSIBLE FOR PAYMENT OF THE MONTHLY COSTS FOR PUBLIC STREET LIGHTING AND THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INITIAL FEES CHARGED WITH THE LIGHT INSTALLATION. ALL INSTALLATION FEES ARE REQUIRED TO BE PAID UP FRONT AT THE TIME OF INSTALLATION.
 - PER SECTION 7.7, THE FOLLOWING STANDARDS SHALL BE MET:
 - ALL POLES MUST BE FIBERGLASS.
 - POLES CANNOT EXCEED 37'.
 - COLOR RENDERING INDEX OF 70 OR BETTER.
 - "WHITE LIGHT" CORRELATED COLOR TEMP SHALL NOT EXCEED 4,000 K.
 - 250' AVERAGE MAXIMUM SPACING INTERNAL TO THE SITE, 150' ALONG MAILMAN ROAD.
 - 4,800 MINIMUM INITIAL LUMENS FOR LOCAL STREETS; 12,500 FOR COLLECTOR; 18,500 FOR ARTERIAL.
 - LOCAL: B1, U1, G2; COLLECTOR: B2, U2, G3; ARTERIAL: B3, U3, G4.
 - STREET LIGHTS SHALL BE PLACED ON ALTERNATE SIDES OF THE STREET.



REV. NO.	DESCRIPTIONS	DATE

PRELIMINARY PLAN
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**TURNBRIDGE
EQUITIES**

MAILMAN POST

LIGHTING PLAN - WEST

DATE: January 4, 2024	SCALE: HORIZONTAL: 1"=80'	MAC FILE NUMBER: 09493-0001
MCE PROJ #: 09493-0001	VERTICAL: N/A	DRAWING NUMBER: C6.1
DRAWN: CEC	DESIGNED: KLT	CHECKED: KLT
PROJ. MGR.: CHS	STATUS: PRELIMINARY NOT FOR CONSTRUCTION	REVISION:



Outdoor Lighting
Cutoff Enclosed
(Flat glass cobra head)

Light source: High-pressure sodium (golden yellow)
 Wattage: 100, 150, 250, 400
 Lumens: 3,500, 110,000, 28,500, 50,000
 Light source: White LED (white)
 Wattage: 250, 350
 Lumens: 20,000, 33,000
 Light pattern: IESNA Type III (oval)
 IESNA cutoff classification: Full cutoff

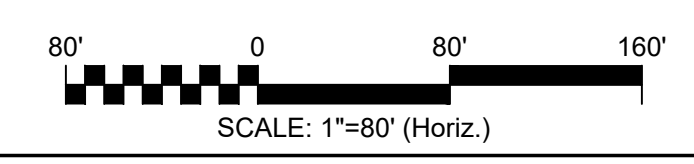
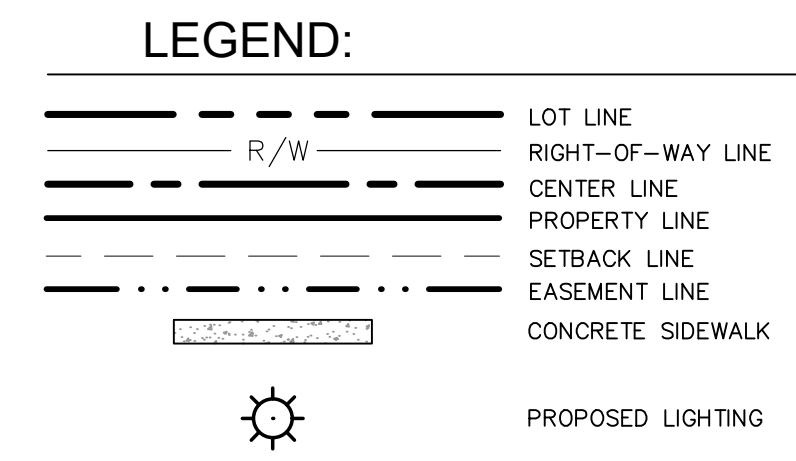
Poles available:

Name	Mounting height	Color
Fiberglass	25, 30, 35	Gray
Fiberglass	25, 30, 35	Black (additional cost)
Wood	25, 30, 35	Standard
Metal (special conditions)	25, 30, 35	Gray

Features

Features	Benefits
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance included	Eliminates high and unexpected repair bills
Electricity included	Less expensive than metered service
Warranty included	Worry-free
One low monthly cost on your electric bill	Convenience and savings for you
Turnkey operation	Provides hassle-free installation and service
Backed by over 40 years of experience	A name you can trust today... and tomorrow

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REV. NO.	DESCRIPTIONS / REVISIONS	DATE

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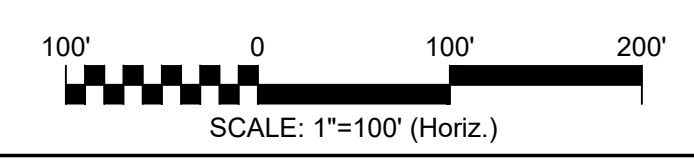
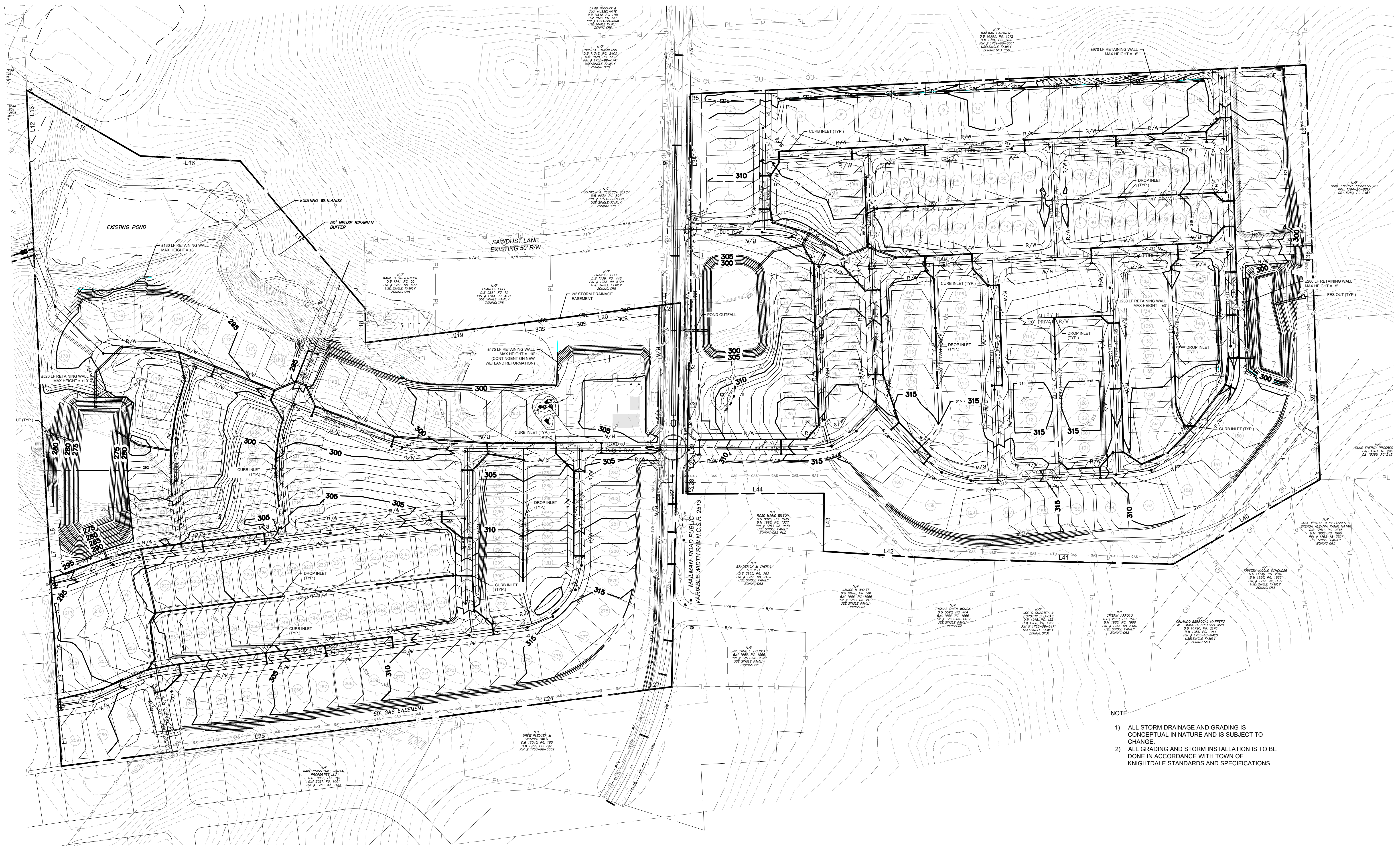
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TURNBRIDGE EQUITIES

MAILMAN POST
 LIGHTING PLAN - EAST

DATE: January 4, 2024	SCALE: HORIZONTAL: 1"=80'	MAC FILE NUMBER: 09493-0001
MCE PROJ #: 09493-0001	VERTICAL: N/A	DRAWING NUMBER: C6.2
DRAWN: CEC	DESIGNED: KLT	CHECKED: KLT
PROJ. MGR: CHS	STATUS: PRELIMINARY	NOT FOR CONSTRUCTION

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REV. NO.	DESCRIPTIONS	DATE

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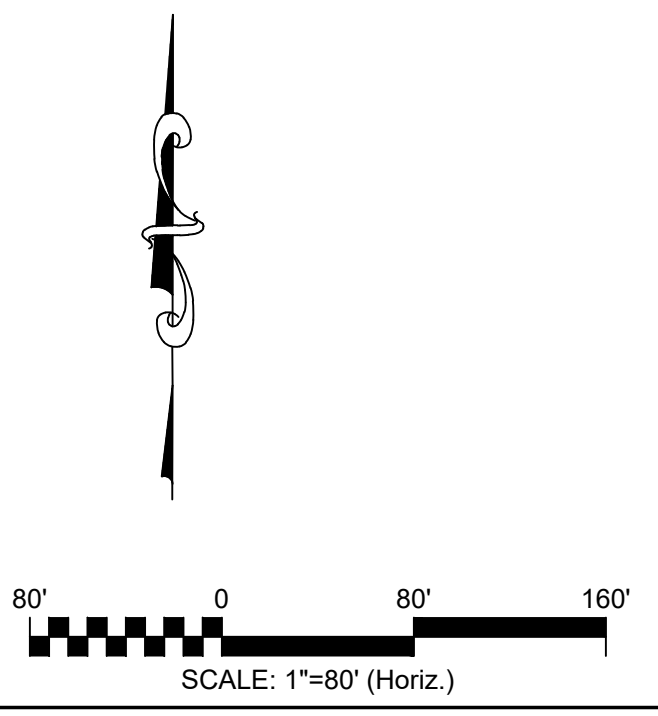
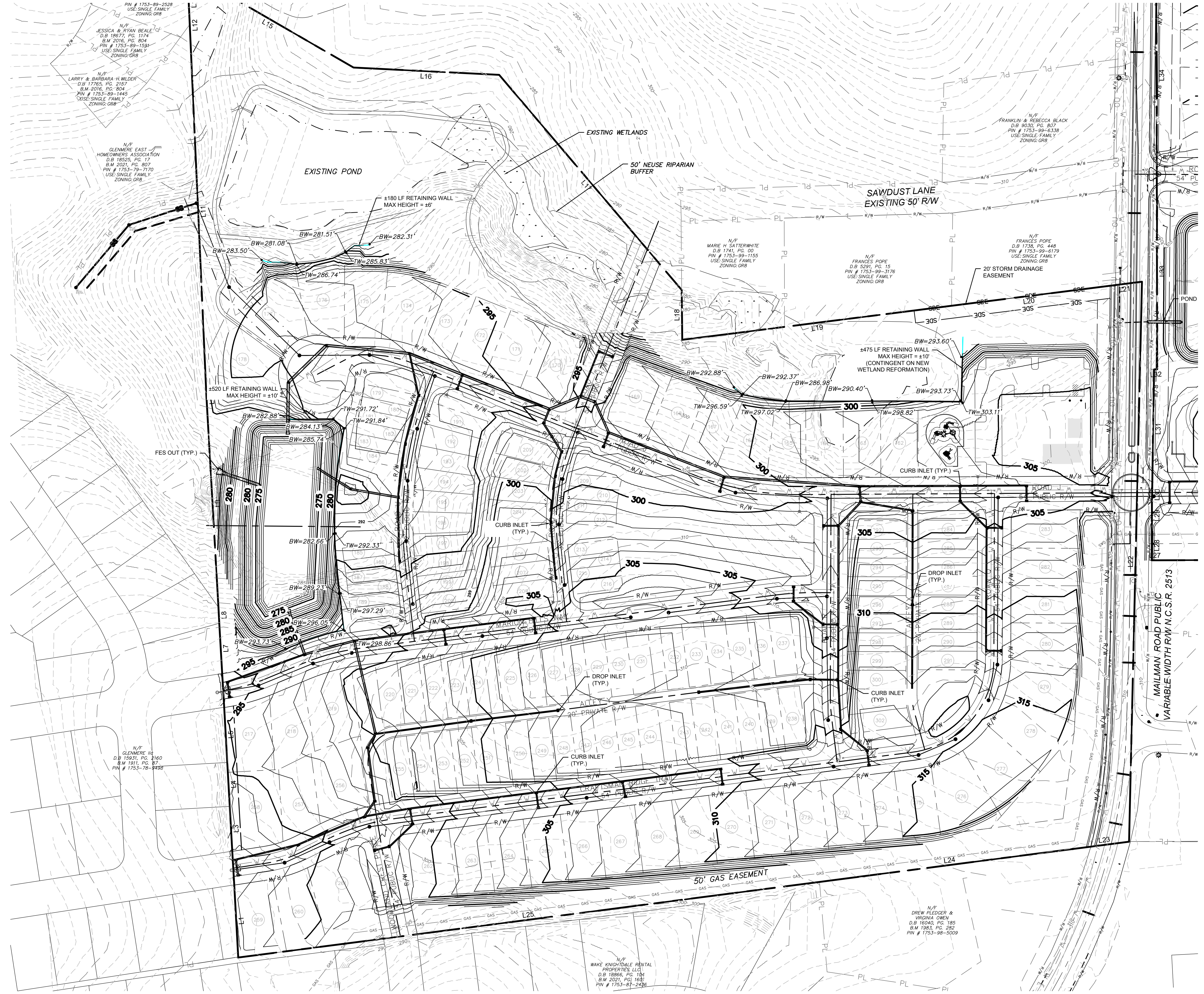
TURNBRIDGE EQUITIES

MAILMAN POST

OVERALL GRADING AND STORM DRAINAGE PLAN

DATE: January 4, 2024	SCALE: HORIZONTAL: 1"=100'	MAC FILE NUMBER: C7.0 GRADING PLAN.dwg
MCE PROJ. #: 09493-0001	VERTICAL: N/A	DRAWING NUMBER: C7.0
DRAWN: CEC	DESIGNED: KLT	CHECKED: KLT
PROJ. MGR: CHS	STATUS: PRELIMINARY	REVISION: NOT FOR CONSTRUCTION

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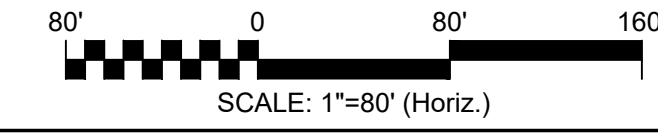
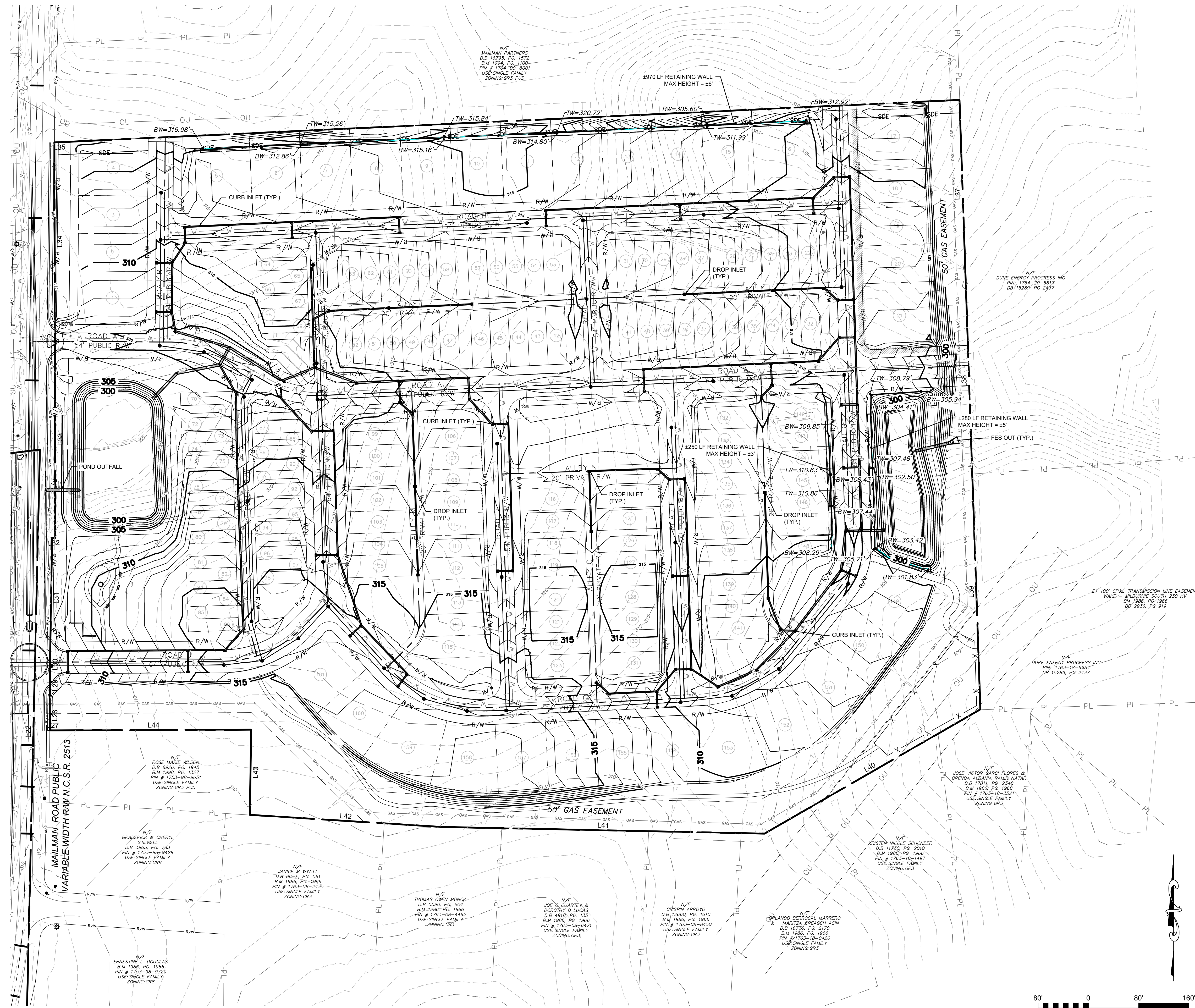
MAILMAN POST
GRADING AND STORM DRAINAGE PLAN - ENLARGEMENT

DATE:	January 4, 2024
MCE PROJ #:	09493-0001
DRAWN:	CEC
DESIGNED:	KLT
CHECKED:	KLT
PROJ. MGR.	CHS

SCALE	MAC FILE NUMBER
HORIZONTAL:	C7.0 GRADING PLAN.dwg
1"=80'	DRAWING NUMBER
VERTICAL:	C7.1
N/A	REVISION

STATUS: **PRELIMINARY**
NOT FOR CONSTRUCTION

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REV. NO.	DATE	DESCRIPTIONS	REVISIONS

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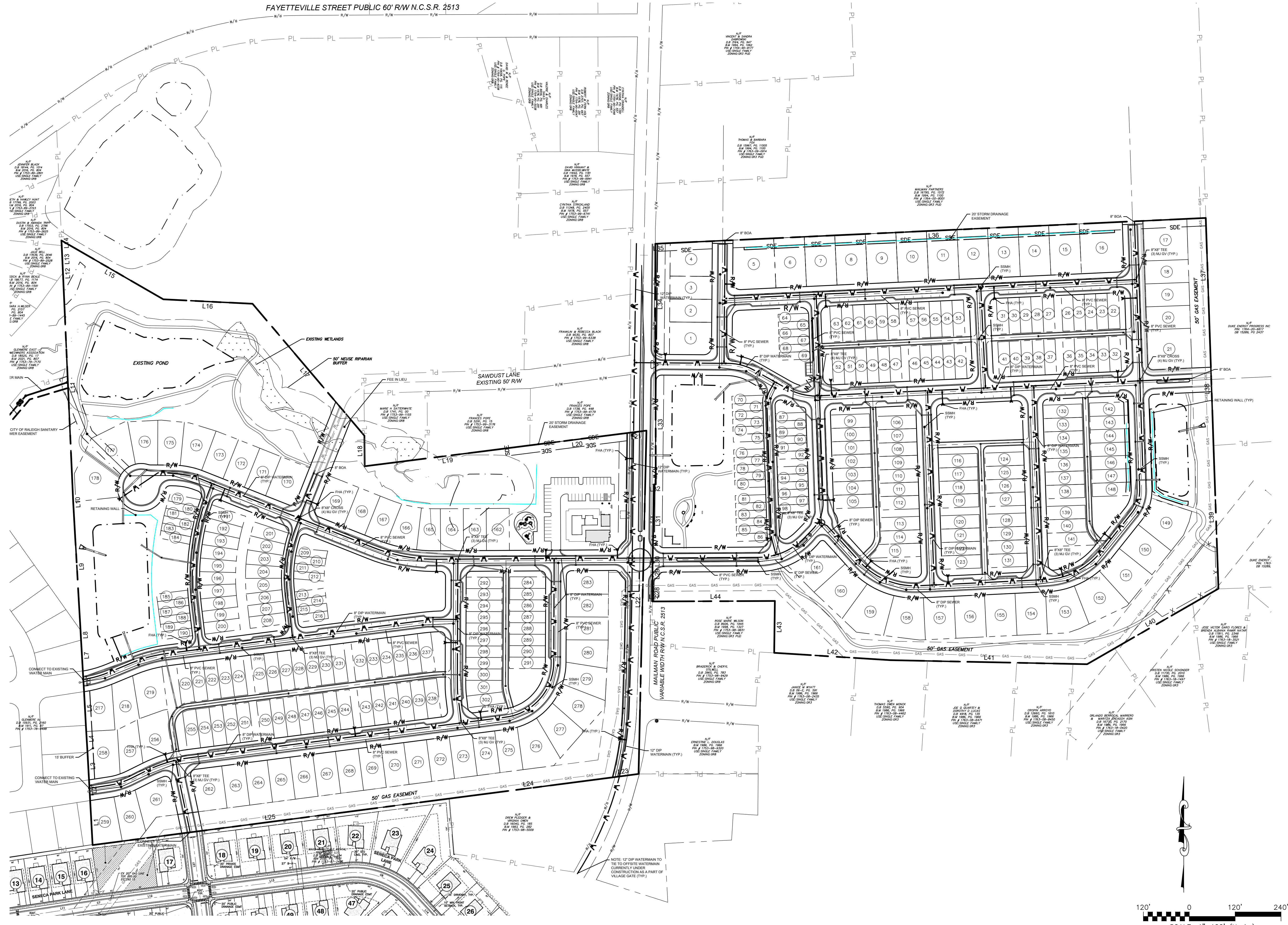
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TURNBRIDGE EQUITIES

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GRADING AND STORM DRAINAGE PLAN - ENLARGEMENT

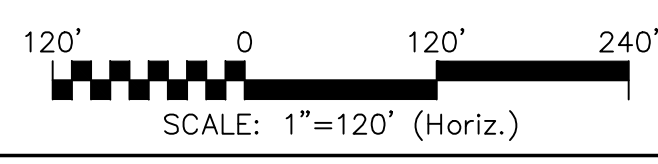
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DRAWN: CEC	DESIGNED: KLT	CHECKED: KLT
PROJ. MGR.: CHS	STATUS: PRELIMINARY	REVISION: NOT FOR CONSTRUCTION



UTILITY DATA

8" WATER MAIN: ±12600 LF
 12" WATER MAIN: ±1680 LF
 NUMBER OF SANITARY SEWER MANHOLES: 74
 8" SEWER MAIN: ±10900 LF

- UTILITY NOTES**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR OR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 18" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-118 S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
 - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
 - INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
 - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDM, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
 - NC DOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UIC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UIC / BLDG PERMIT. CONTACT (919) 996-9293 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION
 - NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID



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REV. NO.	DESCRIPTIONS	DATE

SEAL
 PRELIMINARY PLAN
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SEAL
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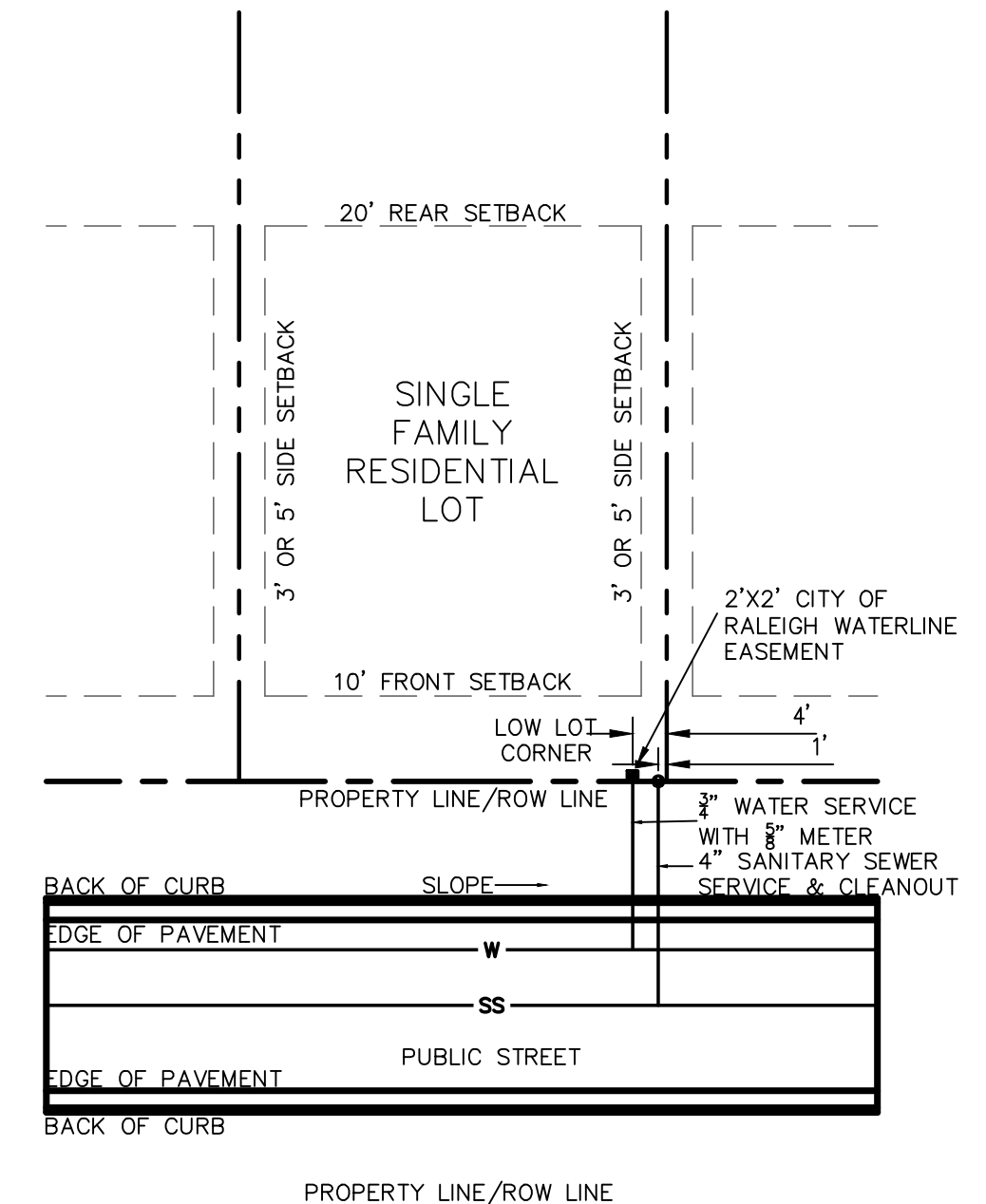
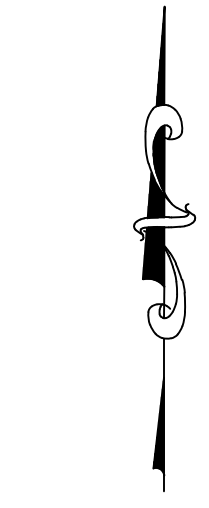
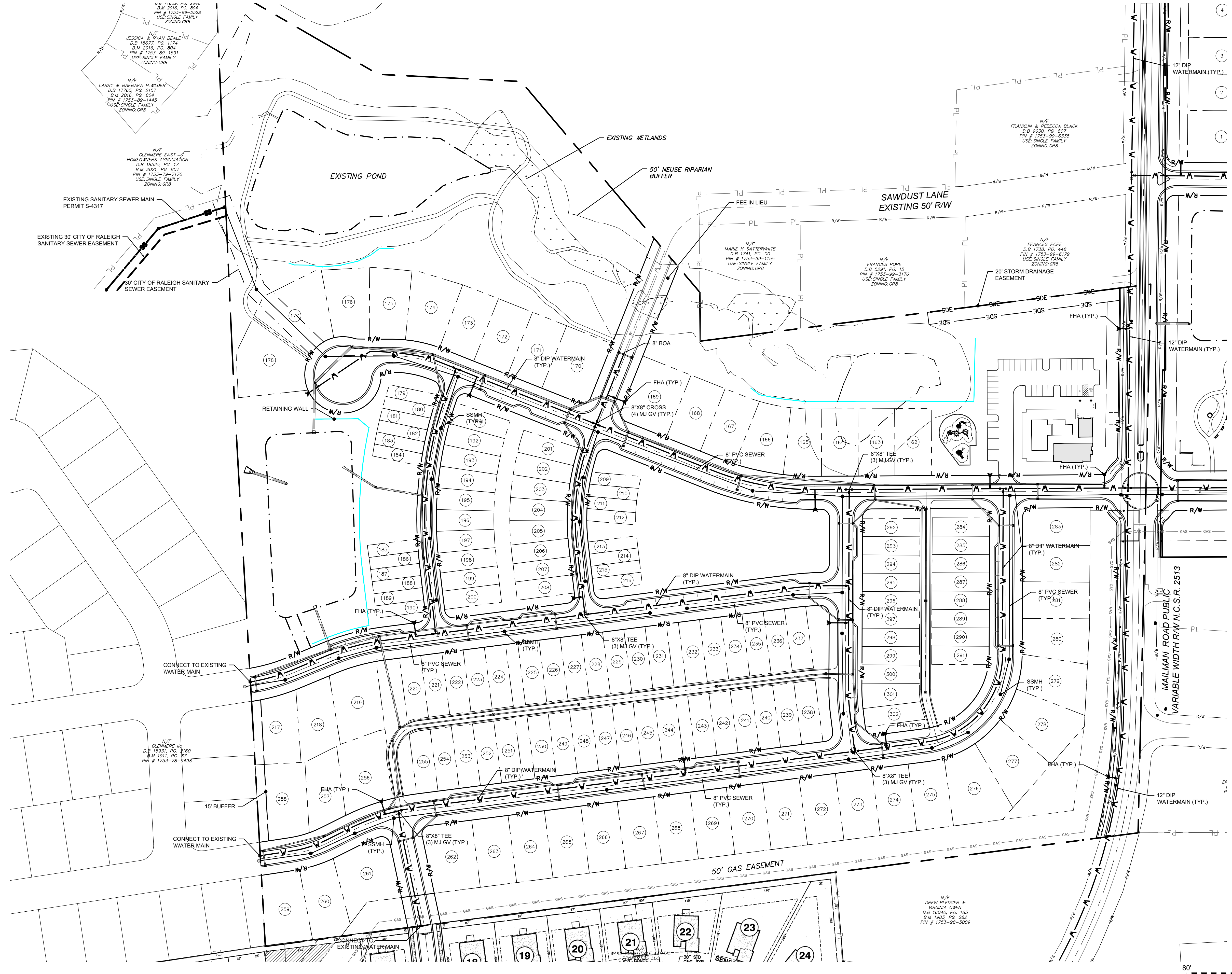
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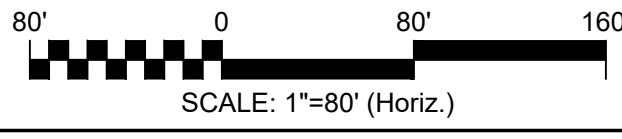
MAILMAN POST
 UTILITY PLAN - OVERALL

DATE: January 4, 2024	SCALE: 1"=120'	MAC FILE NUMBER: CS-0-UTILITY PLAN
MCE PROJ. #: 09493-0001	HORIZONTAL: 1"=120'	DRAWING NUMBER: C8.0
DRAWN: CEC	VERTICAL: N/A	
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR: CHS		
STATUS: PRELIMINARY	REVISION: NOT FOR CONSTRUCTION	

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TYPICAL S.F. LOT UTILITY SERVICES
NOT TO SCALE



SCALE: 1"=80' (Horiz.)

REV. NO.	DESCRIPTIONS	DATE

PRELIMINARY PLAN
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PRELIMINARY PLAN
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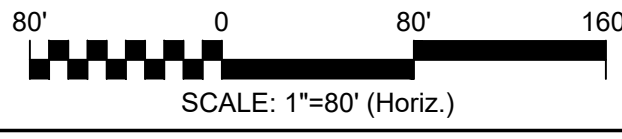
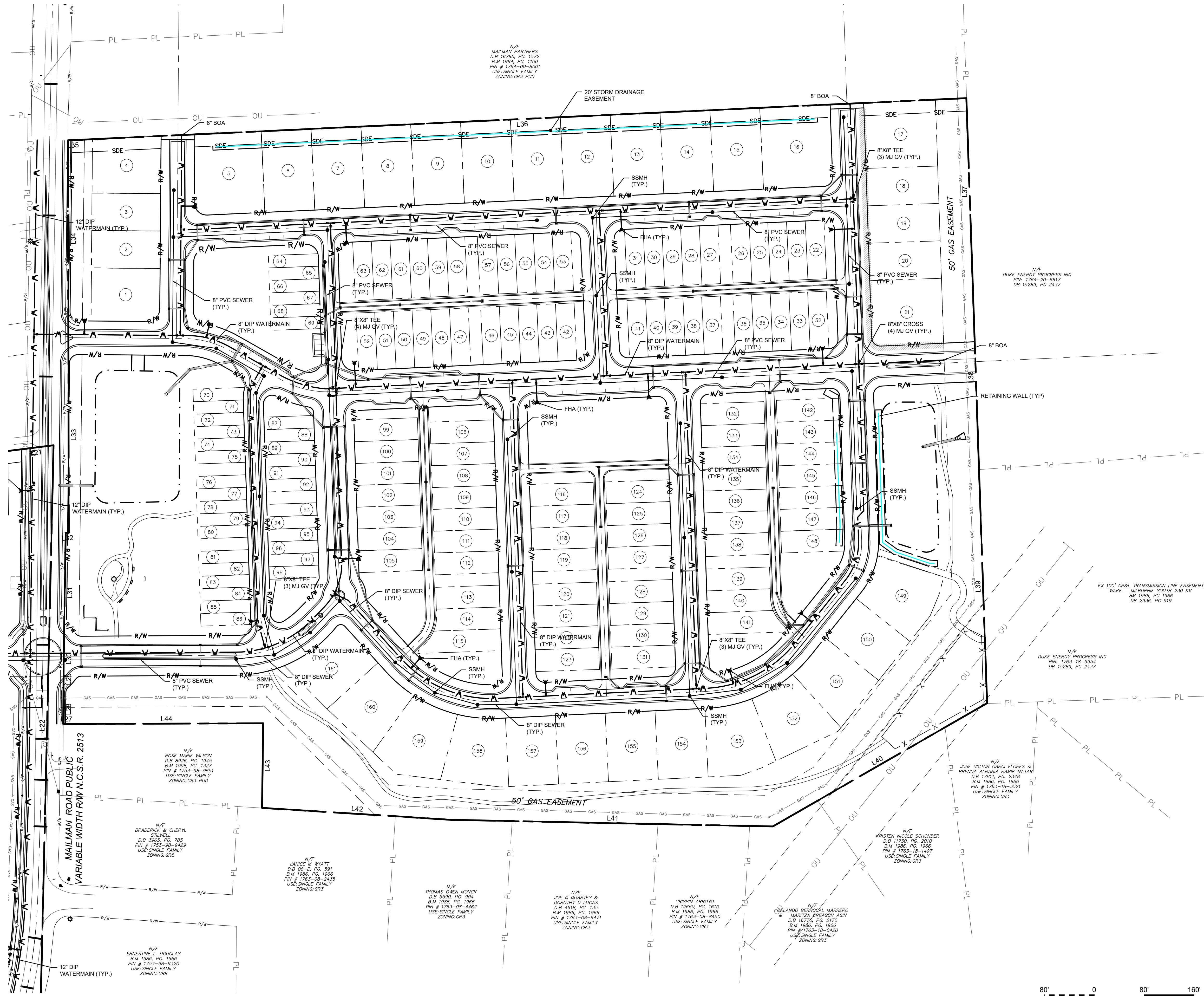
1730 Varsity Drive, Suite 500
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TURNBRIDGE
EQUITIES

MAILMAN POST

UTILITY PLAN -
ENLARGEMENT

DATE: January 4, 2024	SCALE: HORIZONTAL: 1"=80'	MAC FILE NUMBER: 09493-0001
MCE PROJ #: 09493-0001	VERTICAL: N/A	DRAWING NUMBER: C8.1
DRAWN: CEC		
DESIGNED: KLT		
CHECKED: KLT		
PROJ. MGR.: CHS		
STATUS: PRELIMINARY NOT FOR CONSTRUCTION		



I:\09493\001\ENG\80-DRAWINGS\81-PRODUCTION-SHEETS\2-WORKING-DWG\CSO-UTILITY PLAN.DWG ----- 01/04/2024 10:04:30

REV. NO.	DATE	DESCRIPTIONS	REVISIONS

PRELIMINARY PLAN
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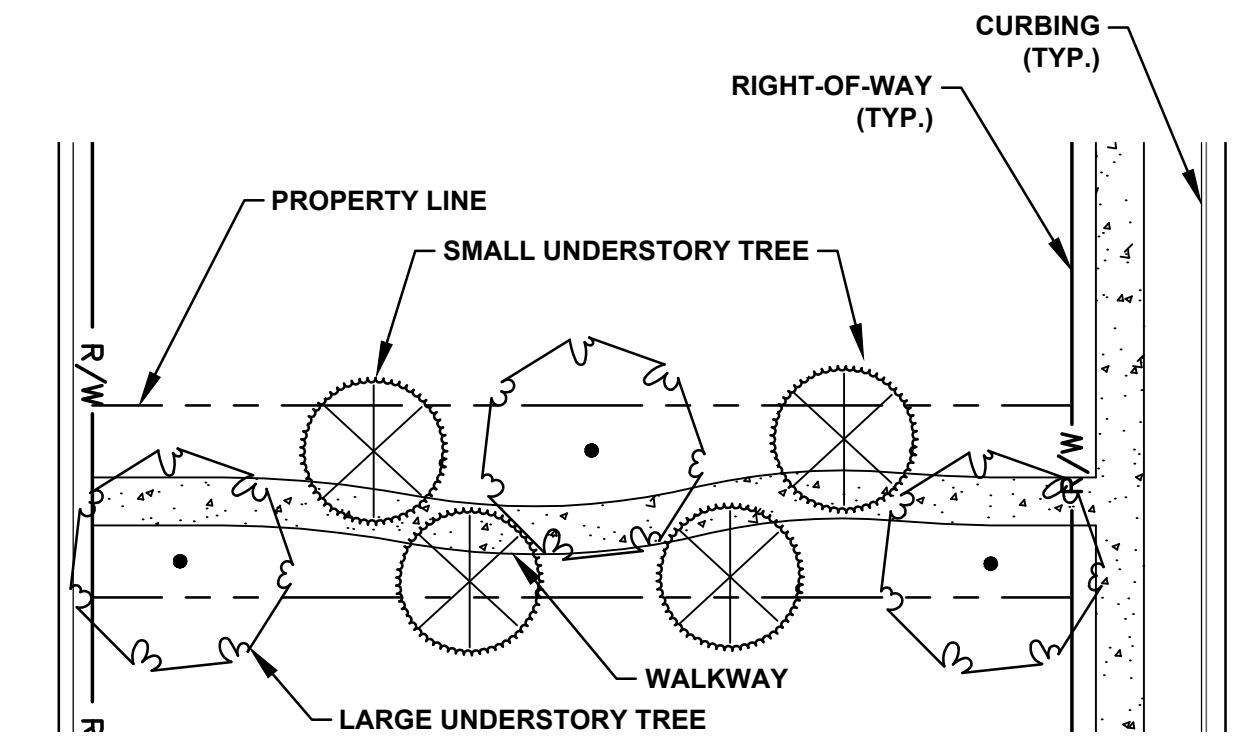
TURNBRIDGE EQUITIES

MAILMAN POST

UTILITY PLAN - ENLARGEMENT

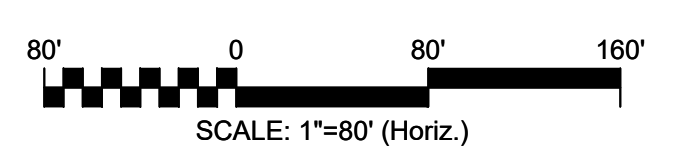
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DRAWN: CEC	DESIGNED: KLT	CHECKED: KLT
PROJ. MGR: CHS	STATUS: PRELIMINARY	NOT FOR CONSTRUCTION

1:094933.0001.ENG-80-DRAWINGS-81-PRODUCTION-SHEETS-2-WORKING-DWG'S-CT.DWG-LANDSCAPING PLAN.DWG 01/04/2024 10:04:47



LEGEND:

	LOT LINE
	RIGHT-OF-WAY LINE
	CENTER LINE
	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	CONCRETE SIDEWALK
	PROPOSED LIGHTING
	LACEBARK ELM
	SUGAR MAPLE
	SAWTOOTH OAK
	CHINESE PISTACHIO
	JAPANESE ZELKOVA
	SCHNEIDER ZELKOVA
	TRIDENT MAPLE
	KWANZAN CHERRY



REVNO.	DESCRIPTIONS	DATE

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TURNBRIDGE
EQUITIES

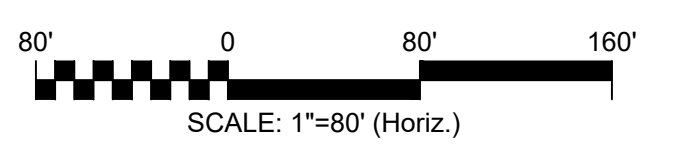
MAILMAN POST
LANDSCAPING PLAN

DATE: January 4, 2024	SCALE: 1"=80'	MAC FILE NUMBER: 2330-LANDSCAPING PLAN
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DRAWN: ALP	VERTICAL: N/A	
DESIGNED: ALP/ALM		
CHECKED: KLT		
PROJ. MGR: CHS		
STATUS: PRELIMINARY		
		NOT FOR CONSTRUCTION



LEGEND:

- LOT LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- PROPERTY LINE
- SETBACK LINE
- EASEMENT LINE
- CONCRETE SIDEWALK
- PROPOSED LIGHTING
- LACEBARK ELM
- SUGAR MAPLE
- SAWTOOTH OAK
- CHINESE PISTACHIO
- JAPANESE ZELKOVA
- SCHNEIDER ZELKOVA
- TRIDENT MAPLE
- KWANZAN CHERRY



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REV. NO.	DESCRIPTIONS	DATE

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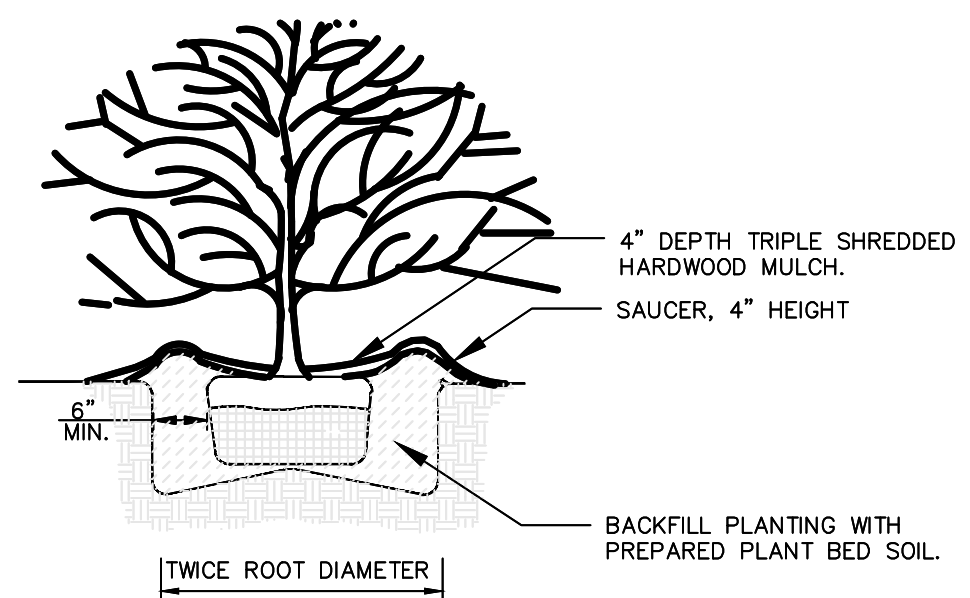
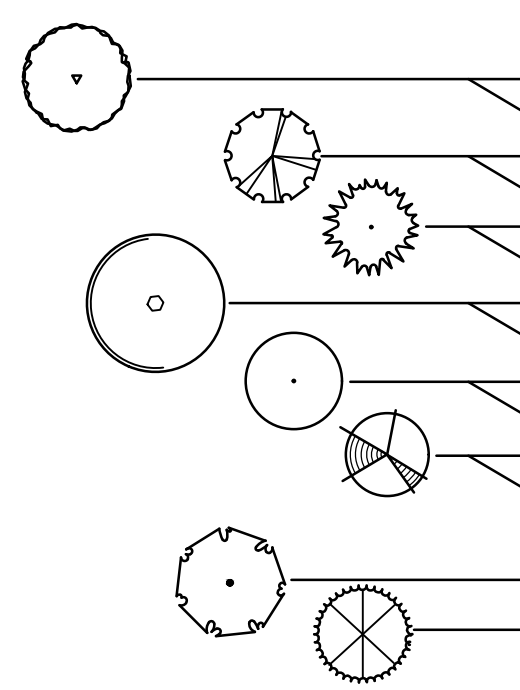
TURNBRIDGE EQUITIES

MAILMAN POST
LANDSCAPING PLAN

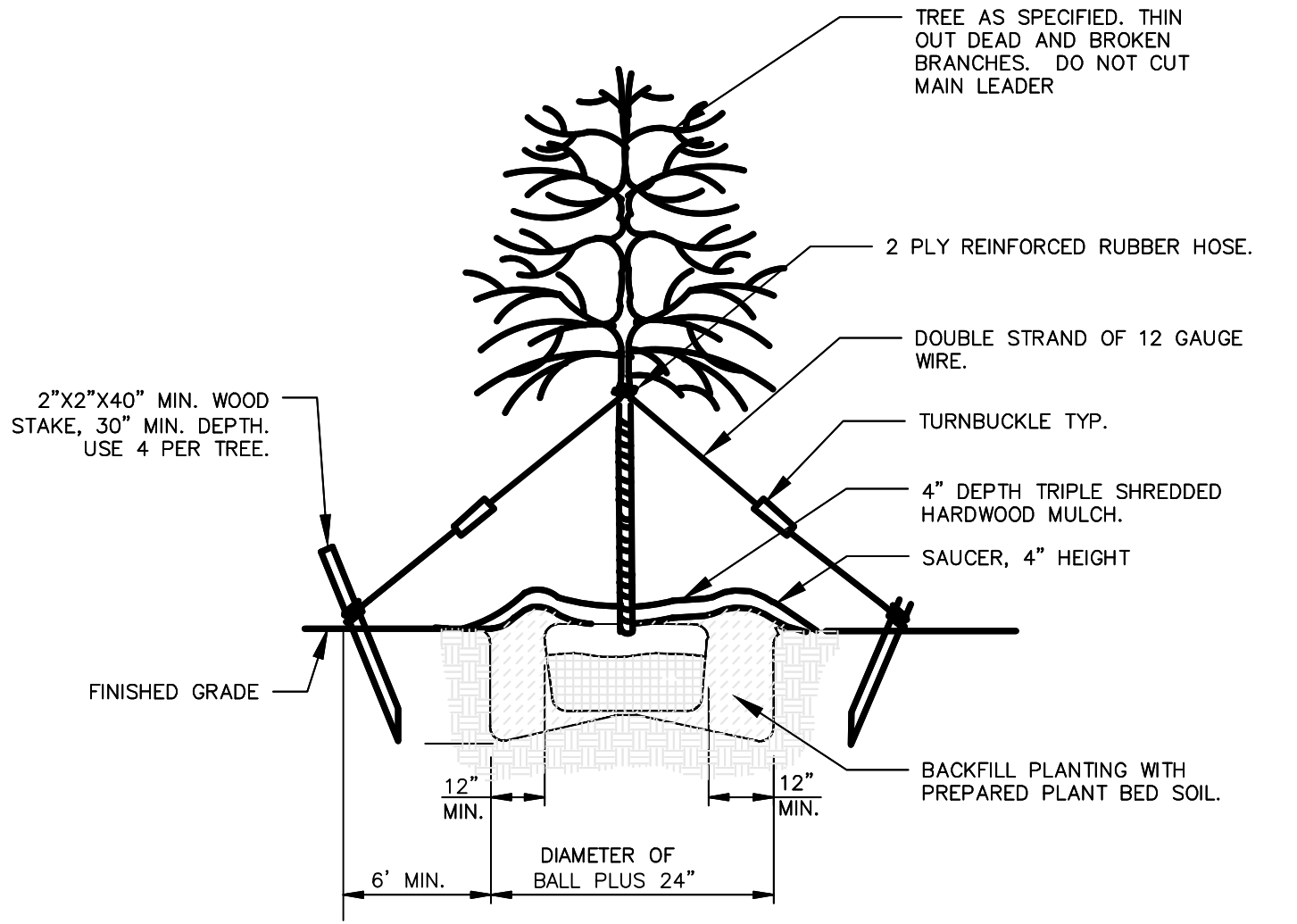
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DRAWN: ALP	VERTICAL: N/A	
DESIGNED: ALP/ALM		
CHECKED: KLT		
PROJ. MGR: CHS		
STATUS: PRELIMINARY	REVISION: NOT FOR CONSTRUCTION	

Botanical Name	Common Name	Qty.	Caliper	Height	Spread	Comments
Canopy Trees						
Ulmus parvifolia	Lacebark Elm	111	2.5"	10'-12'	----	BB, Evenly Branched, Matched, Limbed Up
Ulmus parvifolia	Lacebark Elm	25	3.0"	12'-14'	----	BB, Evenly Branched, Matched, Limbed Up
Acer saccharum	Sugar Maple	42	2.5"	10'-12'	----	BB, Evenly Branched, Matched, Limbed Up
Acer saccharum	Sugar Maple	3	3.0"	12'-14'	----	BB, Evenly Branched, Matched, Limbed Up
Quercus acutissima	Sawtooth Oak	103	2.5"	10'-12'	----	BB, Evenly Branched, Matched, Limbed Up
Quercus acutissima	Sawtooth Oak	15	3.0"	12'-14'	----	BB, Evenly Branched, Matched, Limbed Up
Pistacia chinensis	Chinese Pistachio	107	2.5"	10'-12'	----	BB, Evenly Branched, Matched, Limbed Up
Pistacia chinensis	Chinese Pistachio	24	3.0"	12'-14'	----	BB, Evenly Branched, Matched, Limbed Up
Zelkova serrata	Japanese Zelkova	114	2.5"	10'-12'	----	BB, Evenly Branched, Matched, Limbed Up
Zelkova serrata	Japanese Zelkova	17	3.0"	12'-14'	----	BB, Evenly Branched, Matched, Limbed Up
Zelkova schneideriana	Schneider Zelkova	41	2.5"	10'-12'	----	BB, Evenly Branched, Matched, Limbed Up
Zelkova schneideriana	Schneider Zelkova	3	3.0"	12'-14'	----	BB, Evenly Branched, Matched, Limbed Up
Understory Trees						
Acer buergerianum	Trident Maple	68	*	8'-10'	----	BB, Evenly Branched, Matched, Limbed Up
Prunus serotina	Kwanzan Cherry	88	*	7'-8'	----	BB, Evenly Branched, Matched, Limbed Up
Shrubs						
Ilex cornuta 'Rotundifolia'	Chinese Holly	174	---	18"-24"	---	3 gal. container, 3" o.c.

NOTE: QUANTITIES SUBJECT TO CHANGE DURING CONSTRUCTION DRAWINGS
 *AS NEEDED FOR NOTED MINIMUM PLANTING HEIGHT



SHRUB PLANTING DETAIL
 NOT TO SCALE



TREE PLANTING DETAIL-LARGE TREE
 NOT TO SCALE

GENERAL NOTES - APPLY TO ALL LANDSCAPE SHEETS

- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ADHERENCE TO ORDINANCES, REGULATIONS, LAWS AND CODES HAVING JURISDICTION OVER THE PROPERTY PRIOR TO COMMENCING WORK.
- ALL MATERIALS CONSTRUCTION, AND WORKMANSHIP SHALL MEET THE TOWN OF WENDELL UNIFIED DEVELOPMENT ORDINANCE (UDO) STANDARDS.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
- ALL WORK WITHIN THE NCDOT ROW SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN ALL NEEDED PERMITS, AGREEMENTS AND SUPPLY NOTIFICATIONS OF CLOSURES FROM THE NCDOT.
- CONSTRUCTION STAKEOUT FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR USING A DIGITAL (CADD) FILE PROVIDED THROUGH THE CLIENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE STAKING DIMENSIONS SHOWN ON THE PLAN OR DISCREPANCIES FOUND BETWEEN THE LAYOUT AND THE SITE. ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED SHALL RENDER IT VOID. IN THE EVENT OF DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE DESIGN LAYOUT OR EXISTING CONDITIONS, THE CONTRACT DOCUMENTS TAKE PRECEDENCE OVER THE DIGITAL FILE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SLEEVES FOR ELECTRIC, DRAINAGE, AND UTILITIES PRIOR TO THE INSTALLATION OF COMPACTED SUB-GRADE, SUB-BASE AND PAVEMENT AS NECESSARY. SLEEVES TO BE INSTALLED AT A MINIMUM DEPTH BELOW GRADE AS PER LOCAL CODES.
- UTILITIES ARE SHOWN FOR COORDINATION AND REFERENCE ONLY. CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL UTILITY INFORMATION.

SITE PLANNING NOTES

- ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION AS AMENDED, AND ARE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT OR CITY RIGHT-OF-WAY. ALL METHODS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
- UNLESS NOTED ON THE DRAWINGS ALL BUFFERS, WETLANDS, STREAM CHANNELS, SETBACKS AND TREE PROTECTION AREAS SHALL BE PROTECTED WITH NO CONSTRUCTION ACCESS, STORAGE OR USE OF ANY KIND. THE CONTRACTOR SHALL KEEP CONSTRUCTION ACTIVITIES OUTSIDE OF THE BUFFERS INDICATED ON THE PLANS.
- ALL DIMENSIONS INDICATING "VERIFY" SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO STARTING CONSTRUCTION. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE SMOOTH LAYOUT ALIGNMENTS BETWEEN EXISTING CONDITIONS AND PROPOSED SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS. ANY ADVERSE EXISTING CONDITIONS AFFECTING THE WORK SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR POSSIBLE CLARIFICATION OR RECONCILIATION.
- ITEMS LABELED AS "BY OTHERS" OR "N/C" ARE FOR COORDINATION ONLY. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ANY SUCH ITEMS WITH THE OWNER'S REPRESENTATIVE.
- REFER TO THE TOWN OF WENDELL UDO CHAPTER 8 TREE PROTECTION AND LANDSCAPING SECTION 8.6 BUFFERS AND SCREENING AND SECTION 8.8 STREET TREE PLANTINGS FOR PLANNING REQUIREMENTS FOR PLANTINGS.

PLANTING NOTES

- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
- PLANT LIST IS PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF DISCREPANCIES BETWEEN THE PLAN AND PLANT LIST QUANTITIES, THE PLAN SHALL TAKE PRECEDENCE.
- AFTER THE SITE IS STABILIZED AND FREE OF SEDIMENTATION, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES, SILT, RIP RAP, AND TEMPORARY STONE STAGING AREAS FOR REPLACEMENT WITH PLANTING SOIL. PROVIDE PLANTING ACCORDING TO THE LANDSCAPE PLAN.
- TEMPORARY EROSION CONTROL SEED MUST BE FULLY REMOVED PRIOR TO PREPARATION OF PERMANENT SEED, SOD OR LANDSCAPE BEDS.
- UNLESS OTHERWISE NOTED IN THE PLANT LIST, THE CONTRACTOR SHALL OBTAIN AND INSTALL ONLY PLANT MATERIAL THAT IS GROWN ON ITS OWN ROOT. ALL GRAFTED OR BUDDED PLANT MATERIAL WILL BE REJECTED.
- ALL TREES SHALL BE OBTAINED FROM THE NURSERY WITH EXPOSED ROOT CROWNS. BAB MATERIAL DELIVERED TO SITE WITH BURIED OR RECENTLY BURIED ROOT CROWNS WILL BE REJECTED.
- FURNISHED PLANT MATERIAL SHALL MEET THE MINIMUM HEIGHT OR MINIMUM SPREAD DIMENSIONS SHOWN IN THE PLANT LIST HEADINGS. THE CONTRACTOR SHALL UTILIZE THE MOST STRINGENT DIMENSION SHOWN ON THE PLANT LIST.
- DO NOT PLANT IN STORM WATER CONVEYANCE SWALES OR PROVIDE FINE GRADING THAT DISRUPTS FLOW OR CHANGES LONGITUDINAL SLOPES.
- PLANT THE OUTER EDGES OF EACH PLANTING GROUP FOLLOWING THE BED OUTLINE ACCORDING TO THE PLAN. ONCE A SATISFACTORY MATCHED OUTLINE SHAPE IS OBTAINED, FILL THE CENTER OF EACH AREA WITH PLANTS ACCORDING TO THE PLAN AND SPACING NOTES.
- THE PLANTING LAYOUT WITHIN PLANTING BEDS SHOULD BE SHIFTED TO MINIMIZE CONFLICTS WITH EXISTING TREE ROOTS.
- THE CONTRACTOR SHALL SEED ALL DISTURBED AREAS INCLUDING CONSTRUCTION ACCESS OUTSIDE PROJECT LIMITS.
- SPACING OF TREES SHOULD ALLOW FOR A CLEAR VIEW OF BUILDINGS AND LAND USE.

PLANTING NOTES

- STREET TREES SHALL BE PLANTED AS CANOPY TREES INSTALLED AT AN AVERAGE DISTANCE OF 40' O.C.; YET IN SOME LOCATIONS FACTORS SUCH AS EASEMENTS, UTILITIES, UTILITY COORDINATION, DRIVEWAYS, BLOCK LENGTHS ETC. MAY RESULT IN A +/- DEVIATION. ANY TREE LOCATIONS CONFLICTING WITH PROPOSED UTILITIES SHALL BE RESOLVED IN THE FIELD.
- NO MORE THAN 40% OF ONE TREE SPECIES SHALL BE USED THROUGHOUT THE PROJECT.
- STREET TREES SHALL BE PLACED AT LEAST 8' FROM LIGHT POLES AND 10' FROM ELECTRICAL TRANSFORMERS FOR SERVICE; CONTRACTOR TO FIELD VERIFY ALL LIGHT AND UTILITY LOCATIONS PRIOR TO INSTALLATION.
- STREET TREES SHALL BE PLANTED INSIDE OF THE RIGHT-OF-WAY, BETWEEN THE CURB AND THE SIDEWALK, AND ARE TO BE LOCATED WITHIN THE PROVIDED PLANTING EASEMENT.
- WHERE PLANTINGS ARE NOT REQUIRED BY THE TOWN OF WENDELL UDO, BUT ARE SHOWN ON THE PLAN FOR REFERENCE ONLY WITH THE NOTATION N/C (NOT IN CONTRACT), DESIGN IS SUBJECT TO CHANGE WITHOUT NOTIFICATION.
- ALL MEDIANS SHALL BE SEEDED AND STABILIZED USING A COMMON BERMUDA TURF.

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TURNBRIDGE EQUITIES

MAILMAN POST
 LANDSCAPING DETAILS

DATE: January 4, 2024	SCALE: 1"=80'	MAC FILE NUMBER: 210-LANDSCAPING PLAN
MCE PROJ # 09493-0001	HORIZONTAL: N/A	DRAWING NUMBER: C10.3
DRAWN: ALP	VERTICAL: N/A	
DESIGNED: ALP/ALM		
CHECKED: KLT		
PROJ. MGR: CHS		
STATUS: PRELIMINARY	REVISION: NOT FOR CONSTRUCTION	