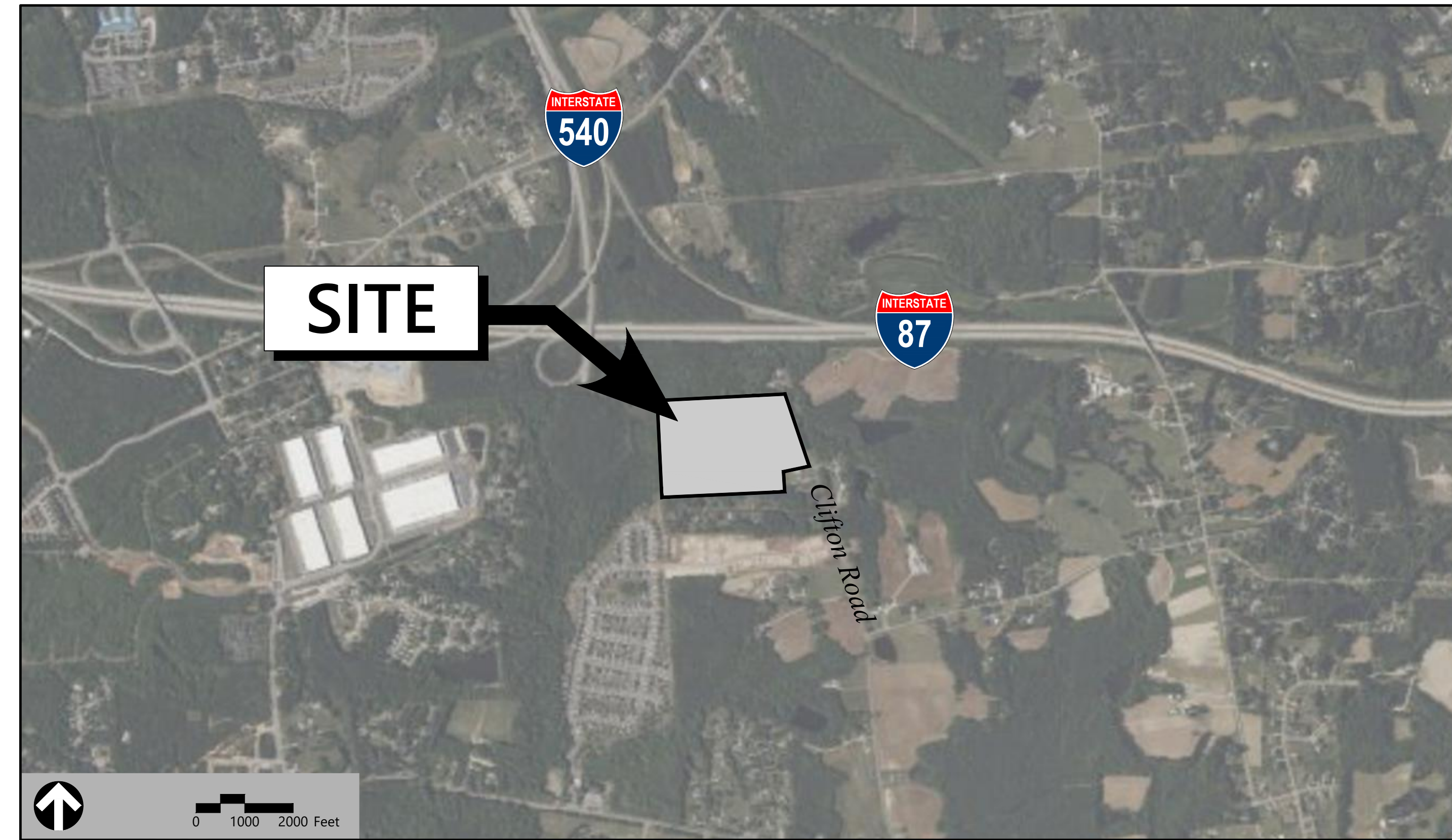


Master Plan

Issued for	Review
Date Issued	March 24, 2025
Latest Issue	March 24, 2025

Clifton Road Conservation Subdivision

0 Pine Country Ln
Knightdale, NC



VHB Engineering NC, P.C.
940 Main Campus Drive
Suite 500
Raleigh, NC 27606
919.829.0328
Corp. # C-3705

Owner

David Jonathan Adams
6000 Mal Weathers Road
Raleigh, NC 27603-7831

Developer

DR Horton
7208 Falls of Neuse Rd Suite 201
Raleigh, NC 27615
Contact: Reese Bridges
Telephone: 984.247.9614
Email: Trbridges@drhorton.com

Applicant

VHB Engineering NC, P.C.
940 Main Campus Drive Suite 500
Raleigh, NC 27606
Contact: Charles Townsend, PE
Telephone: 919.741.5567
Email: ctownsend@vhb.com

Surveyor

CMP Professional Land Surveyors
333 White Street
P.O. Box 1253
Wake Forest, NC 27588
Telephone: 919.556.3148

Consultant

Duncan Land Consultants
5204 Blakenban Trail
Fuquay Varina, NC 27526
Telephone: 919.422.2691
Email: brian@duncanlc.com

Sheet Index

No.	Drawing Title	Latest Issue
C0.01	Legend and General Notes	March 24, 2025
C1.00	Illustrative Master Plan	March 24, 2025
C1.01	Open Space Plan	March 24, 2025
C2.00	Site Plan	March 24, 2025
C2.01	Transportation Plan	March 24, 2025
C2.02	Signage Plan	March 24, 2025
C3.00	Stormwater Management Plan	March 24, 2025
C4.00	Utility Plan	March 24, 2025
L1.00	Landscape and Lighting Plan	March 24, 2025
L2.00	Landscape and Lighting Details	March 24, 2025

Architectural Design Standards

STANDARDS FOR ALL HOMES

- ALL HOMES WILL HAVE A COMBINATION OF TWO OR MORE OF THE FOLLOWING MATERIALS ON THE FRONT FACADE (NOT INCLUDING FOUNDATION) UNLESS THE HOME IS ONLY STONE OR BRICK:
 - STONE
 - BRICK
 - LAP SIDING
 - SHAKES
 - BOARD AND BATTEN
 - WINDOW PEDIMENTS
 - RECESSED WINDOWS
 - SIDE AND/OR FRONT WINDOW BOX BAYS
 - ROOF GABLES
 - ROOF DORMERS
 - ROOFLINE CORNICES
- THE EXTERIOR SIDING MATERIAL ON THE SIDE AND REAR FACADES WILL BE FIBER CEMENT. WHEN TWO MATERIALS ARE USED, THE MATERIALS SHALL BE DIFFERENT BUT COMPLEMENTARY COLORS.
- VINYL IS PROHIBITED EXCEPT FOR WINDOW TRIM, SOFFITS, FASCIA, AND/OR CORNER BOARDS.

- MAIN ROOF PITCHES (EXCLUDING PORCHES) WILL BE AT LEAST 6:12.
- FOR EVERY 30 FEET (OR FRACTION) OF CONTINUOUS SIDE ELEVATION (CALCULATED ON A PER FLOOR BASIS), THERE SHALL BE ONE WINDOW OR DOOR ADDED TO THE SIDE ELEVATIONS. ANY SIDING BREAK ON THE SIDE OF THE HOME SUCH AS A FIREPLACE, SIDE PORCH, WALL OFFSETS COULD BE USED AS AN ALTERNATIVE TO WINDOWS.
- EACH FRONT ENTRANCE SHALL CONTAIN A COVERED STOOP OR PORCH.
- FOUNDATION SHALL BE RAISED TO A MINIMUM HEIGHT OF 18 INCHES ABOVE FINISHED YARD GRADE IN THE FRONT AND SHALL CONTAIN A MINIMUM OF 2 STAIR RISERS UP TO THE FRONT PORCH. FOUNDATIONS WILL BE WRAPPED IN BRICK OR STONE ON ALL SIDES. AREAS UNDER FRONT PORCHES MAY BE ENCLOSED WITH LATTICE OR OTHER DECORATIVE FORM OF SCREENING TO MATCH ARCHITECTURAL STYLE. STANDARDS FOR SINGLE-FAMILY DETACHED FRONT-LOADED HOMES.
- ALL HOMES SHALL HAVE A MINIMUM 100 SQUARE FOOT PATIO, DECK, TERRACE, OR COURTYARD.
- A MINIMUM OF 33% OF HOMES SHALL INCLUDE STONE OR BRICK AS A FRONT FACADE MATERIAL.

STANDARDS FOR COTTAGE COURT HOUSING

- NOTE: WE WELCOME FEEDBACK FROM STAFF AND COUNCIL ON THIS POINT

Reference Drawings

No.	Drawing Title	Latest Issue
1 of 1	Topographic Survey	November 11, 2024
1 of 1	Tree Survey	February 27, 2025

Development Allowances

THE PROPOSED ZONING OF GR3 MEETS ALL STANDARDS SET FORTH IN THE TOWN OF KNIGHTDALE'S UNIFIED DEVELOPMENT ORDINANCE WITH THE EXCEPTION OF A FEW CONDITIONS.

NOTE: CONTENTS OF THIS SECTION WILL BE MODIFIED AND/OR EXPANDED WITH FURTHER COMMUNICATION AND REVIEW WITH STAFF AND COUNCIL. DUE PRIMARILY TO ENVIRONMENTAL AND OTHER SITE CONSTRAINTS, AND IN ORDER TO PROVIDE MORE LANDSCAPE CONSERVATION AND BENEFICIAL COMMON OPEN SPACE FOR AN OVERALL BETTER-INTEGRATED DESIGN, THE APPLICANT IS REQUESTING THE FOLLOWING SITE DEVELOPMENT ALLOWANCES:

LOT WIDTH

IN ORDER TO CREATE A VARIETY OF HOUSING TYPES AND PRICE-POINTS, AND A MORE WALKABLE COMMUNITY, WE ARE PROPOSING SINGLE FAMILY DETACHED FRONT-LOADED HOMES WITH LOT WIDTHS OF LESS THAN 80'. 50' LOT WIDTHS ARE PROPOSED FOR A MINORITY OF THE DEVELOPMENT.

DRIVEWAY LENGTH

IN THE GR3 BASE DISTRICT, THE MINIMUM REQUIRED DRIVEWAY LENGTH IS 35' FOR A RESIDENTIAL LOT. FOR FRONT-LOADED RESIDENTIAL TYPES, WE ARE PROPOSING A 25' MINIMUM DRIVEWAY LENGTH. THIS IS MITIGATED BY AMPLE ON-STREET GUEST PARKING, AND THE PROPOSED DRIVEWAY LENGTHS ALLOW FOR HOMEOWNERS OR GUESTS TO PARK A CAR IN THE DRIVEWAYS WITHOUT BLOCKING PEDESTRIAN FACILITIES.

BUILDING SETBACKS

FOR FRONT-LOADED SINGLE FAMILY LOTS, WE'RE PROPOSING A MINIMUM 20' FRONT, 15' REAR AND 5' SIDE MINIMUM BUILDING SETBACK.

FOR COTTAGES, WE'RE PROPOSING A MINIMUM OF 10' SEPARATION BETWEEN UNITS AND 10' MIN FRONT BUILDING SETBACK.

PUBLIC ROADWAY CENTERLINE RADII

THE DEVELOPMENT REQUESTS A REDUCTION IN THE MINIMUM CENTERLINE RADII FOR PUBLIC STREETS FROM 150' TO 100' SO LONG AS

ADEQUATE EMERGENCY VEHICLE ACCESS AND MANEUVERABILITY IS NOT COMPROMISED.

RESIDENTIAL CLEARING & GRADING (UDO SEC. 9.3.B)

THE PROJECT WILL REQUIRE A SITE DEVELOPMENT ALLOWANCE PERTAINING TO RESIDENTIAL CLEARING AND GRADING AS SPECIFIED IN SECTION 9.3.B OF THE UDO IN ORDER TO PROVIDE MORE EFFICIENT UTILITY INFRASTRUCTURE AND EFFECTIVE STORMWATER DESIGN. FRONT LOAD SINGLE FAMILY LOT WIDTHS SHALL BE A MINIMUM OF 50' IN WIDTH AND MASS GRADING SHALL BE PERMITTED.

CONNECTIVITY INDEX

THE CONNECTIVITY INDEX SHALL BE PERMITTED TO BE 1.0 DUE TO A LACK OF EXISTING STREET CONNECTIONS TO THE NEIGHBORHOOD AND THE PRESENCE OF EXISTING ENVIRONMENTAL CONDITIONS (THAT WE WOULD LIKE TO RETAIN) TO THE NORTH AND WEST OF THE DEVELOPED AREA.

PORTION OF CLIFTON ROAD IMPROVEMENTS

THE DEVELOPMENT IS REQUESTING A FEE-IN-LIEU OF CONSTRUCTION FOR A PORTION OF THE CLIFTON RD IMPROVEMENTS (CURB & GUTTER, SIDEWALK ETC.) NORTH OF THE EAST-TO-WEST JURISDICTIONAL STREET THAT BISECTS CLIFTON RD. FURTHER DEVELOPMENT NORTH OF THE PROJECT IS UNLIKELY, AND CREATING POTENTIALLY UNNECESSARY ENVIRONMENTAL IMPACTS TO JURISDICTIONAL WETLANDS AND STREAMS DOES NOT ALIGN WITH THE OVERALL THEME OF CONSERVATION. THE DEVELOPER WILL PAY A LUMP SUM FEE-IN-LIEU OF CONSTRUCTION TO THE TOWN OF KNIGHTDALE WITH THE FIRST SUBDIVISION PLAT. THE AMOUNT WILL BE ESTIMATED BY A PROFESSIONAL ENGINEER AND REVIEWED BY THE TOWN OF KNIGHTDALE.

Site Data Table

PROJECT:	CLIFTON ROAD CONSERVATION SUBDIVISION
OWNER:	DAVID ADAMS 6000 MAL WEATHERS ROAD RALEIGH, NC 27603
SITE ADDRESS:	0 PINE COUNTRY LANE KNIGHTDALE, NC 27545
PIN:	1743-73-8469
WATERSHED:	NEUSE RIVER
TOWNSHIP:	ST MATTHEWS
PARCEL AREA:	32.05 AC
CURRENT ZONING:	RR1
PROPOSED ZONING:	GR3 PUD
CURRENT USE:	VACANT
PROPOSED USE:	RESIDENTIAL

SINGLE FAMILY SETBACKS:

FRONT: 20'
SIDE: 5'
REAR: 15'

COTTAGE SETBACKS:

FRONT: 10'
CORNER: 5'



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Legend

Legend table with columns for 'Exist.' and 'Prop.' symbols and descriptions for various site features like Property Line, Road, and Utilities.

Abbreviations

Abbreviations table listing symbols and names for General and Utility items, such as ABAN (ABANDON), ACR (ACCESSIBLE CURB RAMP), and CB (CATCH BASIN).

Notes

- Notes 1-14 detailing contractor requirements, safety standards, and site preparation instructions.

Utilities

- Utilities 1-5 detailing requirements for existing utilities, catch basins, and pipe materials.

Layout and Materials

- Layout and Materials 1-7 detailing requirements for dimensions, curbs, and materials.

- Demolition 1-5 and Erosion Control 1-3 detailing requirements for demolition work and erosion control measures.

Existing Conditions Information

- Existing Conditions Information 1-6 detailing survey information and property boundaries.

Document Use

- Document Use 1-3 detailing professional service, electronic versions, and graphic representation requirements.

Clifton Road Conservation Subdivision
0 Pine Country Lane
Knightdale, NC

Table with columns: No., Revision, Date, Appvd. for project tracking.

Designed by: VHB, Checked by: CDT
Master Plan Review
March 24, 2025

Legend and General Notes

811 logo, North Carolina Professional Engineer seal for Riley D. Towns, sheet number C0.01, and date 03/24/2025.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF KNIGHTDALE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE

PRELIMINARY DEVELOPMENT SUMMARY

PROJECT: CLIFTON RD CONSERVATION SUBDIVISION

OWNER : DAVID ADAMS
6000 MAL WEATHERS RD
RALEIGH, NC 27603

DEVELOPER: DR HORTON, INC
7208 FALLS OF NEUSE RD, STE 201
RALEIGH, NC 27615

PIN: 1743-73-8469

SITE ADDRESS: 0 PINE COUNTRY LN

WATERSHED: NEUSE RIVER - C,NSW

TOWNSHIP: ST MATTHEWS
TRACT AREA: 32.05
EX ZONING: RR1 (RURAL RESIDENTIAL 1)
PROPOSED ZONING: GR3 PUD
EX USE: VACANT
PROPOSED USE: RESIDENTIAL
EX STRUCTURES: N/A
RES UNITS PROPOSED: 95
TRADITIONAL SINGLE FAMILY DETACHED: 27
COTTAGES: 68

DENSITY: 95 UNITS/32.05 AC = 2.96 UNITS/AC

RECREATIONAL OPEN SPACE CALCULATIONS

OPEN SPACE REQUIRED: 3.97 AC
TOTAL BEDS OUTSIDE 1/2 MILE: 333 BEDS (95 UNITS*3.5 UNITS/BED)
OPEN SPACE CALC: 333 beds * 520 SF = 173,160 SF (3.97 AC)
OPEN SPACE PROVIDED: 4.00 AC

ACTIVE OPEN SPACE
ACTIVE OPEN SPACE REQ'D: 1.98 AC (0.5*3.97 AC)
ACTIVE OPEN SPACE PROVIDED: 1.98± AC

PASSIVE OPEN SPACE
PASSIVE OPEN SPACE REQ'D: 1.98 AC (0.5*3.97 AC)
PASSIVE OPEN SPACE PROVIDED: 2.02± AC

WETLAND IMPACT: NO IMPACTS PLANNED

PARKING
TRADITIONAL SF UNITS: (2/UNIT * 27) = 54 SPACES
COTTAGE UNITS: (1.7/UNIT * 68 UNITS) = 116 SPACES
TOTAL PROVIDED: 172 SPACES

CONNECTIVITY INDEX: 2 LINKS/ 2 NODES= 1.0 (DEV ALLOWANCE)

DEVELOPMENT SUMMARY

- 50' TRADITIONAL SINGLE FAMILY LOT**
(ADDITIONAL ANTI-MONOTONY PROVISIONS SEE PUD REPORT)
- COTTAGE PRODUCT STYLE A**
ADDITIONAL ANTI-MONOTONY PROVISIONS SEE PUD REPORT
- COTTAGE PRODUCT STYLE B**
ADDITIONAL ANTI-MONOTONY PROVISIONS SEE PUD REPORT
- COTTAGE COURTS, PASSIVE OPEN SPACE**
ADDITIONAL ANTI-MONOTONY PROVISIONS SEE PUD REPORT
- ACTIVE OPEN SPACE**
(ADDITIONAL ANTI-MONOTONY PROVISIONS SEE PUD REPORT)



Site Legend

	WETLANDS
	50' NEUSE RIVER BUFFER
	PROPERTY LINE
	BUILDING SETBACK
	CONCRETE SIDEWALK
	GREENWAY
	GREENWAY EASEMENT
	8 FT PRIVACY FENCE

Clifton Road Conservation Subdivision
0 Pine Country Lane
Knightdale, NC

No. Revision Date App'd.

Designed by: VHB Checked by: CDT
Issued for: Master Plan Review Date: March 24, 2025

Drawing Title: Illustrative Master Plan

Drawn by	Checked by
Issued for	Date
Master Plan Review	March 24, 2025

Drawing Number: **C1.00**

Sheet 3 of 10

Project Number: 39510.03

Date: 03/24/2025

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NOT FOR CONSTRUCTION

FOR PERMIT REVIEW ONLY

03/24/2025



Saved Monday, March 24, 2025 4:30:33 PM KGHANEY Plotted Monday, March 24, 2025 4:44:44 PM Kelle Haney



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PASSIVE OPEN SPACE

Open Space A = 14,200 SF (0.33 AC)
 Open Space B = 5,240 SF (0.12 AC)
 Open Space C = 10,000 SF (0.23 AC)
 Open Space D = 11,000 SF (0.25 AC)
 Open Space E = 19,000 SF (0.44 AC)
 Open Space F = 13,340 SF (0.30 AC)
 Uncategorized Open Space = > 15,246 SF (0.35 AC)

Total Passive Open Space: 88,026 SF (2.02 AC)

ACTIVE OPEN SPACE

Open Space 1 = 45,100 SF (1.04 AC)
 Open Space 2 = 15,460 SF (0.35 AC)
 Open Space 3 = 25,900 SF (0.59 AC)

Total Active Open Space: 86,460 SF (1.98 AC)

TOTAL OPEN SPACE

174,486 SF (4.00 AC)*

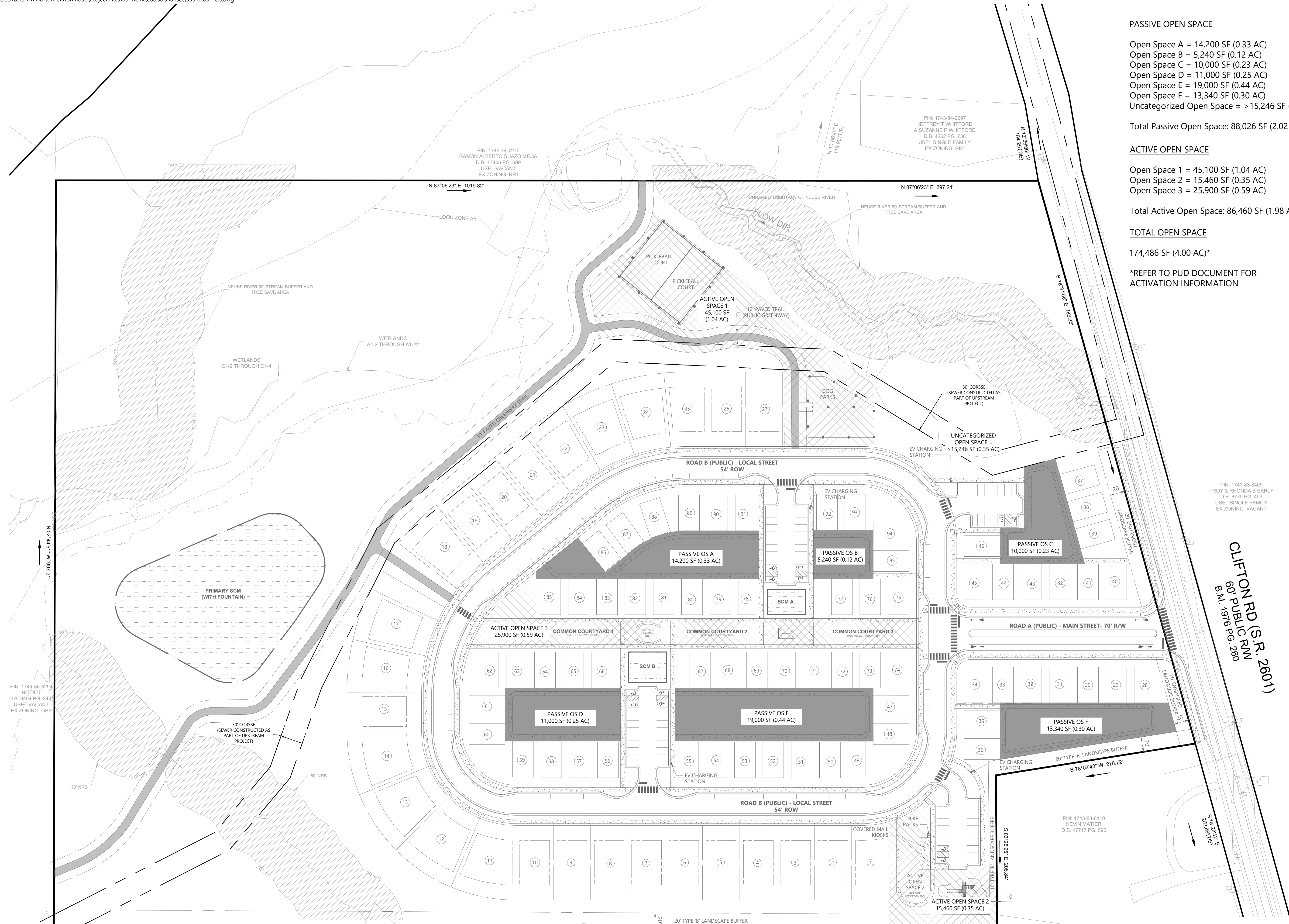
*REFER TO PUD DOCUMENT FOR ACTIVATION INFORMATION

LEGEND

- Active Open Space
- Passive Open Space
- Light Pole (typ.)

Site Legend

- WETLANDS
- 50' NEUSE RIVER BUFFER
- PROPERTY LINE
- BUILDING SETBACK
- CONCRETE SIDEWALK
- GREENWAY
- GREENWAY EASEMENT
- 8 FT PRIVACY FENCE



CLIFTON RD (S.R. 2601)
 60' PUBLIC R/W
 B.M. 19716 PG. 260

0 30 60 120 Feet

Clifton Road Conservation Subdivision
 0 Pine Country Lane
 Knightdale, NC

No.	Revision	Date	App'd.

Designed by: **VHB** Checked by: **CDT**
 Issued for: _____ Date: _____
Master Plan Review
 March 24, 2025

Drawing Title: **Open Space Plan**
 Drawing Number: _____

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C1.01

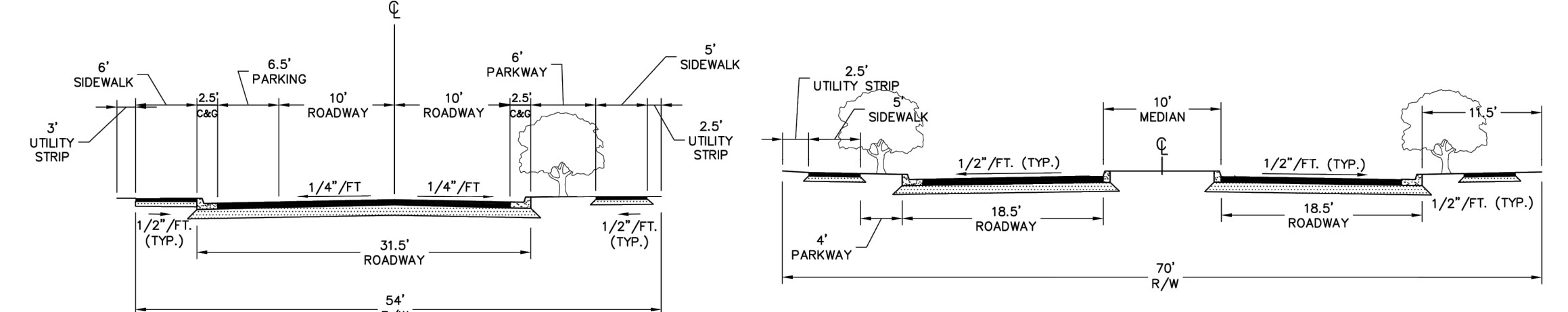
Sheet 4 of 10

Project Number: 39510.03
 Date: 03/24/2025

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TYPICAL CROSS SECTION - 54' ROW
NOT TO SCALE Source: TOWN OF KNIGHTDALE DET 3.02-2

TYPICAL CROSS SECTION - 70' ROW
NOT TO SCALE Source: TOWN OF KNIGHTDALE DET 3.02-2

Site Data Table

PROJECT:	CLIFTON ROAD CONSERVATION SUBDIVISION	CURRENT ZONING:	RR1
OWNER:	DAVID ADAMS 6000 MAL WEATHERS ROAD RALEIGH, NC 27603	PROPOSED ZONING:	GR3 PUD
SITE ADDRESS:	0 PINE COUNTRY LANE KNIGHTDALE, NC 27545	CURRENT USE:	VACANT RESIDENTIAL
PIN:	1743-73-8469	PROPOSED USE:	VACANT RESIDENTIAL
WATERSHED:	NEUSE RIVER	SINGLE FAMILY SETBACKS:	
TOWNSHIP:	ST MATTHEWS	FRONT:	20'
PARCEL AREA:	32.05 AC	SIDE:	5'
		REAR:	15'
		COTTAGE SETBACKS:	
		FRONT:	10'
		CORNER:	5'

TRANSPORTATION NETWORK

AN EXCEPTION TO SECTION 10.5A OF THE UDO, TO ALLOW A MINIMUM CENTERLINE RADIUS OF 100 FEET FOR ROAD A (PUBLIC) LOCAL STREET - ON STREET PARKING.

STREET TABLE

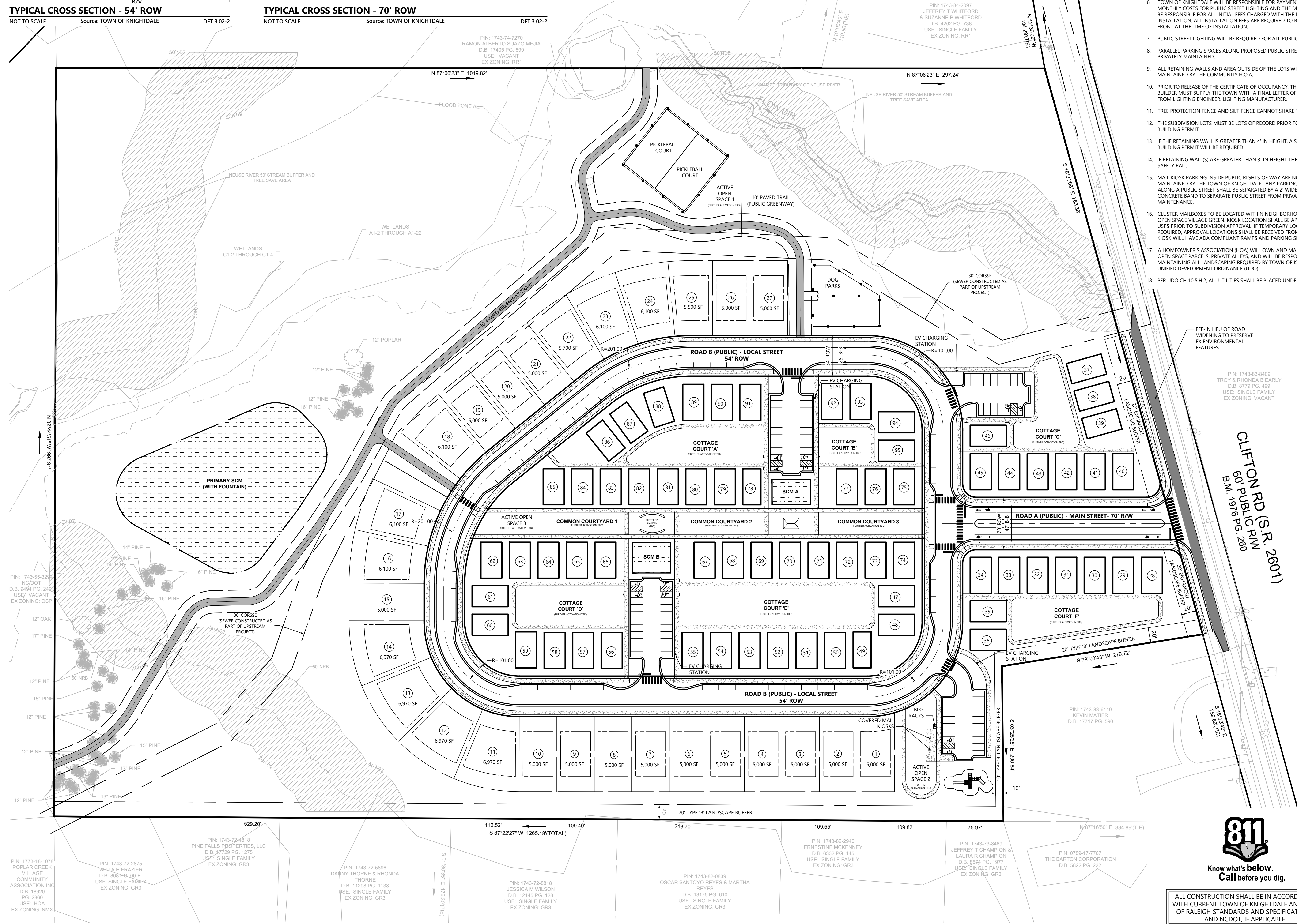
STREET NAME	TYPE	ROW (LF)	LENGTH (LF)
ROAD A (PUBLIC)	LOCAL STREET - ON STREET PARKING	54	305
ROAD B (PUBLIC)	MAIN STREET	70	1,960
	TOTAL		2,265

Site Notes

- CONSTRUCTION DRAWINGS SHALL BE SUBMITTED AND APPROVED BY THE TOWN OF KNIGHTDALE PRIOR TO CONSTRUCTION.
- SEE SHEET C.01 FOR GENERAL AND SITE NOTES.
- PERMANENT AND TEMPORARY SINGLE REQUIRES AN APPROVED SIGN PERMIT PRIOR TO INSTALLATION. SIGNAGE IS A SEPARATE SUBMITTAL REVIEW, AND APPROVAL.
- SUBDIVISION LOTS MUST BE LOT OF RECORD PRIOR TO RECEIVING A BUILDING PERMIT.
- PRIOR TO OBTAINING BUILDING PERMITS, CONTRACTOR TO SCHEDULE A PRECONSTRUCTION MEETING THROUGH TOWN OF KNIGHTDALE.
- TOWN OF KNIGHTDALE WILL BE RESPONSIBLE FOR PAYMENT OF THE MONTHLY COSTS FOR PUBLIC STREET LIGHTING AND THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL INITIAL FEES CHARGED WITH THE LIGHT INSTALLATION. ALL INSTALLATION FEES ARE REQUIRED TO BE PAID UP FRONT AT THE TIME OF INSTALLATION.
- PUBLIC STREET LIGHTING WILL BE REQUIRED FOR ALL PUBLIC STREETS.
- PARALLEL PARKING SPACES ALONG PROPOSED PUBLIC STREET WILL BE PRIVATELY MAINTAINED.
- ALL RETAINING WALLS AND AREA OUTSIDE OF THE LOTS WILL BE MAINTAINED BY THE COMMUNITY H.O.A.
- PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY, THE OWNER/ BUILDER MUST SUPPLY THE TOWN WITH A FINAL LETTER OF CERTIFICATION FROM LIGHTING ENGINEER, LIGHTING MANUFACTURER.
- TREE PROTECTION FENCE AND SILT FENCE CANNOT SHARE THE SAME POLE.
- THE SUBDIVISION LOTS MUST BE LOTS OF RECORD PRIOR TO RECEIVING A BUILDING PERMIT.
- IF THE RETAINING WALL IS GREATER THAN 4' IN HEIGHT, A SEPARATE BUILDING PERMIT WILL BE REQUIRED.
- IF RETAINING WALL(S) ARE GREATER THAN 3' IN HEIGHT THEY MUST HAVE SAFETY RAIL.
- MAIL KIOSK PARKING INSIDE PUBLIC RIGHTS OF WAY ARE NOT MAINTAINED BY THE TOWN OF KNIGHTDALE. ANY PARKING SPACES ALONG A PUBLIC STREET SHALL BE SEPARATED BY A 2' WIDE X 8' DEEP CONCRETE BAND TO SEPARATE PUBLIC STREET FROM PRIVATE PARKING MAINTENANCE.
- CLUSTER MAILBOXES TO BE LOCATED WITHIN NEIGHBORHOOD PHASE 1 OPEN SPACE VILLAGE GREEN. KIOSK LOCATION SHALL BE APPROVED BY USPS PRIOR TO SUBDIVISION APPROVAL. IF TEMPORARY LOCATIONS ARE REQUIRED, APPROVAL LOCATIONS SHALL BE RECEIVED FROM USPS. MAIL KIOSK WILL HAVE ADA COMPLIANT RAMPS AND PARKING SPACES.
- A HOMEOWNER'S ASSOCIATION (HOA) WILL OWN AND MAINTAIN ALL OPEN SPACE PARCELS, PRIVATE ALLEYS, AND WILL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING REQUIRED BY TOWN OF KNIGHTDALE UNIFIED DEVELOPMENT ORDINANCE (UDO).
- PER UDO CH 10.5.H.2, ALL UTILITIES SHALL BE PLACED UNDERGROUND.

Site Legend

- WETLANDS
- 50' NEUSE RIVER BUFFER
- PROPERTY LINE
- BUILDING SETBACK
- CONCRETE SIDEWALK
- GREENWAY
- GREENWAY EASEMENT
- 8 FT PRIVACY FENCE



Clifton Road Conservation Subdivision
0 Pine Country Lane
Knightdale, NC

No.	Revision	Date	App'd.

Designed by: VHB
Checked by: CDT
Issued for: Master Plan Review
Date: March 24, 2025

Site Plan

Drawing Number: _____

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Sheet 5 of 10
Project Number: 39510.03
Date: 03/24/2025

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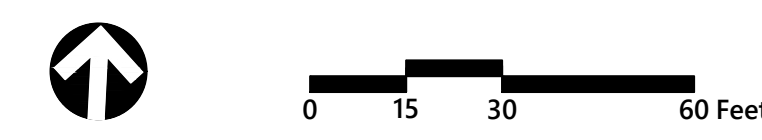


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Sign Summary		
Number	Specification	Desc.
R1-1	30" x 30"	STOP
W11-2	30" x 30"	WALKING
W16-7PL	30" x 18"	PLAZA
R7-8	12" x 18"	RESERVED PARKING
R7-8P	12" x 6"	BIKE ACCESSIBLE
R3-17	24" x 18"	BIKE LANE

Symbol	Description	Material
T61	WHITE STOPBAR (24", 90 MIL)	THERMO
T62	WHITE CROSSWALK LINE (24", 90 MIL)	THERMO
T90	BICYCLE SYMBOL, HEATED-IN-PLACE (90 MIL)	THERMO
T91	BICYCLE STRAIGHT ARROW, HEATED-IN-PLACE (90 MIL)	THERMO
T101	HANDICAP PARKING (90 MIL)	THERMO

Site Legend	
	WETLANDS
	50' NEUSE RIVER BUFFER
	PROPERTY LINE
	BUILDING SETBACK
	CONCRETE SIDEWALK
	GREENWAY
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	8 FT PRIVACY FENCE



Clifton Road Conservation Subdivision
0 Pine Country Lane
Knightdale, NC

No.	Revision	Date	App'd.

Designed by: **VHB** Checked by: **CDT**
Issued for: **Master Plan Review** Date: **March 24, 2025**

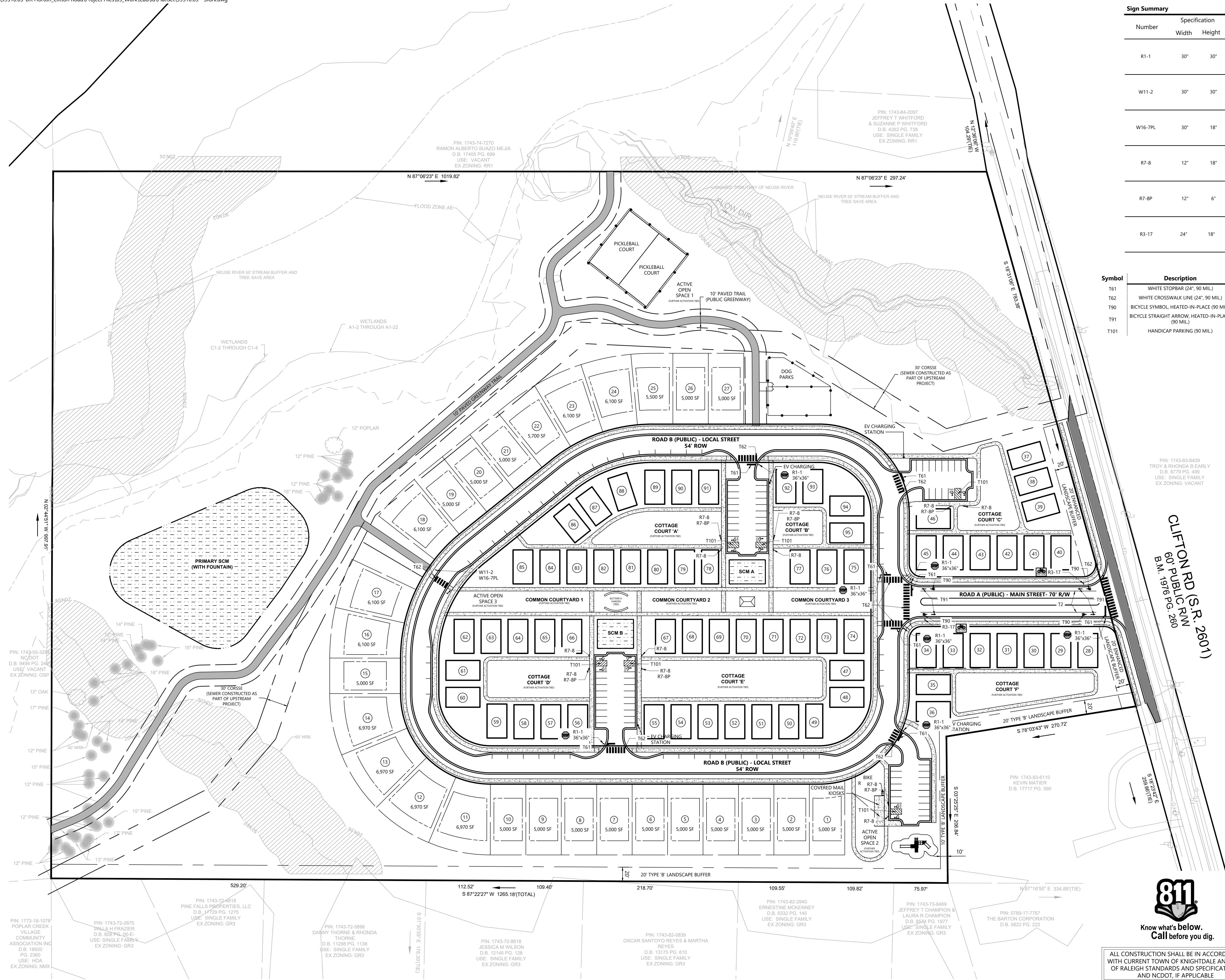
Pavement and Marking Signage Plan

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North Carolina Professional Engineer Seal: NOT FOR CONSTRUCTION
WALTER D. TOWNSHIP

Sheet **6** of **10**
Project Number: **39510.03**
Date: **03/24/2025**



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Site Notes

- SEE SHEET C0.01 FOR GENERAL AND GRADING NOTES.
- THE STORM DRAINAGE LAYOUT IS CONCEPTUAL AND SUBJECT TO CHANGE. APPROVAL BY TOWN STAFF IS REQUIRED.
- THE STORM DRAINAGE SYSTEM SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH TOWN OF KNIGHTDALE UDD AND ENGINEERING STANDARDS AND SPECIFICATIONS.
- THE STORMWATER PLAN SHALL PROVIDE FOR ADEQUATE NITROGEN REDUCTION AND ATTENUATION OF STORMWATER RUNOFF.
- FENCING AND LANDSCAPING FOR PROPOSED STORMWATER CONTROL MEASURES SHALL MEET TOWN OF KNIGHTDALE REQUIREMENTS FOR EACH TYPE OF MEASURE PROPOSED.
- STORMWATER CONTROL MEASURES SHALL BE LOCATED IN OPEN SPACE AREAS DEDICATED TO AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION (HOA).
- A MAINTENANCE PLAN ALONG WITH MEMORANDUM OF AGREEMENT MUST BE DEVELOPED FOR ALL STORMWATER CONTROL MEASURES (SCMS) INSTALLED TO ACHIEVE NITROGEN LOADING AND/OR FLOW ATTENUATING REQUIREMENTS AS PART OF THIS PROJECT. THIS MAINTENANCE PLAN IS REQUIRED TO BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS PRIOR TO PLAT RECORDATION. PROOF OF SAID RECORDING WILL BE REQUIRED AT THE TIME OF PLAT RECORDATION.
- MAINTENANCE AND ACCESS EASEMENTS ARE REQUIRED FOR ALL SCMS.
- AT THE CONCLUSION OF THE PROJECT ALL SCMS INSTALLED ON-SITE MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AND THE TOWN OF KNIGHTDALE ENGINEERING DIVISION MUST RECEIVE ALL AS-BUILT DRAWINGS PRIOR TO RECEIVING THE CERTIFICATE OF OCCUPANCY.
- ALL SLOPES TO BE VEGETATED WITH GRASS SHALL BE A MAXIMUM OF 3:1. ANY SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH MATTING AND A MAINTENANCE FREE VEGETATION.
- ALL ROOF DRAINS SHALL BE DIRECTED TO THE STORM DRAIN SYSTEM.
- AT THE CONCLUSION OF THE PROJECT ALL SCMS INSTALLED ON-SITE MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AND THE TOWN OF KNIGHTDALE ENGINEERING DIVISION MUST RECEIVE ALL AS-BUILT DRAWINGS PRIOR TO RECEIVING THE PROJECT CLOSEOUT.

Site Legend

- WETLANDS
- 50' NEUSE RIVER BUFFER
- PROPERTY LINE
- BUILDING SETBACK
- CONCRETE SIDEWALK
- GREENWAY
- GREENWAY EASEMENT
- 8 FT PRIVACY FENCE



0 30 60 120 Feet

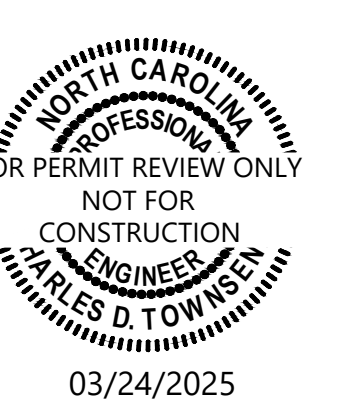
Clifton Road Conservation Subdivision
0 Pine Country Lane
Knightdale, NC

No.	Revision	Date	App'd.

Designed by: VHB
Checked by: CDT
Issued for: Master Plan Review
Date: March 24, 2025

Stormwater Management Plan

Drawing Number: C3.00

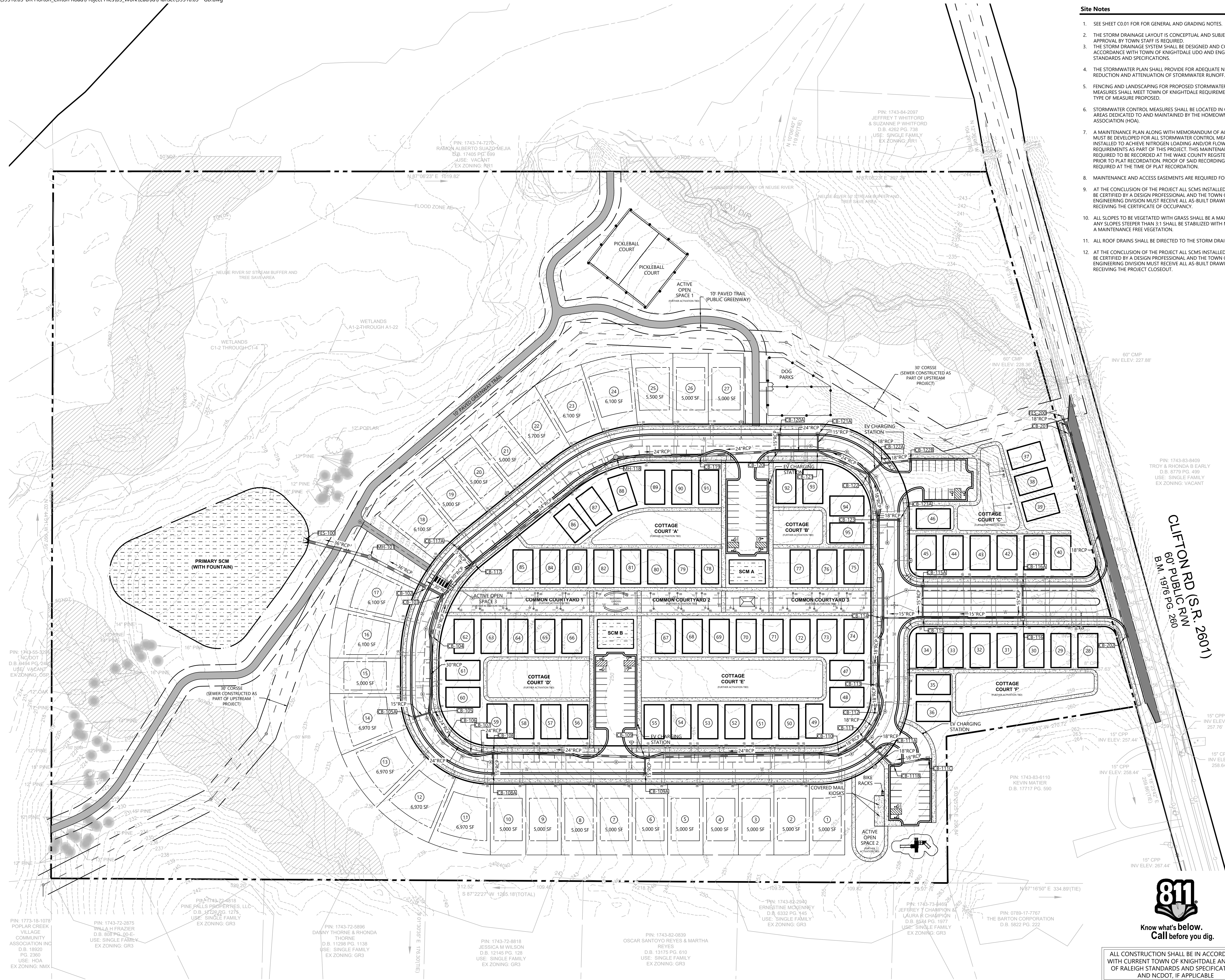


C3.00

Sheet 7 of 10

Project Number: 39510.03

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF KNIGHTDALE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE



Save Monday, March 24, 2025 4:26:57 PM KGHANEY Plotted Monday, March 24, 2025 4:45:33 PM Kaitie Haney

Utility Notes

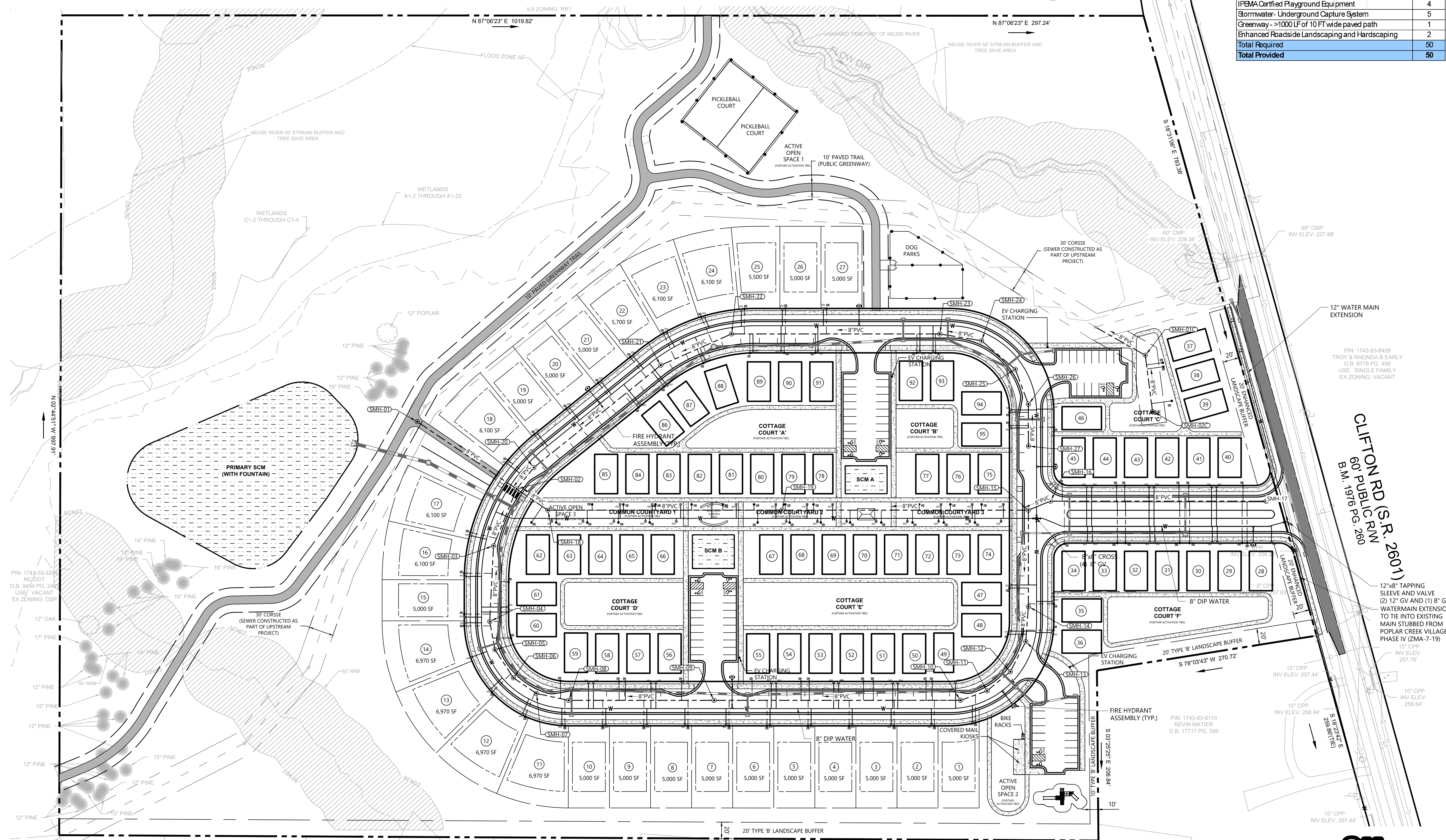
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- SPECIFICATIONS. UTILITY DESIGN SHALL ALSO MEET FIRE FLOW REQUIREMENTS OF NCFC.
- UTILITY SIZES AND LOCATIONS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE BASED ON FINAL DESIGN AND CONSTRUCTION DRAWING APPROVAL. THIS SHALL INCLUDE BUT NOT LIMITED TO FIRE HYDRANT LOCATIONS.
- ANY EXISTING WATER AND SEWER LINES TO BE USED AS PART OF THE FINAL DESIGN OF THE PROJECT, SHALL BE LOCATED BY SURVEY, TESTED BY A LICENSED CONTRACTOR AND APPROVED BY THE CITY OF RALEIGH INSPECTOR PRIOR TO SUBMITTAL OF CONSTRUCTION DRAWINGS.
- AS PART OF CONSTRUCTION DRAWING SUBMITTAL, FIRE FLOW CALCULATIONS SHALL BE PROVIDED SHOWING COMPLIANCE WITH NCFC. PROJECT MAY BE DEVELOPED IN PHASES AND ALL PHASES SHALL BE REQUIRED TO MEET THE MINIMUM REQUIRED FIRE FLOWS PER OCCUPANCY PROPOSED IN EACH PHASE.
- AN APPROVED WATER SUPPLY FOR FIRE SUPPRESSION (TEMPORARY OR PERMANENT) SHALL BE PROVIDED AS SOON AS COMBUSTIBLE MATERIALS ARRIVE ON SITE.
- UTILITY CONSTRUCTION APPROVAL IS REQUIRED FOR THIS PROJECT, PLANS TO BE PREPARED BY NC PROFESSIONAL ENGINEER.
- RIGHT OF WAY AND/OR EASEMENT DEDICATION PLAN IS REQUIRED FOR THIS PROJECT (PRIOR TO CITY ACCEPTANCE OF UTILITIES).
- ALL NECESSARY WETLAND, RIPARIAN BUFFER AND FLOODPLAIN PERMITS FROM USACE, NCDWQ & FEMA SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
- PROJECT SHALL EXTEND PUBLIC WATER MAINS ALONG ALL INTERIOR AND ABUTTING RIGHT OF WAYS OF DEVELOPMENT.
- FIRE HYDRANT ASSEMBLIES SHALL BE INSTALLED AT EVERY INTERSECTION AND AT 500' (RESIDENTIAL) MAX INTERVALS ALONG SITE FRONTAGE.
- ALL MAINS UP TO 12 INCHES IN SIZE SHALL BE DESIGNED WITH A BLOW-OFF ASSEMBLY THE SAME SIZE AS THE DIAMETER OF THE PIPE.
- ALL WATER MAINS SHALL BE PRESSURE CLASS OR THICKNESS CLASS DUCTILE IRON PIPE DESIGNED IN ACCORDANCE WITH AWWA STANDARD C-150.
- PROJECT SHALL EXTEND PUBLIC GRAVITY SEWER TO PERIPHERY OF DEVELOPMENT BASED ON NATURAL TOPOGRAPHY.
- ALL CITY OF RALEIGH SANITARY SEWER EASEMENTS SHALL BE A MINIMUM OF 30 FEET.
- THE SANITARY SEWER DESIGN SHALL BE EVALUATED DURING THE CONSTRUCTION DRAWING REVIEW TO ENSURE ADJACENT PROPERTIES HAVE ACCESS TO SANITARY SEWER WHERE FEASIBLE AND IN COMPLIANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT STANDARDS AND SPECIFICATIONS.
- ALL OFF-SITE EASEMENTS SHALL BE ACQUIRED BY THE DEVELOPER. THESE OFF-SITE EASEMENTS SHALL BE RECORDED BY MAP AND BY DEED OF EASEMENT PRIOR TO CONSTRUCTION APPROVAL. THE EASEMENTS SHALL BE DEDICATED TO THE CITY OF RALEIGH AND ENTITLED "CITY OF RALEIGH SANITARY SEWER EASEMENT".
- MAINTAIN APPROPRIATE COVER AND SEPARATION ON UTILITIES AND LABEL IN PROFILES. ANY UTILITY CROSSINGS ARE SUBJECT TO MINIMUM REQUIREMENTS.
- CONSTRUCTION APPROVAL WILL BE REQUIRED FOR ANY EXTENSIONS OF PUBLIC WATER OR SEWER MAINS.
- PLAT RECORDATION REQUIRED AFTER CONSTRUCTION APPROVAL PRIOR TO BUILDING PERMIT.
- PRIVATE WATER SERVICES SIZED 3/4" - 2" SHOULD BE TYPE "K" SOFT COPPER AND IN ACCORDANCE WITH PLI HANDBOOK, APP. B. STANDARD WATER DETAIL W-23 AND W-25. IF WATER METERS CANNOT BE LOCATED WITHIN THE RIGHT-OF-WAY THEY MUST BE WITHIN RECORDED "CITY OF RALEIGH WATERLINE EASEMENTS".

Water Allocation Compliance

Major Subdivision	(Base Points)
Conservation of Natural Habitat (Public Greenway)	15
Construct a fountain within the SCM	10
Outdoor Display of Public Art	4
Pickleball Courts	4
IPEMA Certified Playground Equipment	5
Stormwater - Underground Capture System	4
Greenway - >1000 LF of 10 FT wide paved path	5
Enhanced Roadside Landscaping and Hardscaping	1
Total Required	50
Total Provided	50

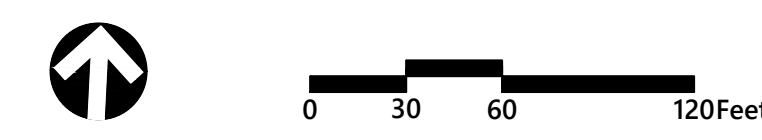


VHB Engineering NC, P.C.
 940 Main Campus Drive
 Suite 500
 Raleigh, NC 27606
 919.829.0328
 Corp. # C-3705



Site Legend

- WETLANDS
- 50' NEUSE RIVER BUFFER
- PROPERTY LINE
- BUILDING SETBACK
- CONCRETE SIDEWALK
- GREENWAY
- GREENWAY EASEMENT
- 8 FT PRIVACY FENCE



Clifton Road Conservation Subdivision
 0 Pine Country Lane
 Knightdale, NC

No.	Revision	Date	App'd.

Designed by: **VHB** Checked by: **CDT**

Issued for: **Master Plan Review** Date: **March 24, 2025**

Utility Plan

811 Know what's below. Call before you dig.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF KNIGHTDALE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE

North Carolina Professional Engineer
 NOT FOR CONSTRUCTION
 WALTER S. D. TOWNS
 03/24/2025

Sheet **8** of **10**

Project Number **39510.03**

NOTES

1. STREET TREES SHALL BE LOCATED WITHIN THE RIGHT OF WAY.
2. STREET TREES SHALL BE PLANTED BY EACH BUILDER PRIOR TO RECEIVING C.O. FOR HOUSE.
3. ALL LANDSCAPING SHOULD BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE'S UDO.
4. ALL PLANT MATERIALS TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.
5. CONTRACTOR ENGAGED IN LANDSCAPE IMPLEMENTATION SHALL BE A LANDSCAPE CONTRACTOR REGISTERED IN THE STATE OF NORTH CAROLINA.
6. SUBSTITUTIONS OF PLANT MATERIALS SPECIFIED CAN ONLY OCCUR WITH PRIOR APPROVAL BY LANDSCAPE ARCHITECT.
7. ALL NEW TREES TO HAVE A 5' DIAMETER SHREDED HARDWOOD MULCH RING AT 4" DEEP UNLESS OTHERWISE NOTED OR LOCATED IN A PLANT BED PER SITE PLAN.
8. LANDSCAPE CONTRACTOR TO GUARANTEE PLANT MATERIALS FOR A ONE YEAR PERIOD FOLLOWING SUBSTANTIAL COMPLETION.
9. AREAS DAMAGED BY LANDSCAPE CONTRACTOR TO BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL COST TO THE OWNER.
10. ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.
11. ALL ABOVE GROUND UTILITIES MUST BE SCREENED.

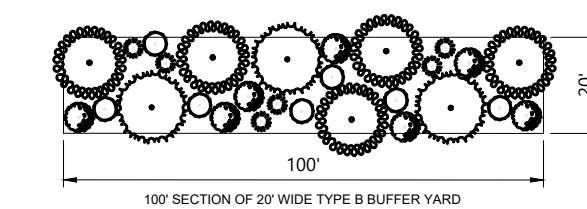
TREE CHART

SYMBOL	CODE	BOTANICAL / COMMON NAME	ROOT	MIN INSTALLED SIZE	TYPE	NOTES
	AB	Acer saccharinum / Trident Maple	860	2.5" Caliper, 12 Min.	Street Tree	Single Straight Leader - Full and Heavy
	AS	Acer saccharum / Sugar Maple	860	2.5" Caliper, 12 Min.	Street Tree	Single Straight Leader - Full and Heavy
	AA	Azalea speciosa / Doany Azalea	860	2.5" Caliper, 12 Min.	Internal	Single Straight Leader - Full and Heavy
	AC	Halesia carolina / Silverbell	860	2.5" Caliper, 12 Min.	Internal	Single Straight Leader - Full and Heavy
	AI	Lagerströmia indica / Crape Myrtle	860	2.5" Caliper, 12 Min.	Street Tree	Single Straight Leader - Full and Heavy
	AJ	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	860	2.5" Caliper, 12 Min.	Street Tree	Single Straight Leader - Full and Heavy
	AP	Prunus angustifolia / Chickadee Plum	860	2.5" Caliper, 12 Min.	Internal	Single Straight Leader - Full and Heavy
	PC	Prunus caroliniana / Carolina Cherry Laurel	860	2.5" Caliper, 12 Min.	Internal	Single Straight Leader - Full and Heavy
	QA	Quercus acutissima / Sawtooth Oak	860	2.5" Caliper, 12 Min.	Street Tree	Single Straight Leader - Full and Heavy
	SA	Sassafras albidum / Sassafras	860	2.5" Caliper, 12 Min.	Internal	Single Straight Leader - Full and Heavy

100' SECTION OF 20' WIDE TYPE B BUFFER YARD

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	MATURE WIDTH / HEIGHT	QTY.
	CA	CANOPY - Camelia x Rubra / Aurora Flowering Dogwood	2 1/2" Cal. Min.	20'0"	5
	MG	UNDERSTORY - Magnolia grandiflora / Southern Magnolia	2 1/2" Cal. Min.	10'10"	3

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT.	QTY.
	IV	Ilex vomitoria / Yaupon Holly	15 Gal., 5" H.	12-09 / 2-10
	E	Ilex x Emily Bruner / Emily Bruner Holly	15 Gal., 5" H.	10-09 / 8-12
	X	Ilex x 'Magical' / Oakland™ Holly	15 Gal., 5" H.	10-09 / 6-10



LEGEND

- Active Open Space
- Passive Open Space
- Light Pole (typ.)

Site Legend

- WETLANDS
- 50' NEUSE RIVER BUFFER
- PROPERTY LINE
- BUILDING SETBACK
- CONCRETE SIDEWALK
- GREENWAY
- GREENWAY EASEMENT
- 8 FT PRIVACY FENCE

PIN: 1743-83-8409
TROY & RHONDA B EARLY
D.B. 8779 PG. 499
USE: SINGLE FAMILY
EX ZONING: VACANT

CLIFTON RD (S.R. 2601)
60' PUBLIC R/W
B.M. 1976 PG. 260

Clifton Road Conservation Subdivision
0 Pine Country Lane
Knightdale, NC

No.	Revision	Date	App'd.

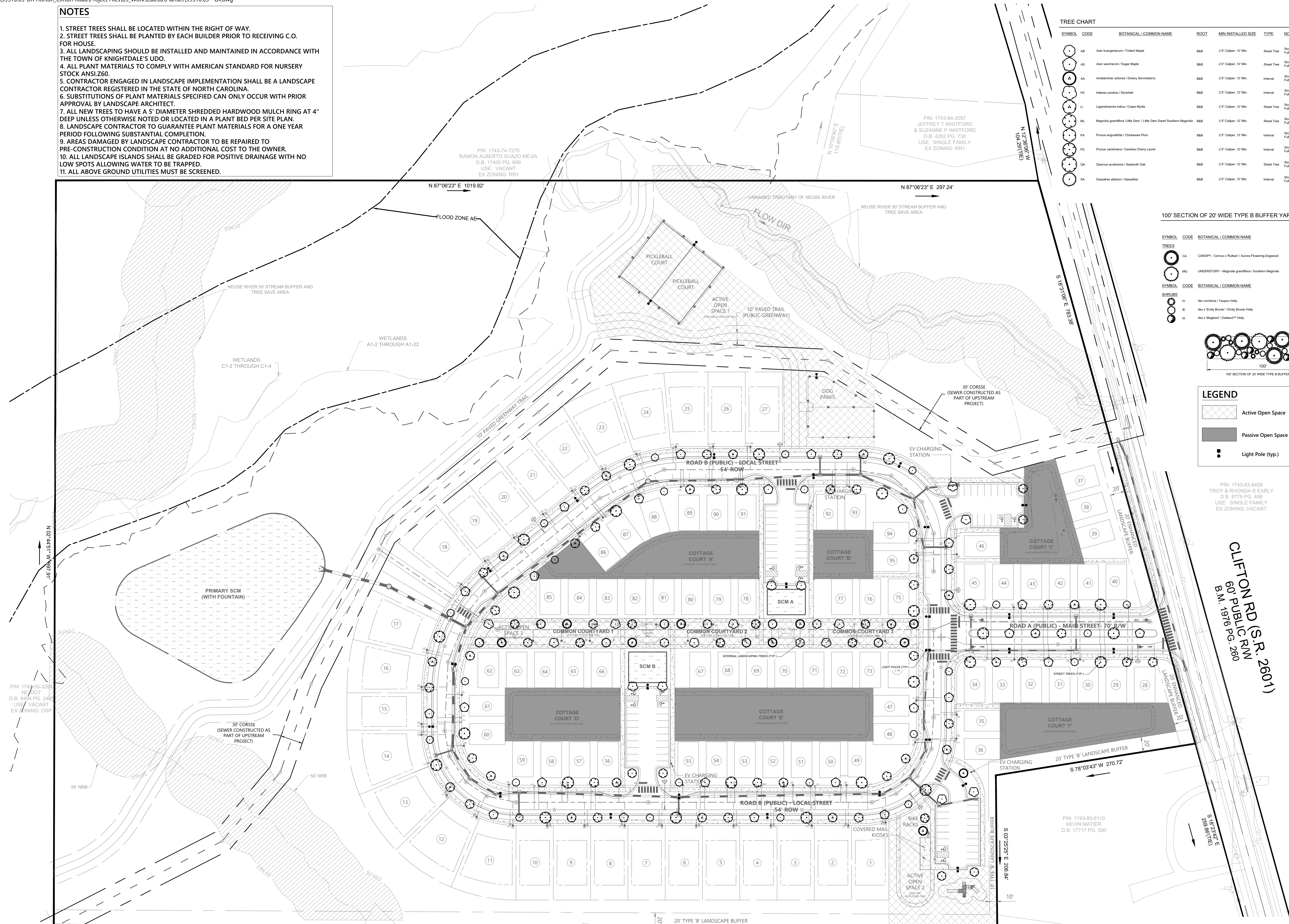
Designed by: **VHB** Checked by: **CDT**
 Issued for: _____ Date: _____
Master Plan Review March 24, 2025

Drawing Title: **Landscape Plan**
 Drawing Number: _____

811
Know what's below. Call before you dig.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF KNIGHTDALE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE

L1.00
 Sheet 9 of 10
 Project Number: 39510.03
 Date: 03/24/2025



Saved Monday, March 24, 2025 4:28:16 PM IGHANEY Plotted Monday, March 24, 2025 4:46:15 PM Katie Haney

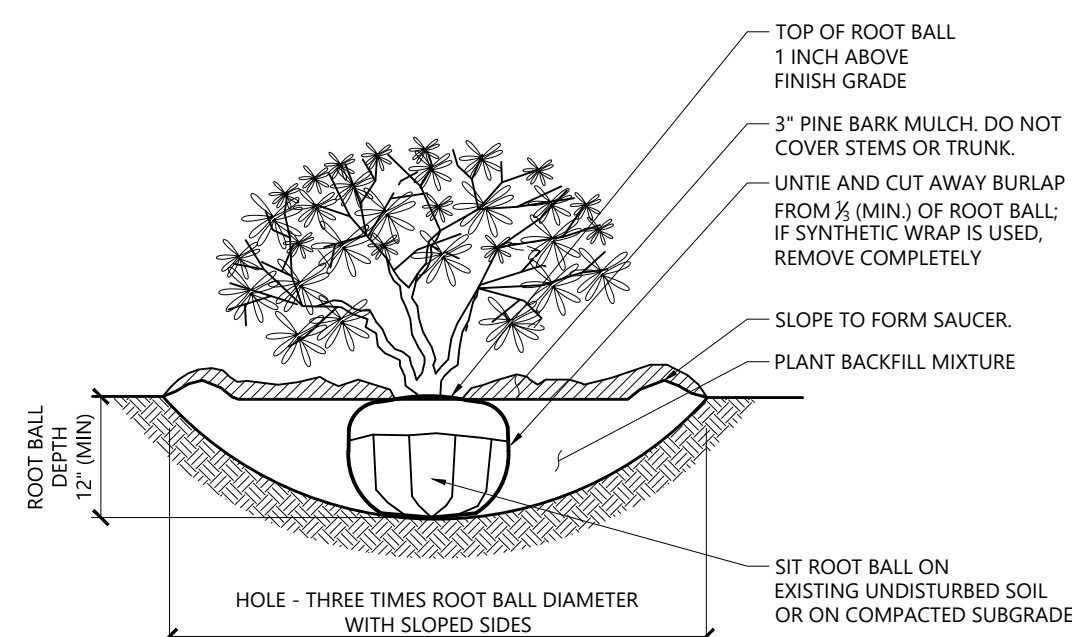
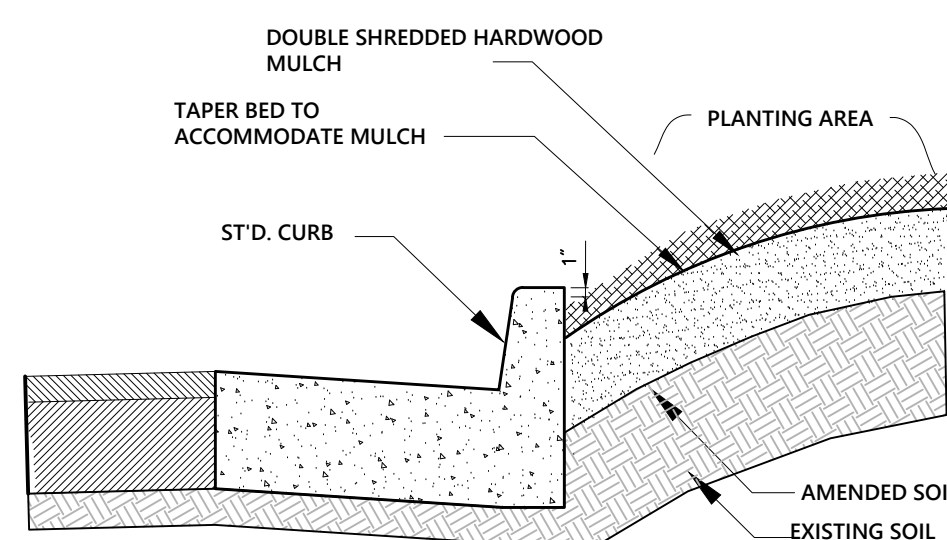
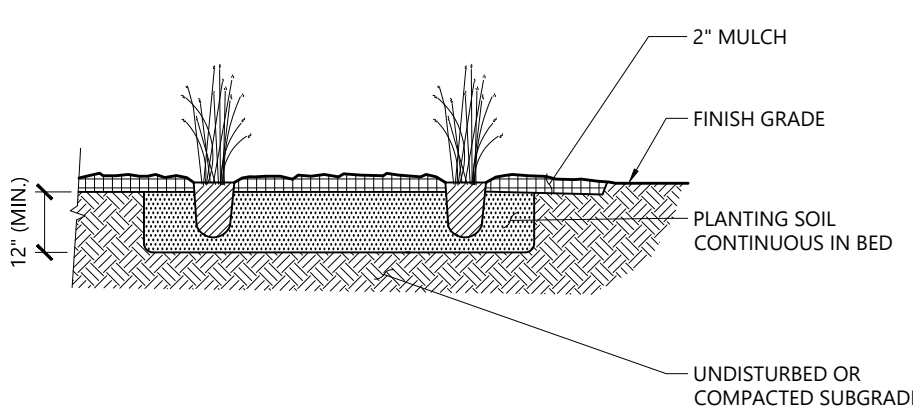
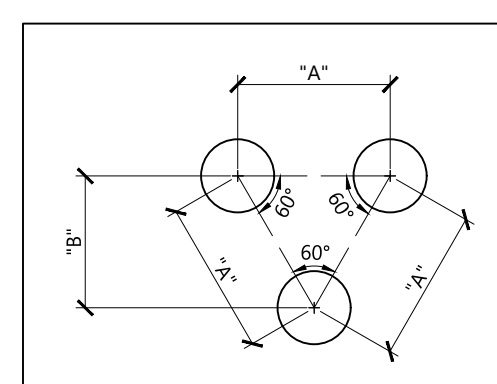
vhb.com
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 VHB Engineering NC, P.C.
 940 Main Campus Drive
 Suite 500
 Raleigh, NC 27606
 919.829.0328
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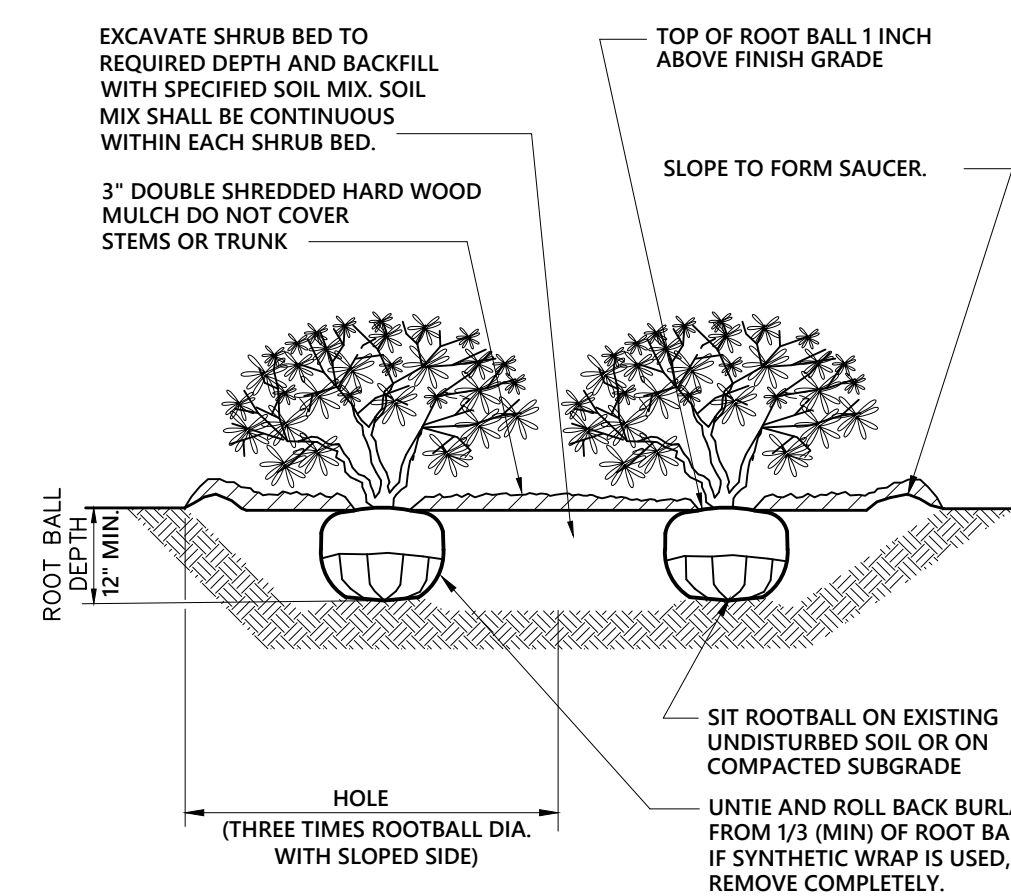
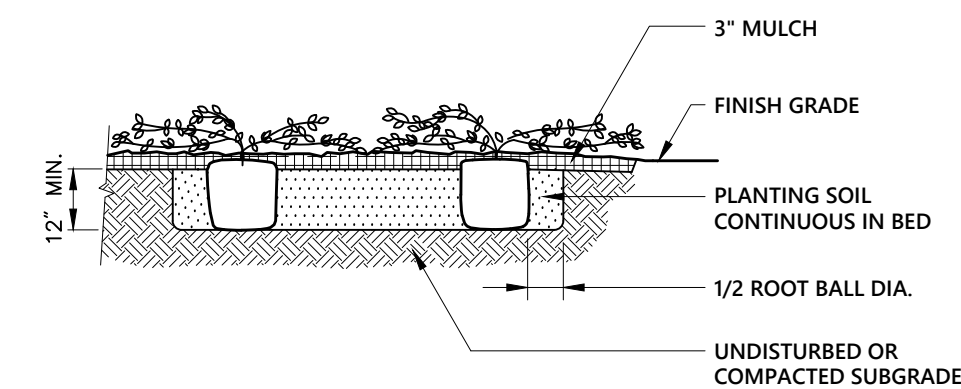
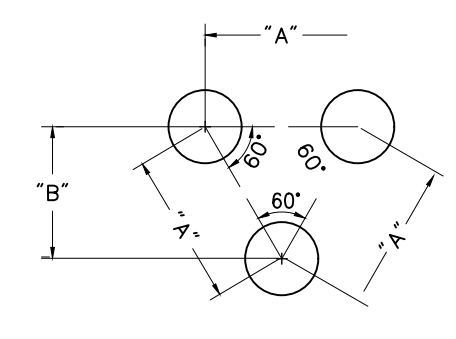
PLANT SPACING

PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8 1/2 IN. O.C.
12 IN. O.C.	10 1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.
30 IN. O.C.	26 IN. O.C.
36 IN. O.C.	30 IN. O.C.
48 IN. O.C.	42 IN. O.C.
54 IN. O.C.	48 IN. O.C.
60 IN. O.C.	54 IN. O.C.



- NOTES**
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

PLANT SPACING ("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8-1/2 IN. O.C.
12 IN. O.C.	10-1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.



- Notes:**
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

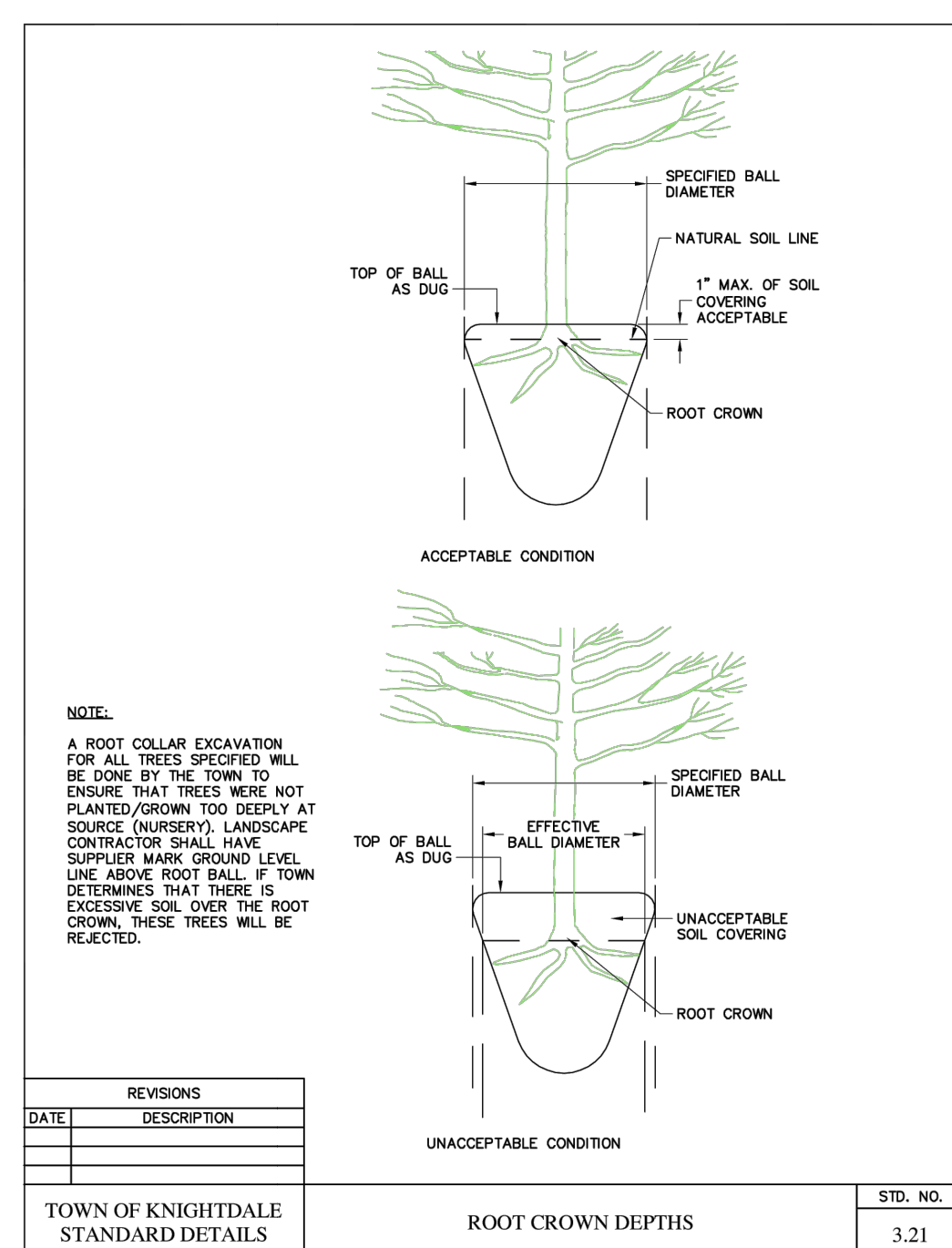
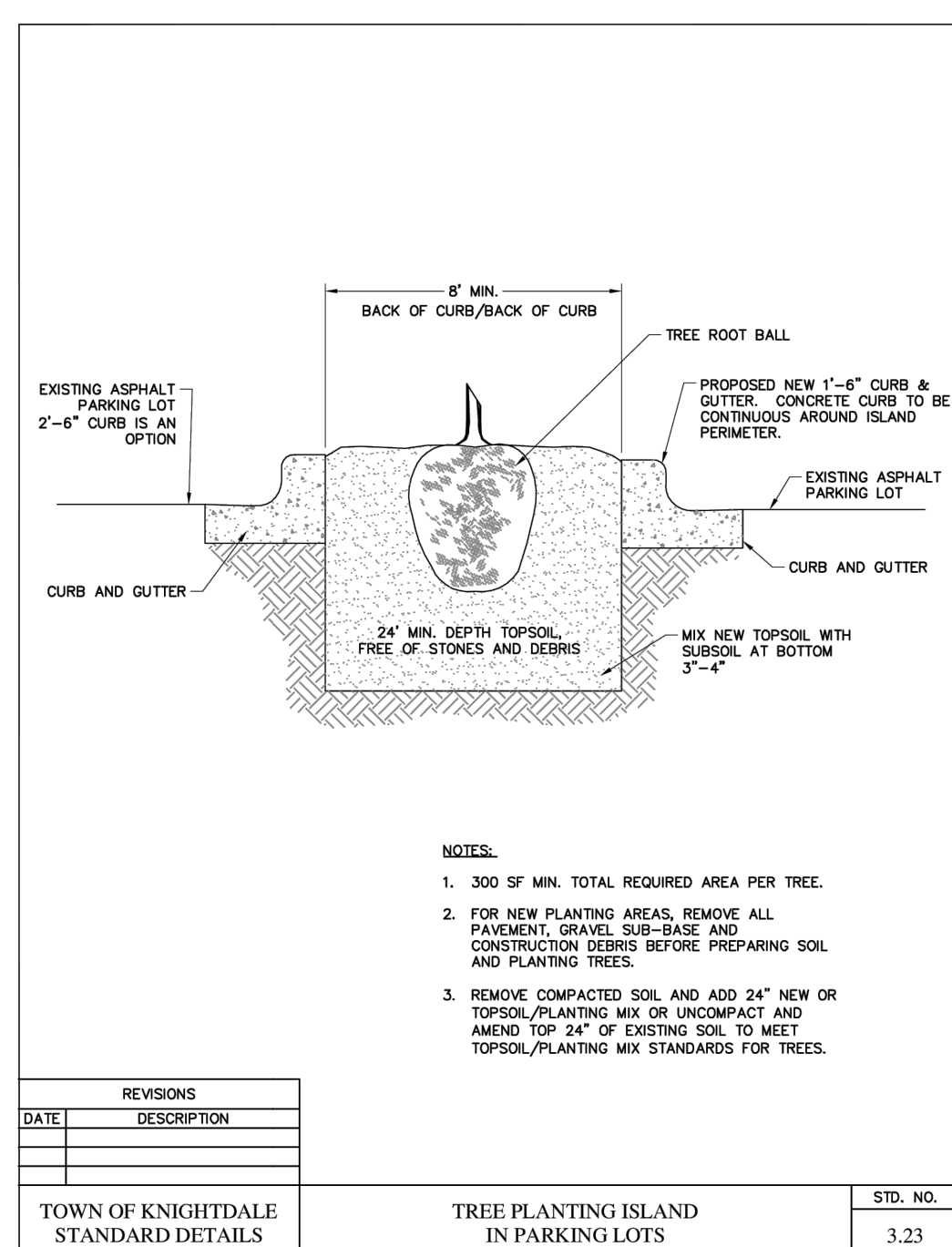
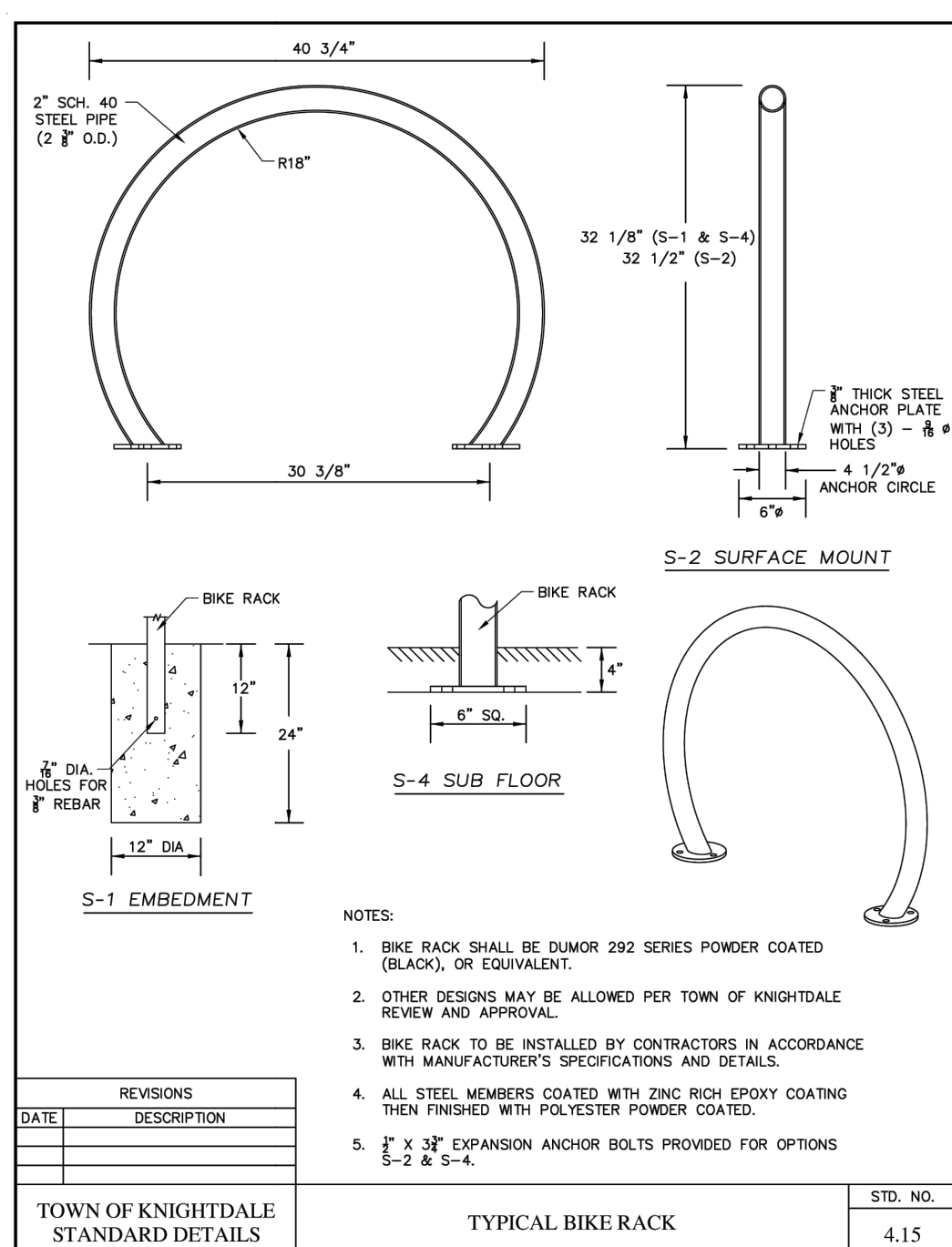
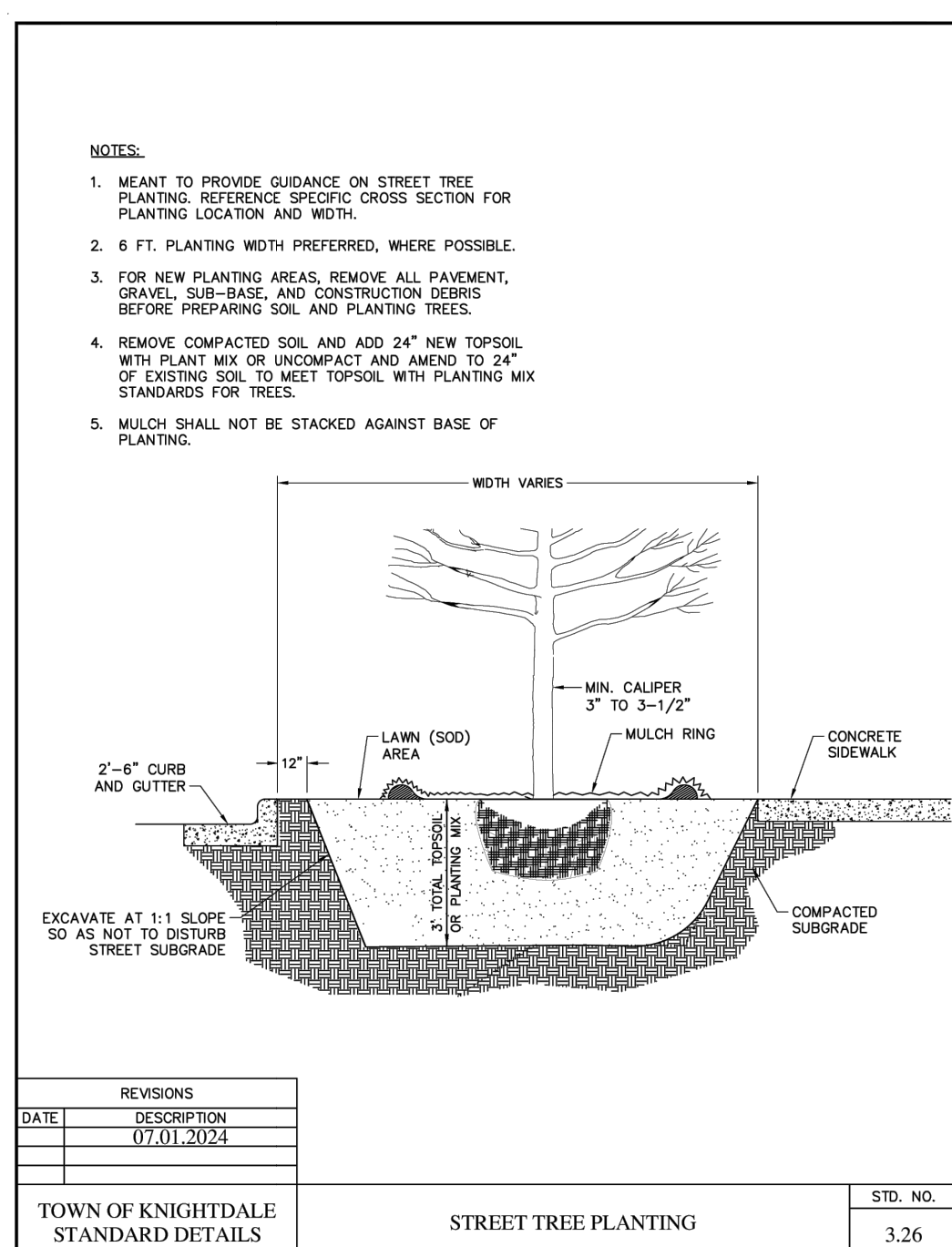
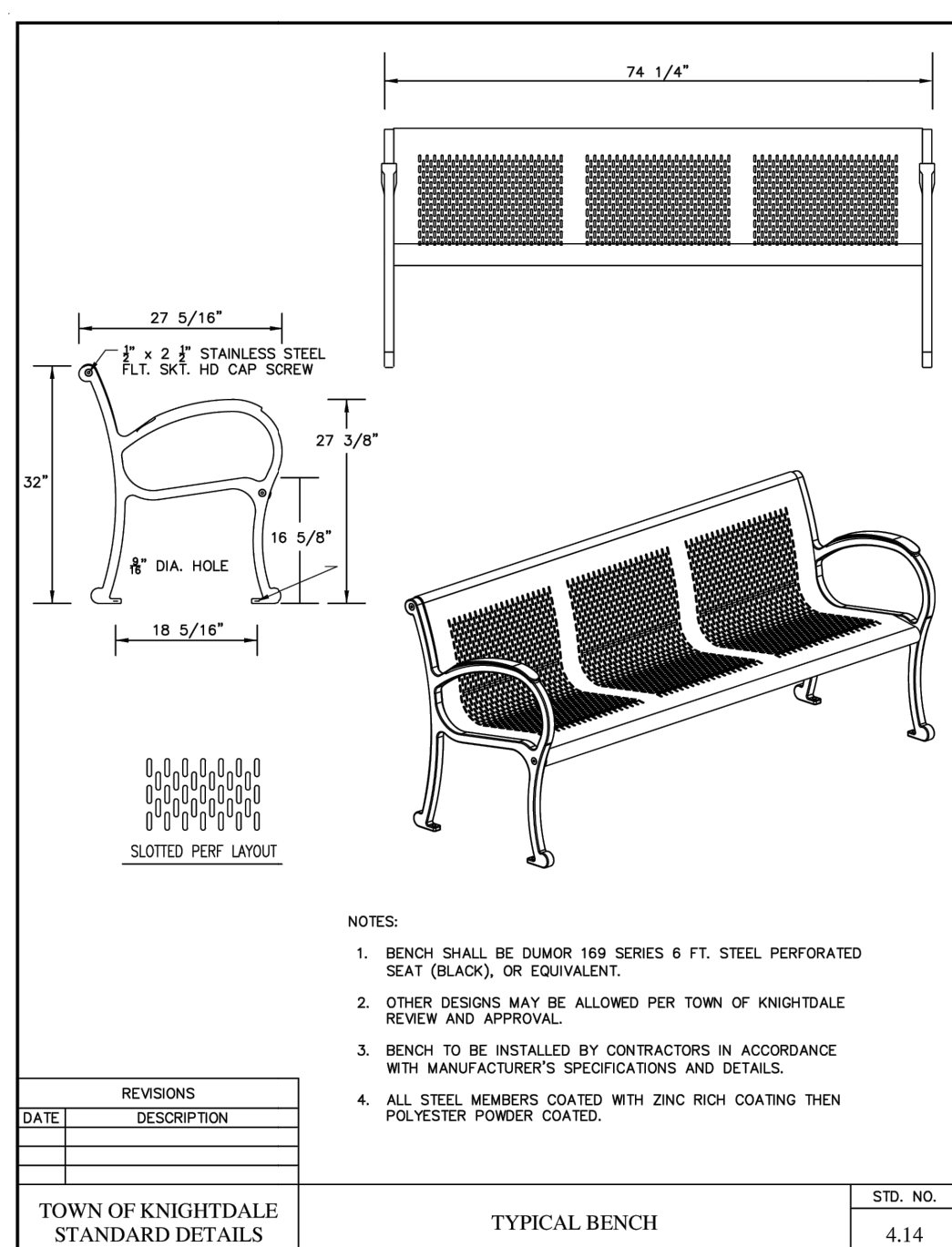
Perennial and Ornamental Grass Planting 1/16
N.T.S. Source: VHB LD_618

3 Curb-Bed Edging Detail 1/16
N.T.S. Source: VHB REV LD_618

Shrub Planting 1/16
N.T.S. Source: VHB LD_600

5 Ground Cover Planting 1/16
N.T.S. Source: VHB LP_465

6 Shrub Bed Planting 1/16
N.T.S. Source: VHB REV LP_465



Outdoor Lighting

ROADWAY LED
(Meets Dark Sky Criteria)

LED
(Light-emitting diode) 110 | 150 | 220 | 280 watts

Mounting height
20', 25', 35'

Color
Black | Gray

Pole
Fiberglass
Metal
Wood

Applications
Neighborhoods
Roadways
Shopping centers

Light source: LED (white)
Wattage: 110 | 150 | 220 | 280 watts
Light pattern: IESNA Type III | Type IV (forward throw)
IESNA cutoff classification: IESNA003

BUG rating:
Type III = IESNA003 (110W), IESNA003 (150W), IESNA004 (220W/280W)
Type IV = IESNA003 (110W), IESNA004 (220W), IESNA005 (280W)
Color temperature: 3,000K | 4,000K

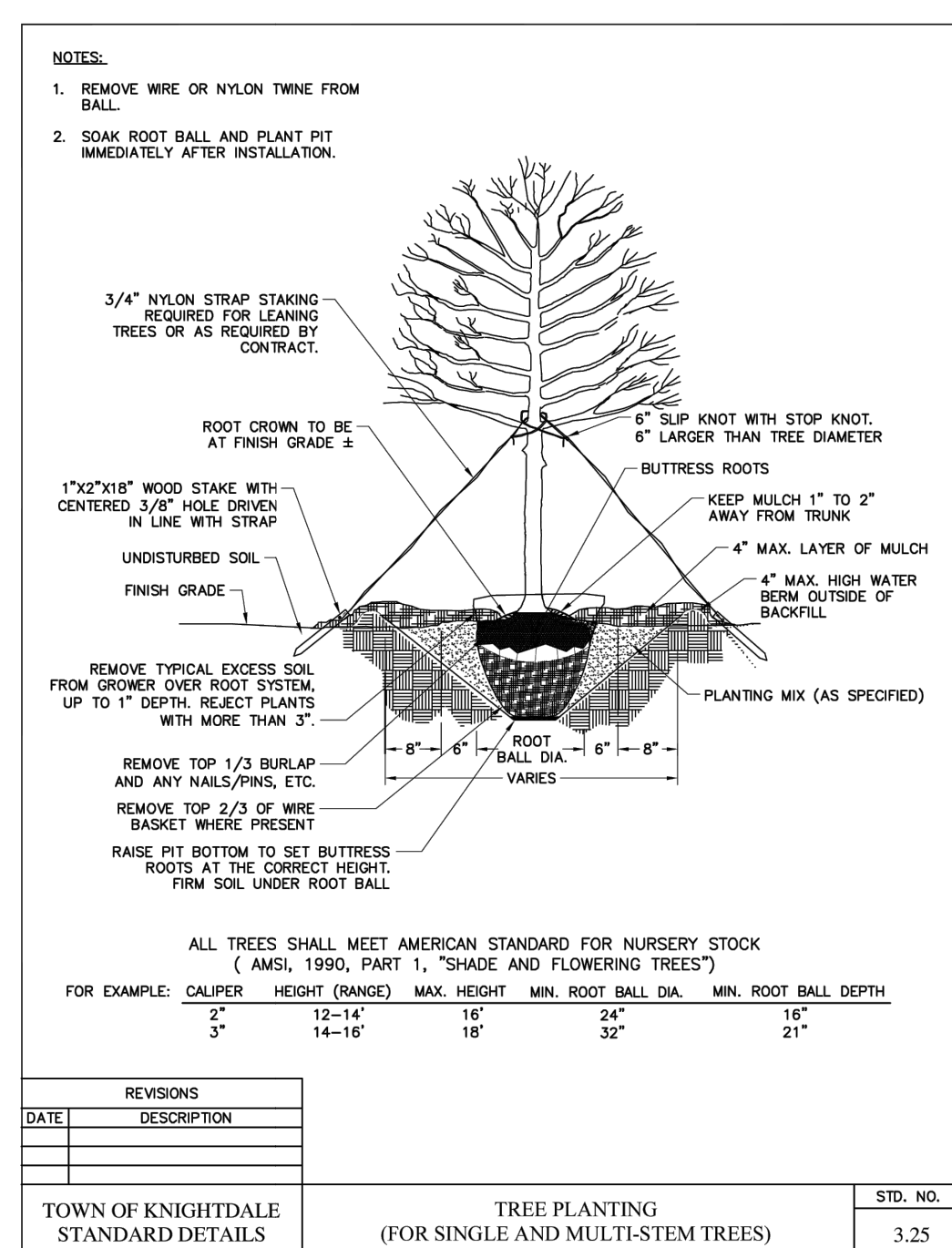
POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Fiberglass	25', 30', 35'	Gray, Black (additional cost)
Wood	25', 30', 35'	Standard
Metal (special conditions)	25', 30', 35'	Galvanized

FEATURES

FEATURES	BENEFITS
Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you

For additional information, contact us at info@duke-energy.com.

©2022 Duke Energy Operating 222286 10P 9/22



Clifton Road Conservation Subdivision
0 Pine Country Lane
Knightdale, NC

No.	Revision	Date	App'd.

Designed by **VHB** Checked by **CDT**

Master Plan Review March 24, 2025

Landscape and Lighting Details

North Carolina Professional Engineer
NOT FOR CONSTRUCTION
W. R. LES D. TOWN

03/24/2025

Sheet 10 of 10
Project Number 39510.03

811
Know what's below.
Call before you dig.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF KNIGHTDALE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE

I, L. JORDAN PARKER, JR. CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION FROM REFERENCES AS NOTED HERE ON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION SHOWN IN THE REFERENCES; THAT THE RATIO OF PRECISION AS CALCULATED IS GREATER THAN 1:10000; THAT THE GLOBAL POSITIONING SYSTEM (GPS) SURVEY AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE GPS/GNSS SURVEY;

CLASS OF SURVEY: AA
 POSITIONAL ACCURACY: HORIZONTAL 0.05 US SURVEY FEET
 TYPE OF GPS FIELD PROCEDURE: REAL TIME KINEMATICS NETWORK (RTK)
 DATES OF SURVEY:
 DATUM/EPOCH: NAD 83(2011) 2010.00
 PUBLISHED/FIXED CONTROL USE: RALEIGH DOT CORRS ARP
 LAT: 35°45'49.50795" LONG: 78°34'44.39448"
 GEIOD MODEL: GEOID12B
 COMBINED GRID FACTORS: 1.00009392886225
 UNITS: US SURVEY FOOT

THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL

THIS IS THE DAY OF NOVEMBER 11, A.D. 2024
PRELIMINARY
 FOR REVIEW PURPOSES ONLY
 L-4689
 PROFESSIONAL LAND SURVEYOR LICENSE NUMBER

FLOOD HAZARD STATEMENT

THE SUBJECT PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "AE" AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 3720-1743-00K WITH AN EFFECTIVE DATE OF 07/19/2022.

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	N 22°31'27" W	529.63'
L-2	S 77°54'21" W	269.92'
L-3	S 03°24'02" E	206.37'
L-4	N 87°09'50" E	28.92'
L-5	S 11°42'59" E	264.78'
L-6	S 11°42'59" E	507.09'
L-7	N 10°09'38" E	119.75'
L-8	S 17°46'28" E	270.76'
L-9	S 17°46'28" E	509.58'

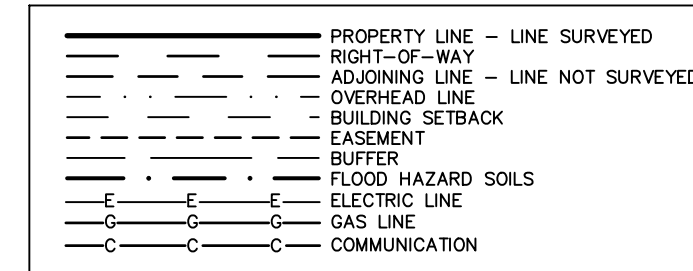


VICINITY MAP
(NOT TO SCALE)

LEGEND:

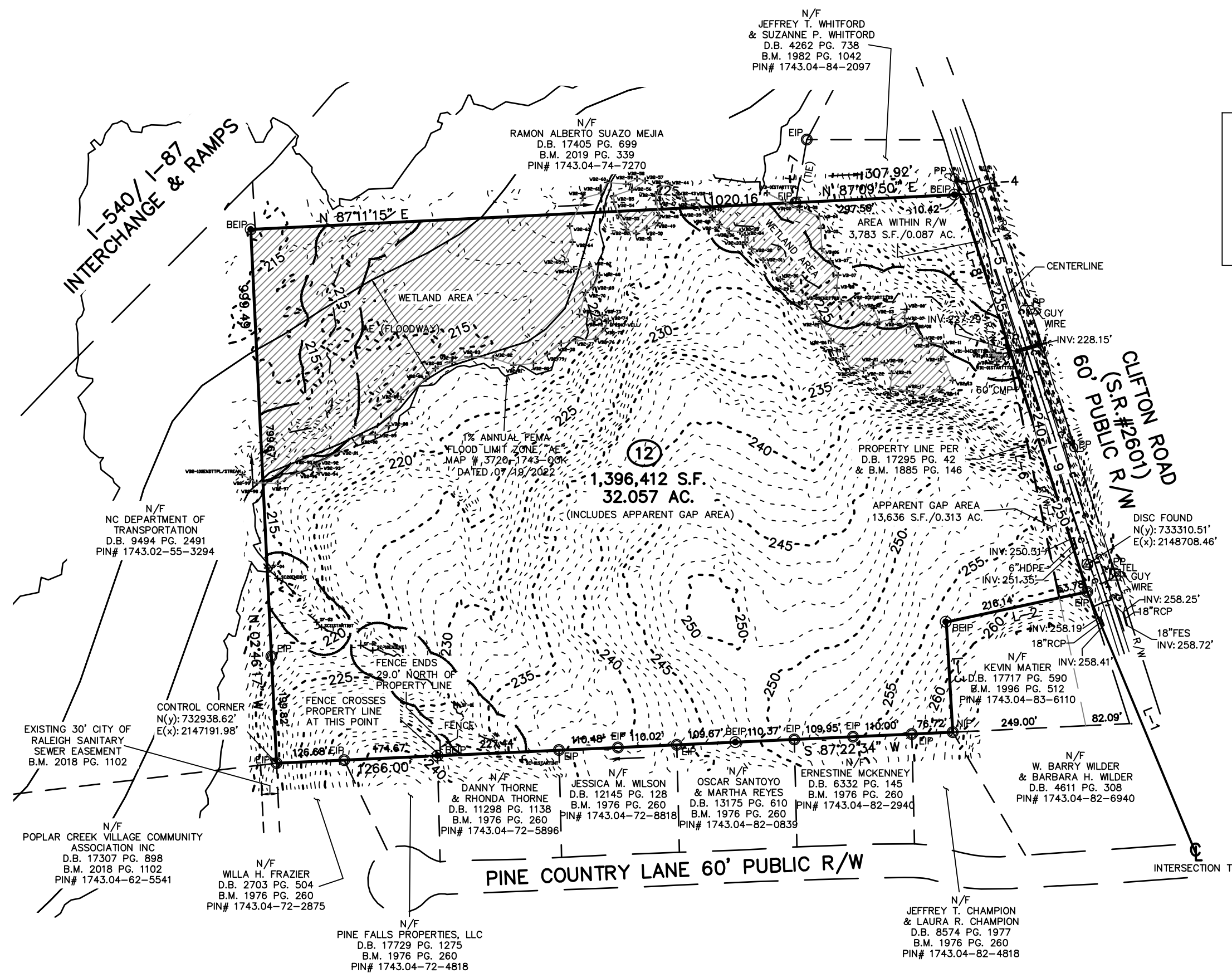
- EIP - EXISTING IRON PIPE
- EIB - EXISTING IRON BAR
- BEIP - BENT IRON PIPE
- BEIB - BENT IRON BAR
- CM - CONCRETE MONUMENT
- EPK - EXISTING PK NAIL
- SPK - SET PK NAIL
- NIP - NEW IRON PIPE SET
- R/W - RIGHT OF WAY
- CATV - CABLE TV BOX
- EB - ELECTRIC BOX
- TEL - TELEPHONE PEDESTAL
- PP - POWER POLE
- OHL - OVERHEAD LINE
- LP - LIGHT POLE
- WM - WATER METER
- WV - WATER VALVE
- CO - SEWER CLEAN-OUT
- CC - CONCRETE
- CB - CATCH BASIN
- MH - MANHOLE
- FH - FIRE HYDRANT

LINE TYPE LEGEND



NOTES:

1. THIS PLAT SUBJECT TO ALL EASEMENTS, AGREEMENTS AND RIGHTS OF WAY OF RECORD PRIOR TO THE DATE OF THIS PLAT.
2. UNDERGROUND UTILITIES HAVE BEEN MARKED OR LOCATED FOR THIS PLAT BY GC MAPPING, PLLC (919) 901-5641.
3. ALL BEARINGS AND DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS
4. ALL ELEVATIONS ARE BASED ON NAVD 88
5. ALL CONTOURS ARE AT 1' INTERVALS HIGHLIGHTED EVERY 5'.
6. THIS PROPERTY MAY BE SUBJECT TO NEUSE RIVER RIPARIAN BUFFER RULES. CALL N.C. DIVISION OF WATER QUALITY TO VERIFY (919-791-4200).



TOPOGRAPHIC SURVEY FOR
D.R. HORTON
 CLIFTON ROAD
 GREATER PORTION FARM LOT 12, THE OAKS
 OWNER: DAVID JONATHAN ADAMS
 REF: D.B. 17295 PAGE 42
 REF: B.M. 1885 PAGE 146
 ST. MATTHEWS TOWNSHIP
 WAKE COUNTY, NORTH CAROLINA

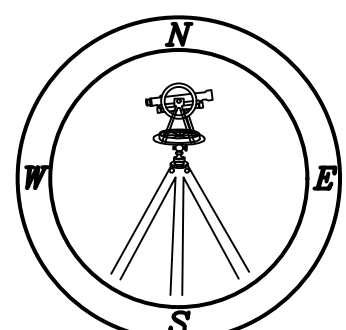


SCALE 1"=200'

NOVEMBER 11, 2024

ZONED RR1

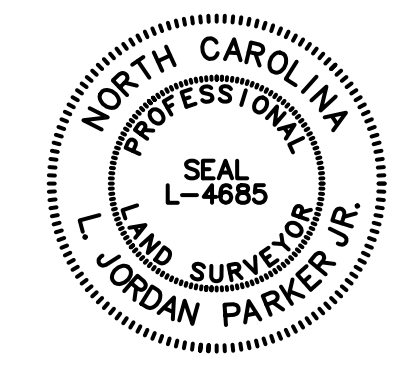
PIN #1743.04-73-8469



(X:\SUBS\CLIFTON RD-SUBD - JC)

I CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY PERFORMED UNDER MY SUPERVISION FROM REFERENCES AS NOTED HERE ON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION SHOWN IN THE REFERENCES; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS GREATER THAN 1:10000; THIS SURVEY IS NOT TO BE RECORDED WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.

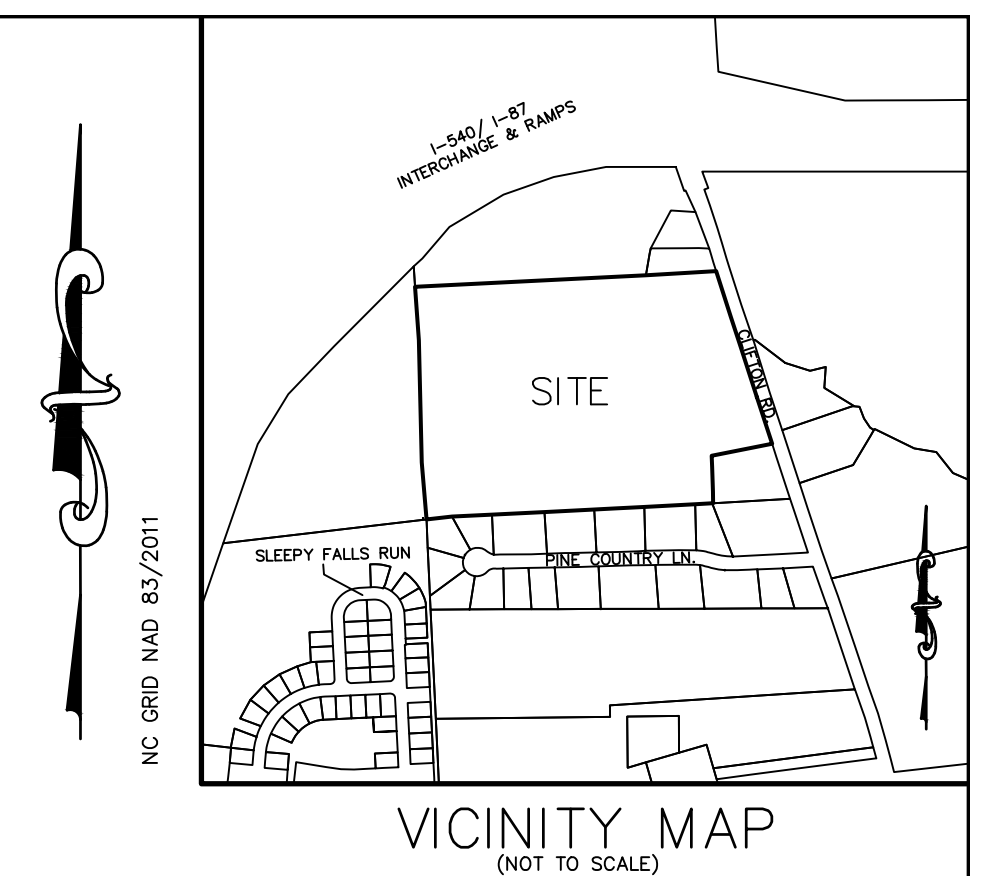
Designed by
Larry Jordan Parker, Jr.
PROFESSIONAL LAND SURVEYOR LICENSE NUMBER L-4685



FLOOD HAZARD STATEMENT
THE SUBJECT PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "AE" AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 3720-1743-00K WITH AN EFFECTIVE DATE OF 07/19/2022.

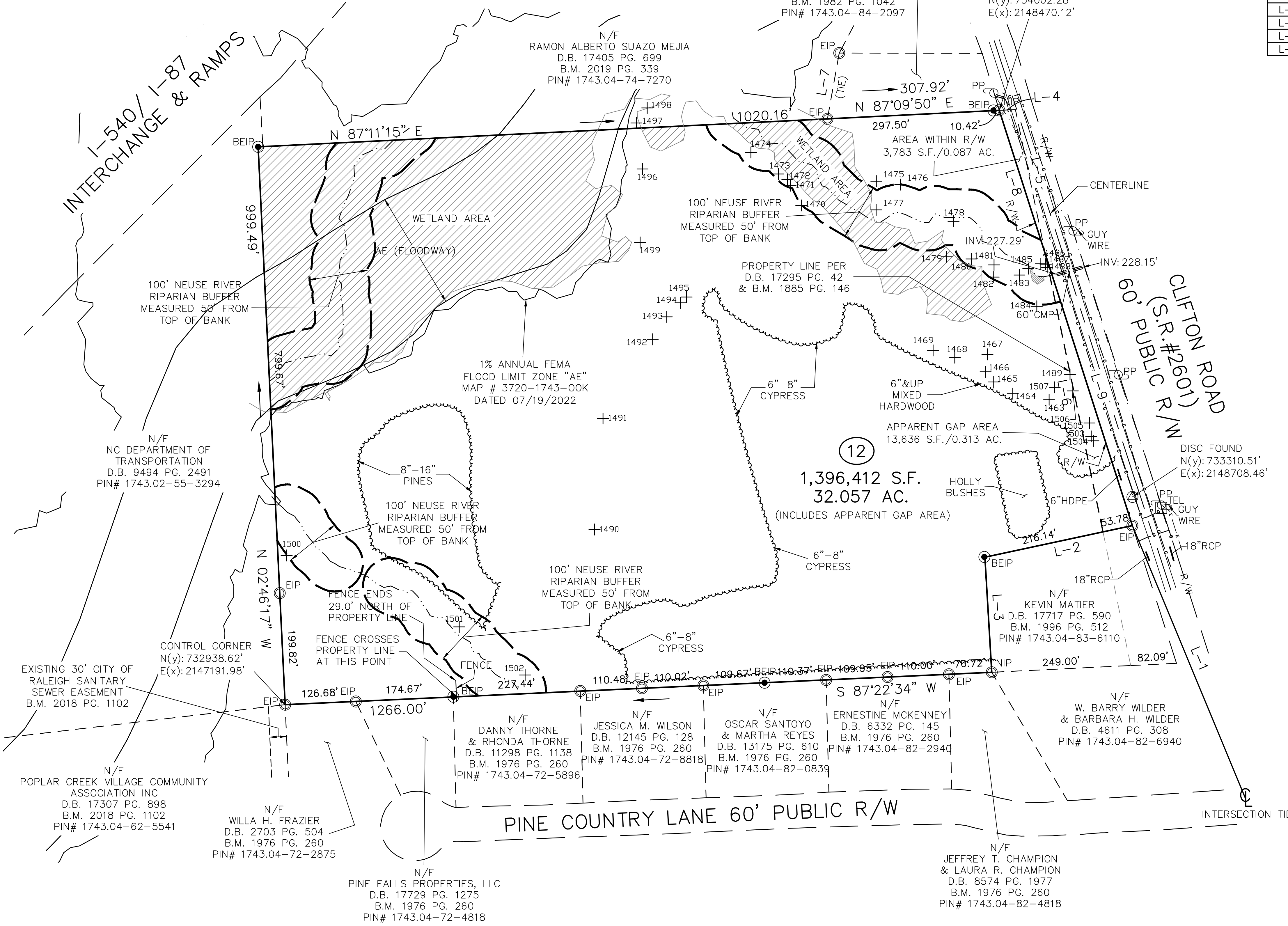
LINE TABLE

LINE	BEARING	DISTANCE
L-1	N 22°31'27" W	529.63'
L-2	S 77°54'21" W	269.92'
L-3	S 03°24'02" E	206.37'
L-4	N 87°09'50" E	28.92'
L-5	S 11°42'59" E	264.78'
L-6	S 11°42'59" E	507.09'
L-7	N 10°09'38" E	119.75'
L-8	S 17°46'28" E	270.76'
L-9	S 17°46'28" E	509.58'



LEGEND

---	PROPERTY LINE - LINE SURVEYED
---	RIGHT-OF-WAY
---	ADJOINING LINE - LINE NOT SURVEYED
---	OVERHEAD LINE
---	BUILDING SETBACK
---	EASEMENT
---	BUFFER
---	FLOOD HAZARD SOILS
---	ELECTRIC LINE (APPROXIMATE LOCATION)
---	Gas LINE (APPROXIMATE LOCATION)
---	COMMUNICATION (APPROXIMATE LOCATION)
---	TREELINE



TREE TABLE

Point	Northing	Easting	SIZE/TREE TYPE
1463	733484.445	2148559.376	35" BLACKGUM
1464	733495.287	2148494.345	28" SWEETGUM
1465	733516.193	2148460.186	28" WHITEOAK
1466	733534.457	2148445.726	28" SWEETGUM
1467	733565.602	2148448.919	25" POPLAR
1468	733559.757	2148390.502	26" POPLAR
1469	733572.707	2148351.692	29" SWEETGUM
1470	733832.188	2148115.880	32" REDOAK
1471	733867.593	2148096.431	31" PINE
1472	733878.614	2148090.971	29" PINE
1473	733888.367	2148074.879	39" WILLOWOAK
1474	733927.006	2148025.580	32" REDOAK
1475	733875.574	2148250.108	24" POPLAR
1476	733869.456	2148293.088	45" POPLAR-UNHEALTHY
1477	733824.205	2148249.775	37" SWEETGUM
1478	733803.743	2148388.273	46" DOUBLE-POPLAR-UNHEALTHY
1479	733740.136	2148376.084	24" MAPLE-UNHEALTHY
1480	733736.328	2148420.362	33" SWEETGUM
1481	733725.699	2148460.810	31" POPLAR-UNHEALTHY
1482	733703.870	2148460.159	28" MAPLE
1483	733707.540	2148506.310	27" POPLAR
1484	733651.674	2148537.334	28" DOUBLE-POPLAR
1485	733718.971	2148522.113	28" PINE
1486	733727.628	2148544.551	25" POPLAR
1487	733727.015	2148553.048	28" POPLAR
1488	733721.054	2148555.876	30" POPLAR
1489	733529.356	2148596.753	44" TRIPLE-POPLAR
1490	733252.206	2147745.754	27" PINE
1491	733450.821	2147760.941	32" REDOAK
1492	733592.574	2147849.738	39" TRIPLE-WHITEOAK
1493	733632.783	2147874.981	25" SWEETGUM
1494	733657.863	2147899.553	29" PINE
1495	733668.193	2147910.405	24" WHITEOAK
1496	733897.310	2147831.695	24" POPLAR
1497	733979.629	2147820.691	25" PINE
1498	734006.625	2147839.998	25" PINE
1499	733765.929	2147827.369	31" MAPLE
1500	733205.706	2147194.643	26" DOUBLE-RED OAK
1501	733077.905	2147503.630	25" SWEETGUM
1502	732991.760	2147621.551	24" PINE
1503	733418.744	2148634.695	25" SWEETGUM
1504	733410.941	2148638.636	24" SWEETGUM
1505	733442.724	2148631.568	27" SWEETGUM
1506	733500.243	2148601.803	26" POPLAR
1507	733506.709	2148569.323	25" POPLAR

NOTES:
1. BASIS OF BEARINGS IS NORTH CAROLINA GEODETIC SURVEY NAD '83 ADJUSTMENT.
2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES. VERTICAL DATUM IS NAVD '88.
3. HORIZONTAL AND VERTICAL DATUM WAS ACQUIRED BY USE OF NCGS VRS GPS.
4. THIS PROPERTY MAY BE SUBJECT TO NEUSE RIVER RIPARIAN BUFFER RULES. CALL N.C. DIVISION OF WATER QUALITY TO VERIFY (919-791-4200).
5. UNDERGROUND UTILITIES HAVE BEEN MARKED OR LOCATED FOR THIS PLAT BY GC MAPPING, PLLC (919) 901-5641.

TREE SURVEY FOR
D.R. HORTON, INC.
CLIFTON ROAD
GREATER PORTION FARM LOT 12, THE OAKS
OWNER: DAVID JONATHAN ADAMS
REF: D.B. 17295 PAGE 42
REF: B.M. 1885 PAGE 146
ST. MATTHEWS TOWNSHIP
WAKE COUNTY, NORTH CAROLINA
SCALE 1"=100'
NOVEMBER 11, 2024
REVISED FEBRUARY 27, 2025
ZONED RR1
PIN #1743.04-73-8469

