Master Plan

Issued for Review Date Issued Latest Issue

March 24, 2025 March 24, 2025

Clifton Road Conservation Subdivision

0 Pine Country Ln Knightdale, NC

Owner

David Jonathan Adams 6000 Mal Weathers Road Raleigh, NC 27603-7831

Developer

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Applicant

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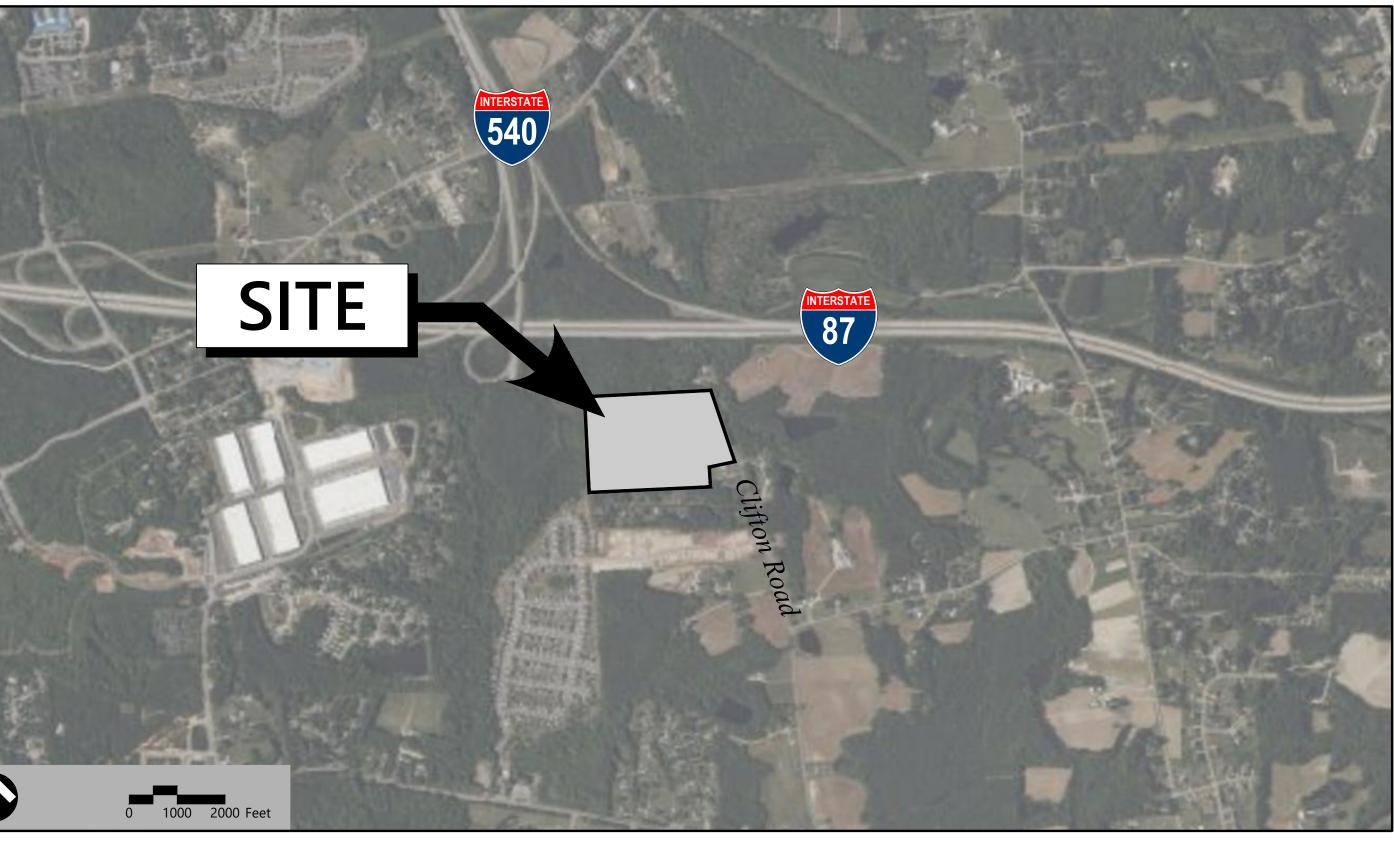
Surveyor

CMP Professional Land Surveyors 333 White Street P.O. Box 1253 Wake Forest, NC 27588 Telephone: 919.556.3148

Consultant

Duncan Land Consultants 5204 Blakenban Trail Fuquay Varina , NC 27526 Telephone: 919.422.2691 Email: brian@duncanlc.com

a. STONE b. BRICK d. SHAKES i. ROOF GABLES m. COLUMN n. SHUTTERS



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Refe	rence Drawings	
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Topographic Survey

Tree Survey

Architectural Design Standards

STANDARDS FOR ALL HOMES 1. ALL HOMES WILL HAVE A COMBINATION OF TWO OR MORE OF THE FOLLOWING MATERIALS ON THE FRONT FACADE (NOT INCLUDING FOUNDATION) UNLESS THE HOME IS ONLY STONE OR BRICK: c. LAP SIDING e. BOARD AND BATTEN

f. WINDOW PEDIMENTS

g. RECESSED WINDOWS h. SIDE AND/OR FRONT WINDOW BOX BAYS

j. ROOF DORMERS

k. ROOFLINE CORNICES

I. METAL ROOFING AS ACCENT

o. FIBER CEMENT SIDING

2. THE EXTERIOR SIDING MATERIAL ON THE SIDE AND REAR FACADES WILL BE FIBER CEMENT. WHEN TWO MATERIALS ARE USED, THE MATERIALS SHALL BE DIFFERENT BUT COMPLIMENTARY COLORS.

3. VINYL IS PROHIBITED EXCEPT FOR WINDOW TRIM, SOFFITS, FASCIA, AND/OR CORNER BOARDS.

4. MAIN ROOF PITCHES (EXCLUDING PORCHES) WILL BE AT LEAST 6:12.

- 5. FOR EVERY 30 FEET (OR FRACTION) OF CONTINUOUS SIDE ELEVATION (CALCULATED ON A PER FLOOR BASIS), THERE SHALL BE ONE WINDOW OR DOOR ADDED TO THE SIDE ELEVATIONS. ANY SIDING BREAK ON THE SIDE OF THE HOME SUCH AS A FIREPLACE, SIDE PORCH, WALL OFFSETS COULD BE
- USED AS AN ALTERNATIVE TO WINDOWS. 6. EACH FRONT ENTRANCE SHALL CONTAIN A COVERED STOOP OR PORCH
- 7. FOUNDATION SHALL BE RAISED TO A MINIMUM HEIGHT OF 18 INCHES ABOVE FINISHED YARD GRADE IN THE FRONT AND SHALL CONTAIN A MINIMUM OF 2 STAIR RISERS UP TO THE FRONT PORCH. FOUNDATIONS WILL BE WRAPPED IN BRICK OR STONE ON ALL SIDES. AREAS UNDER FRONT PORCHES MAY BE ENCLOSED WITH LATTICE OR OTHER DECORATIVE FORM OF SCREENING TO MATCH ARCHITECTURAL STYLE. STANDARDS FOR SINGLE-FAMILY DETACHED FRONT-LOADED HOMES
- 8. ALL HOMES SHALL HAVE A MINIMUM 100 SQUARE FOOT
- PATIO, DECK, TERRACE, OR COURTYARD. 9. A MINIMUM OF 33% OF HOMES SHALL INCLUDE STONE OR BRICK AS A FRONT FAÇADE MATERIAL
- STANDARDS FOR COTTAGE COURT HOUSING

10. NOTE: WE WELCOME FEEDBACK FROM STAFF AND COUNCIL ON THIS POINT

Development Allowances

THE PROPOSED ZONING OF GR3 MEETS ALL STANDARDS SET FORTH IN THE TOWN OF KNIGHTDALE'S UNIFIED DEVELOPMENT ORDINANCE WITH COMPROMISED. THE EXCEPTION OF A FEW CONDITIONS.

NOTE: CONTENTS OF THIS SECTION WILL BE MODIFIED AND/OR EXPANDED RESIDENTIAL CLEARING & GRADING (UDO SEC. 9.3.B) WITH FURTHER COMMUNICATION AND REVIEW WITH STAFF AND COUNCIL. DUE PRIMARILY TO ENVIRONMENTAL AND OTHER SITE CONSTRAINTS, AND IN ORDER TO PROVIDE MORE LANDSCAPE CONSERVATION AND BENEFICIAL COMMON OPEN SPACE FOR AN OVERALL BETTER-INTEGRATED DESIGN, THE APPLICANT IS REQUESTING THE FOLLOWING SITE DEVELOPMENT ALLOWANCES: LOT WIDTH

IN ORDER TO CREATE A VARIETY OF HOUSING TYPES AND PRICE-POINTS, AND A MORE WALKABLE COMMUNITY, WE ARE PROPOSING SINGLE FAMILY DETACHED FRONT-LOADED HOMES WITH LOT WIDTHS OF LESS THAN 80'. 50' LOT WIDTHS ARE PROPOSED FOR A MINORITY OF THE DEVELOPMENT

DRIVEWAY LENGTH

IN THE GR3 BASE DISTRICT, THE MINIMUM REQUIRED DRIVEWAY LENGTH IS 35' FOR A RESIDENTIAL LOT. FOR FRONT-LOADED RESIDENTIAL TYPES, WE ARE PROPOSING A 25' MINIMUM DRIVEWAY LENGTH. THIS IS MITIGATED BY AMPLE ON-STREET GUEST PARKING, AND THE PROPOSED DRIVEWAY LENGTHS ALLOW FOR HOMEOWNERS OR GUESTS TO PARK A CAR IN THE DRIVEWAYS WITHOUT BLOCKING PEDESTRIAN FACILITIES. BUILDING SETBACKS

20' FRONT, 15' REAR AND 5' SIDE MINIMUM BUILDING SETBACK. FOR COTTAGES, WE'RE PROPOSING A MINIMUM OF 10' SEPARATION BETWEEN UNITS AND 10' MIN FRONT BUILDING SETBACK. PUBLIC ROADWAY CENTERLINE RADII

THE DEVELOPMENT REQUESTS A REDUCTION IN THE MINIMUM CENTERLINE RADII FOR PUBLIC STREETS FROM 150' TO 100' SO LONG AS

AND MASS GRADING SHALL BE PERMITTED. CONNECTIVITY INDEX

PORTION OF CLIFTON ROAD IMPROVEMENTS THE DEVELOPMENT IS REQUESTING A FEE-IN-LIEU OF CONSTRUCTION FOR A PORTION OF THE CLIFTON RD IMPROVEMENTS (CURB & GUTTER SIDEWALK ETC.) NORTH OF THE EAST-TO-WEST JURISDICTIONAL STREAM THAT BISECTS CLIFTON RD. FURTHER DEVELOPMENT NORTH OF THE PROJECT IS UNLIKELY, AND CREATING POTENTIALLY UNNECESSARY ENVIRONMENTAL IMPACTS TO JURISDICTIONAL WETLANDS AND STREAMS DOES NOT ALIGN WITH THE OVERALL THEME OF CONSERVATION. THE DEVELOPER WILL PAY A LUMP SUM FEE-IN-LIEU OF CONSTRUCTION TO FOR FRONT-LOADED SINGLE FAMILY LOTS, WE'RE PROPOSING A MINIMUM THE TOWN OF KNIGHTDALE WITH THE FIRST SUBDIVISION PLAT. THE AMOUNT WILL BE ESTIMATED BY A PROFESSIONAL ENGINEER AND REVIEWED BY THE TOWN OF KNIGHTDALE.



November 11, 2024 February 27, 2025

ADEQUATE EMERGENCY VEHICLE ACCESS AND MANEUVERABILITY IS NOT

THE PROJECT WILL REQUIRE A SITE DEVELOPMENT ALLOWANCE PERTAINING TO RESIDENTIAL CLEARING AND GRADING AS SPECIFIED IN SECTION 9.3.B OF THE UDO IN ORDER TO PROVIDE MORE EFFICIENT UTILITY INFRASTRUCTURE AND EFFECTIVE STORMWATER DESIGN. FRONT LOAD SINGLE FAMILY LOT WIDTHS SHALL BE A MINIMUM OF 50' IN WIDTH

THE CONNECTIVITY INDEX SHALL BE PERMITTED TO BE 1.0 DUE TO A LACK OF EXISTING STREET CONNECTIONS TO THE NEIGHBORHOOD AND THE PRESENCE OF EXISTING ENVIRONMENTAL CONDITIONS (THAT WE WOULD LIKE TO RETAIN) TO THE NORTH AND WEST OF THE DEVELOPED AREA.

Site Data Table

CLIFTON ROAD

PROJECT:

CONSERVATION SUBDIVISION OWNER: DAVID ADAMS 6000 MAL WEATHERS ROAD RALEIGH, NC 27603 SITE ADDRESS: **0 PINE COUNTRY LANE** KNIGHTDALE, NC 27545 PIN: 1743-73-8469 WATERSHED: **NEUSE RIVER** ST MATTHEWS TOWNSHIP: PARCEL AREA: 32.05 AC CURRENT ZONING: RR PROPOSED ZONING: GR3 PUD VACANT CURRENT USE: RESIDENTIAL **PROPOSED USE:** SINGLE FAMILY SETBACKS FRONT: 20' SIDE: REAR: 15 COTTAGE SETBACKS: FRONT: 10 CORNER:

Know what's below.

VHB Engineering NC, P.C.

940 Main Campus Drive

Raleigh, NC 27606

Suite 500

919.829.0328

Corp. # C-3705

FOR PERMIT REVIEW ONL NOT FOR CONSTRUCTION **WGINEER** 03/24/2025

χ_ΰ 39510.03 Clifton Review 3/24/202 VHB Projec Issued for :

Legend

Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT	2202227		RIPRAP
		BUILDING SETBACK			CONSTRUCTION EXIT
		PARKING SETBACK			
10+00	10+00	BASELINE	27.35 TC×	27.35 TC×	TOP OF CURB ELEVATION
		CONSTRUCTION LAYOUT	26.85 BC \times	26.85 BC×	BOTTOM OF CURB ELEVATION
		ZONING LINE	132.75 ×	132.75 ×	SPOT ELEVATION
		TOWN LINE	45.0 TW× 38.5 BW	45.0 TW 38.5 BW	TOP & BOTTOM OF WALL ELEVATION
			- 🔶	\bullet	BORING LOCATION
		LIMIT OF DISTURBANCE			TEST PIT LOCATION
<u>A</u> _ ·		WETLAND LINE WITH FLAG	€ ^{MW}		MONITORING WELL
		FLOODPLAIN		UD	UNDERDRAIN
BLSF		BORDERING LAND SUBJECT TO FLOODING	12"D	12″D →	DRAIN
BZ		WETLAND BUFFER ZONE	6"RD	6″RD►	ROOF DRAIN
NDZ		NO DISTURB ZONE	1 <u>2</u> "S	1 <u>2"</u> S	SEWER
200'RA		200' RIVERFRONT AREA	FM	FM	FORCE MAIN
			- OHW	OHW	OVERHEAD WIRE
		GRAVEL ROAD	6"W	6"W	WATER
EOP	EOP	EDGE OF PAVEMENT		4"FP	FIRE PROTECTION
BB	BB	BITUMINOUS BERM		2"DW	DOMESTIC WATER
BC	BC	BITUMINOUS CURB	3"G	G	GAS
CC	CC	CONCRETE CURB	——————————————————————————————————————	———E-——	ELECTRIC
	CG	CURB AND GUTTER	STM	STM	STEAM
CC	ECC	EXTRUDED CONCRETE CURB	T	T	TELEPHONE
CC	MCC	MONOLITHIC CONCRETE CURB	——FA—	——FA——	FIRE ALARM
CC	PCC	PRECAST CONC. CURB	CATV	CATV	CABLE TV
SGE	SGE	SLOPED GRAN. EDGING			
VGC	VGC	VERT. GRAN. CURB			CATCH BASIN CONCENTRIC
		LIMIT OF CURB TYPE			CATCH BASIN ECCENTRIC
		SAWCUT			DOUBLE CATCH BASIN CONCENTRIC
	D 1		_		DOUBLE CATCH BASIN ECCENTRIC
		BUILDING			GUTTER INLET
		BUILDING ENTRANCE	\bigcirc	$\textcircled{\bullet}$	DRAIN MANHOLE CONCENTRIC
		LOADING DOCK	\bigcirc	$\textcircled{\bullet}$	DRAIN MANHOLE ECCENTRIC
		BOLLARD	=TD=		TRENCH DRAIN
D	D	DUMPSTER PAD	Ľ	Ľ	PLUG OR CAP
	 	SIGN	CO	€C0 ●	CLEANOUT
0	Ŧ	DOUBLE SIGN			FLARED END SECTION
				\searrow	HEADWALL
<u> </u>	I	STEEL GUARDRAIL	S	۲	SEWER MANHOLE CONCENTRIC
	₽ ₽	WOOD GUARDRAIL	S	$\overset{\smile}{\bullet}$	SEWER MANHOLE ECCENTRIC
			CS	CS ©	
	= $=$ $=$ $=$	PATH	● ₩V ●	WV	CURB STOP & BOX
\sim	\sim	TREE LINE		•	WATER VALVE & BOX
×	-xx-	WIRE FENCE	TSV	TSV	TAPPING SLEEVE, VALVE & BOX
0	- • •	FENCE	↔ HYD ©	₩ HYD	FIRE DEPARTMENT CONNECTION
·		STOCKADE FENCE	WM	© WM	FIRE HYDRANT
	$\infty \infty \infty \infty$	STONE WALL	⊡ PIV	⊡ PIV	WATER METER
		RETAINING WALL	۲	۲	POST INDICATOR VALVE
		STREAM / POND / WATER COURSE	\otimes		WATER WELL
· · ·		DETENTION BASIN	GG	GG O	GAS GATE
		HAY BALES	GM ⊡	GM ⊡	GAS METER
X	×	SILT FENCE	E	● ^{EMH}	ELECTRIC MANHOLE
<> ·	· c::::> ·	SILT SOCK / STRAW WATTLE	EM	EM	
4	4	MINOR CONTOUR	- 0	⊔ ⊸	ELECTRIC METER
20	20	MAJOR CONTOUR	¢	₽	LIGHT POLE
				● ^{™H}	TELEPHONE MANHOLE
(10)		PARKING COUNT	Τ	Τ	TRANSFORMER PAD
	C10	COMPACT PARKING STALLS	-0-	.	UTILITY POLE
DYL	DYL	DOUBLE YELLOW LINE		-	
SL	SL	STOP LINE	0-	● I	GUY POLE
		CROSSWALK	<u>Н</u> Н	<u>н</u> н	GUY WIRE & ANCHOR
		ACCESSIBLE CURB RAMP	⊡ PB	⊡ PB	HAND HOLE
L_A E	<u>م ک</u>				PULL BOX
		ACCESSIBLE PARKING			
É. VAN	لگہ VAN	VAN-ACCESSIBLE PARKING			MATCHLINE

Abbreviations

Ab	brevia	tions
	General	
	ABAN	ABANDON
	ACR	ACCESSIBLE CURB RAMP
	ADJ	ADJUST
	APPROX	APPROXIMATE
	BIT	BITUMINOUS
	BS	BOTTOM OF SLOPE
	BWLL	BROKEN WHITE LANE LINE
	CONC	CONCRETE
	DYCL	DOUBLE YELLOW CENTER LINE
	EL	ELEVATION
	ELEV	ELEVATION
	EV	ELECTRIC VEHICLE CHARGING SPACE
	EX	EXISTING
	FDN	FOUNDATION
	FFE	FIRST FLOOR ELEVATION
	GRAN	GRANITE
	GTD	GRADE TO DRAIN
	LA	
	LOD	
	MAX	MAXIMUM
	MIN NIC	MINIMUM NOT IN CONTRACT
	NTS	NOT TO SCALE
	PERF	PERFORATED
	PROP	PROPOSED
	REM	REMOVE
	RET	RETAIN
	R&D	REMOVE AND DISPOSE
	R&R	REMOVE AND RESET
	SWEL	SOLID WHITE EDGE LINE
	SWLL	SOLID WHITE LANE LINE
	TS	TOP OF SLOPE
	ТҮР	TYPICAL
	Utility	
	СВ	CATCH BASIN
	CMP	CORRUGATED METAL PIPE
	со	CLEANOUT
	DCB	DOUBLE CATCH BASIN
	DMH	DRAIN MANHOLE
	CIP	CAST IRON PIPE
	COND	CONDUIT
	DIP	DUCTILE IRON PIPE
	FES	FLARED END SECTION
	FM	FORCE MAIN
	F&G	FRAME AND GRATE
	F&C	FRAME AND COVER
	GI	GUTTER INLET
	GT	
	HDPE HH	HIGH DENSITY POLYETHYLENE PIPE
	HW	HEADWALL
	HYD	HYDRANT
	INV	INVERT ELEVATION
	=	INVERT ELEVATION
	LP	LIGHT POLE
	MES	METAL END SECTION
	PIV	POST INDICATOR VALVE
	PWW	PAVED WATER WAY
	PVC	POLYVINYLCHLORIDE PIPE
	RCP	REINFORCED CONCRETE PIPE
	R=	RIM ELEVATION
	RIM=	RIM ELEVATION
	SMH	SEWER MANHOLE
	TSV	TAPPING SLEEVE, VALVE AND BOX

UNDERGROUND UG UTILITY POLE UP

Notes

	neral THE "NORTH CAROLINA 811 LAW" REQUIRES FOR THE CONTRACTOR TO CALL 811 AT LEAST 3 WORKING DAYS IN ADVANCE OF THE PLANNED WORK TO ALLOW TIME FOR MARKING, THAT THE MARKS BE RESPECTED AND		SCALED TO THEIR ACTUAL D THE DETAIL SHEET DIMENSIC SUPPLIED PRODUCTS FOR LA
2.	PROTECTED, AND THAT EXCAVATION BE COMPLETED CAREFULLY. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN	8.	CONTRACTOR SHALL NOT R THAT ARE OBTAINED FROM WITH THE PAPER COPIES OF
3.	ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN	De	DOCUMENTS.
4.	CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT). AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL FOLLOW THE NPDES SPECIFICATIONS FOR SITE SPECIFIC SEEDING MIXTURES.	1.	CONTRACTOR SHALL REMOV WORK INCLUDING BUILDING UNLESS INDICATED OTHERW AND UNSUITABLE MATERIAL
5.	WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.	2.	FOOTPRINT INCLUDING EXTE
6.	WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS	E.	AND INDIVIDUAL UTILITY CC COORDINATE UTILITY SERVIC
7.	STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY	3.	CONTRACTOR SHALL DISPOSI LOCAL REGULATIONS, ORDIN
0	FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.	4	THE DEMOLITION LIMITS DEF AND CONSTRUCTION PROCE CONTRACTOR IS RESPONSIBI BID/PROPOSAL TO PERFORM
8.	TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.	_	FOR CHANGED CONDITIONS DISCOVERED DURING EXECU
9.	AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.	5.	UNLESS OTHERWISE SPECIFIC PREPARED DESIGNS FOR AN ABATEMENT OR DISPOSAL C
10.	IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.		ENGINEER SHALL NOT BE RE ARISING FROM THE PRESENC HARMLESS THE ENGINEER FF SHALL HAVE NO ADMINISTR INVOLVING THE ISSUES OF P HAZARDOUS MATERIALS.
11.	CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.	Er	osion Control
12.	DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.	1.	PRIOR TO STARTING ANY OT AND SHALL INSTALL EROSIO STATE AND LOCAL APPROVA
	CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.	2.	CONTRACTOR SHALL INSPEC THEREFROM ON A WEEKLY E
14.	DESIGN OF THE ACCESS IMPROVEMENTS AT THE INTERSECTIONS OF THE SITE WITH BETHLEHEM ROAD AND OLD FAISON ROAD IS BY DRMP AND IS SHOWN HEREON FOR REFERENCE ONLY		SEDIMENTS IN AN UPLAND / PROTECTED AREAS.
	lities	3.	CONTRACTOR SHALL BE FUL NOT AFFECT REGULATORY P DIRECT DEPOSIT.
1.	THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR IT'S REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY	4.	CONTRACTOR SHALL PERFO MINIMUM OF TIME BEFORE
	THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES,	5.	UPON COMPLETION OF CON SHALL REMOVE AND DISPOS DRAINAGE AND SEWER SYST
2.	INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.	Ex	isting Conditions In
	DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE	1.	THIS SURVEY MAP IS INTENE PROPERTY AND ALL ENCUM
	CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.	2. 3.	HORIZONTAL DATUM IS NAU
3.	SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.		SURVEY INFORMATION BASE
4.	RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET	5.	TREES SHOWN HEREON MA
	AS FOLLOWS: A. PAVEMENTS AND CONCRETE SURFACES: FLUSH	6.	THE SUBJECT PROPERTY LIES FUTURE CONDITIONS 1% AN COMMUNITY MAP NUMBER
	B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH	Do	ocument Use
	C. LANDSCAPE, TOPSOIL AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.	1.	THESE PLANS AND CORRESP SHALL NOT BE USED, IN WHO
5.	THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.		WITHOUT THE EXPRESSED, V ALTERATION, INCLUDING AL WITHOUT LIABILITY OR LEGA
6.	CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.	2.	CONTRACTOR SHALL NOT R THAT ARE OBTAINED FROM WITH THE PAPER COPIES OF DOCUMENTS.
7.	UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:	3.	SYMBOLS AND LEGENDS OF SCALED TO THEIR ACTUAL D
	A. WATER PIPES SHALL BE DUCTILE IRON PIPE (DIP).B. SANITARY SEWER PIPES SHALL BE DUCTILE IRON PIPE (DIP) OR POLYVINYL CHLORIDE (PVC) SEWER PIPE.		THE DETAIL SHEET DIMENSIO SUPPLIED PRODUCTS FOR LA
	 STORM DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (RCP) AND HIGH DENSITY POLYETHYLENE (HDPE), OR APPROVED EQUIVALENT. HDPE PIPE MAY BE USED WHEN COVER FROM SUBGRADE IS A MINIMUM OF TWO NOMINAL PIPE DIAMETERS. 		
8.	CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.		
9.	CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.		
10.	ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.		
11.	LOCATION OF FITTINGS SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR SHALL DETERMINE ALL FITTING REQUIREMENTS AND LOCATIONS FROM ACTUAL FIELD CONDITIONS.		
12.	PIPE LENGTHS SHOWN HEREON ARE FROM CENTERLINE TO CENTERLINE OF STRUCTURE AND ARE APPROXIMATE. CONTRACTOR SHALL DETERMINE ACTUAL PIPE LENGTHS FROM FIELD CONDITIONS.		
13.	INVERTS CONTROL ELEVATIONS AT ALL STRUCTURES, SLOPES AND LENGTHS ARE APPROXIMATE ONLY.		
14.	REFER TO SHEET C4.00 FOR CITY OF RALEIGH UTILITY NOTES.		
	yout and Materials		
1.	DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.		
2. 3.	CURB RADII ARE 3 FEET TO FACE OF CURB UNLESS OTHERWISE NOTED.		
- •	CONTRACT OF A CONTRACT CONTRACT OF A CONTRAC		

- 3. CURBING SHALL BE 30" CONCRETE CURB AND GUTTER WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
- 4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- 5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
- 6. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- 7. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY

) TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO TAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF ED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

ACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT 1ENTS.

tion

ACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS NSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING RINT INCLUDING EXTERIOR COLUMNS.

IG UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE IDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL DINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.

ACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND REGULATIONS, ORDINANCES AND STATUTES.

MOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING DNSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE ACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS DPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION ANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS ERED DURING EXECUTION OF THE WORK.

OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT RED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, MENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH G FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD ESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT ING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER

Control

FO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES HALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.

ACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES, AND REMOVE SEDIMENT FROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF INTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND TED AREAS.

ACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL FECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND OR DEPOSIT.

ACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A JM OF TIME BEFORE THEY ARE COVERED, SEEDED OR OTHERWISE STABILIZED TO PREVENT EROSION. COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE AGE AND SEWER SYSTEMS.

Conditions Information

JRVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE RTY AND ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.

ONTAL DATUM IS NAD 83-2011 AND VERTICAL DATUM IS NAVD88.

RAWING DOES NOT CONFORM TO N.C. GS47-30 AND THEREFORE IS NOT FOR RECORDATION. (INFORMATION BASED ON ALTA/NSPS SURVEY COMPLETED ON 11/14/2025 BY CMP PROFESSIONAL LAND

ORS. SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.

BJECT PROPERTY LIES IN ZONES X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN). BASED ON THE FLOOD INSURANCE RATE MAP UNITY MAP NUMBERS 3720174300K AND 3720175300K DATED JULY 19, 2022.

ent Use

PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED UT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR TION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK UT LIABILITY OR LEGAL EXPOSURE TO VHB.

ACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT 1ENTS.

LS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY D TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO ETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF ED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.



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Clifton Road Conservation Subdivision 0 Pine Country Lane

Knightdale, NC

Revision

VHB

Issued for

Checked by CDT Date

Date

March 24, 2025

Master Plan Review

Legend and General Notes

Drawing Number

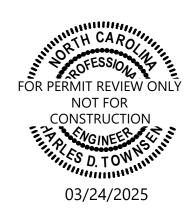


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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF KNIGHTDALE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE

Call before you dig.

Know what's below.



Project Number 39510.03 C:\AMS\ACCDocs\VHB\39510.03-DR Horton_Clifton Road\Project Files\05_Work\Cad\ld\Planset\39510.03 - MP.dwg

PRELIMINARY DEVELOPMENT SUMMARY

DAVID ADAMS 6000 MAL WEATHERS RD RALEIGH, NC 27603

RALEIGH, NC 27615



DEVELOPMENT SUMMARY



50' TRADITIONAL SINGLE FAMILY LOT (ADDITIONAL ANTI-MONOTANY PROVISIONS SEE PUD REPORT)



COTTAGE PRODUCT STYLE A ADDITIONAL ANTI-MONOTONY PROVISIONS SEE PUD REPORT

COTTAGE PRODUCT STYLE B ADDITIONAL ANTI-MONOTONY PROVISIONS SEE PUD REPORT

COTTAGE COURTS, PASSIVE OPEN SPACE ADDITIONAL ANTI-MONOTONY PROVISIONS SEE PUD REPORT



ACTIVE OPEN SPACE (ADDITIONAL ANTI-MONOTANY PROVISIONS SEE PUD REPORT)

> OY & RHONDA B EARLY D.B. 8779 PG. 499 USE: SINGLE FAMILY EX ZONING: VACANT

> > CLIFT

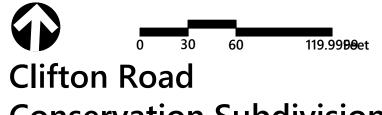
TON RD (S.R. 2601) 60' PUBLIC RIN B.M. 1976 PG. 260 B.M. 1976 PG. 260



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	WETLANDS
80160Z	50' NEUSE RIVER BUFF
	PROPERTY LINE
	BUILDING SETBACK
	CONCRETE SIDEWALK
	GREENWAY
	GREENWAY EASEMEN
	8 FT PRIVACY FENCE

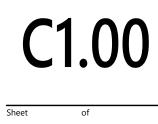


Conservation Subdivision 0 Pine Country Lane Knightdale, NC

lo. Revision

Designed by VHB	Checked by
Issued for	Date
Master Plan	March 24, 2025
Review	

Illustrative Master Plan



Date

Appvd.

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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF KNIGHTDALE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE

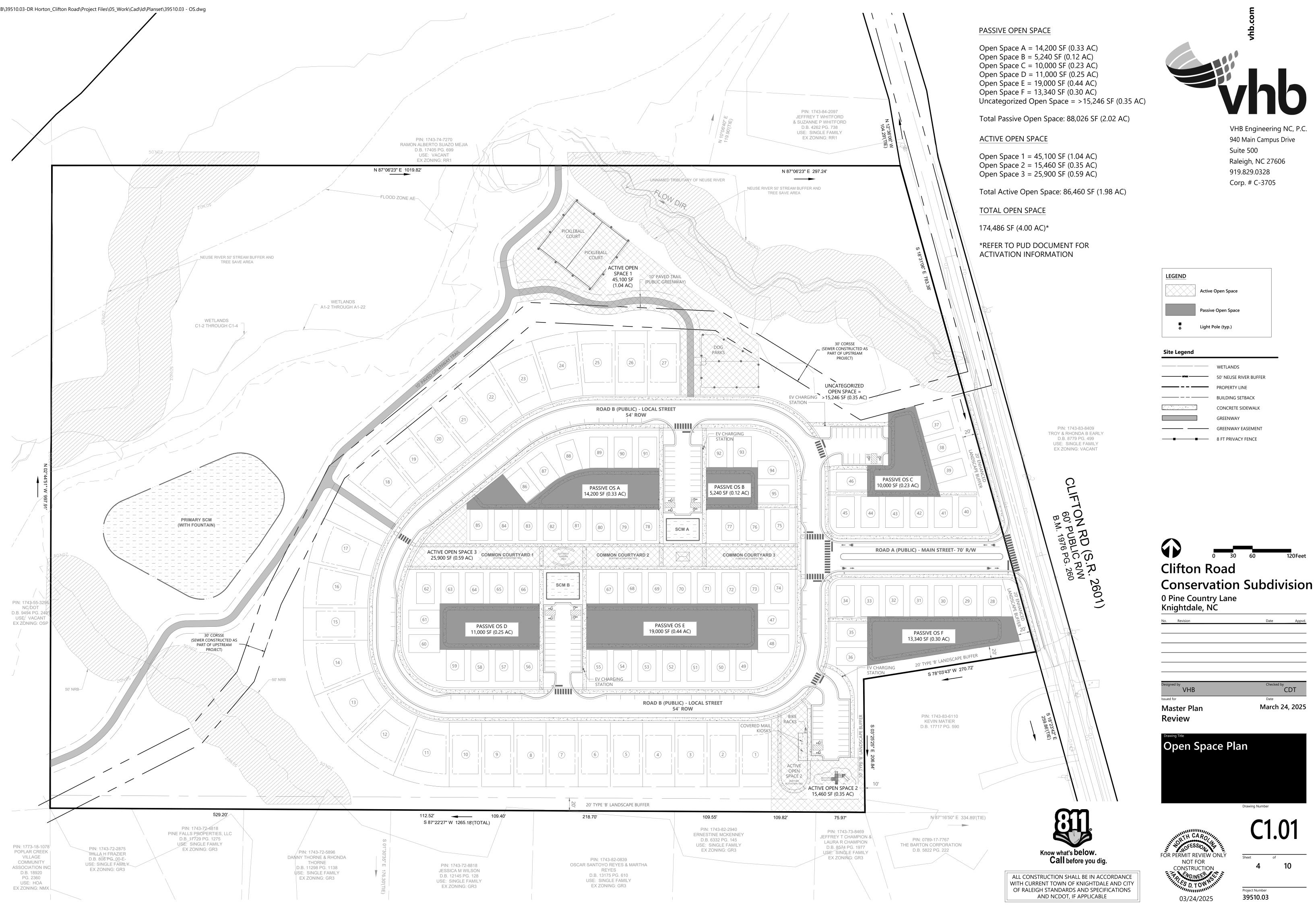
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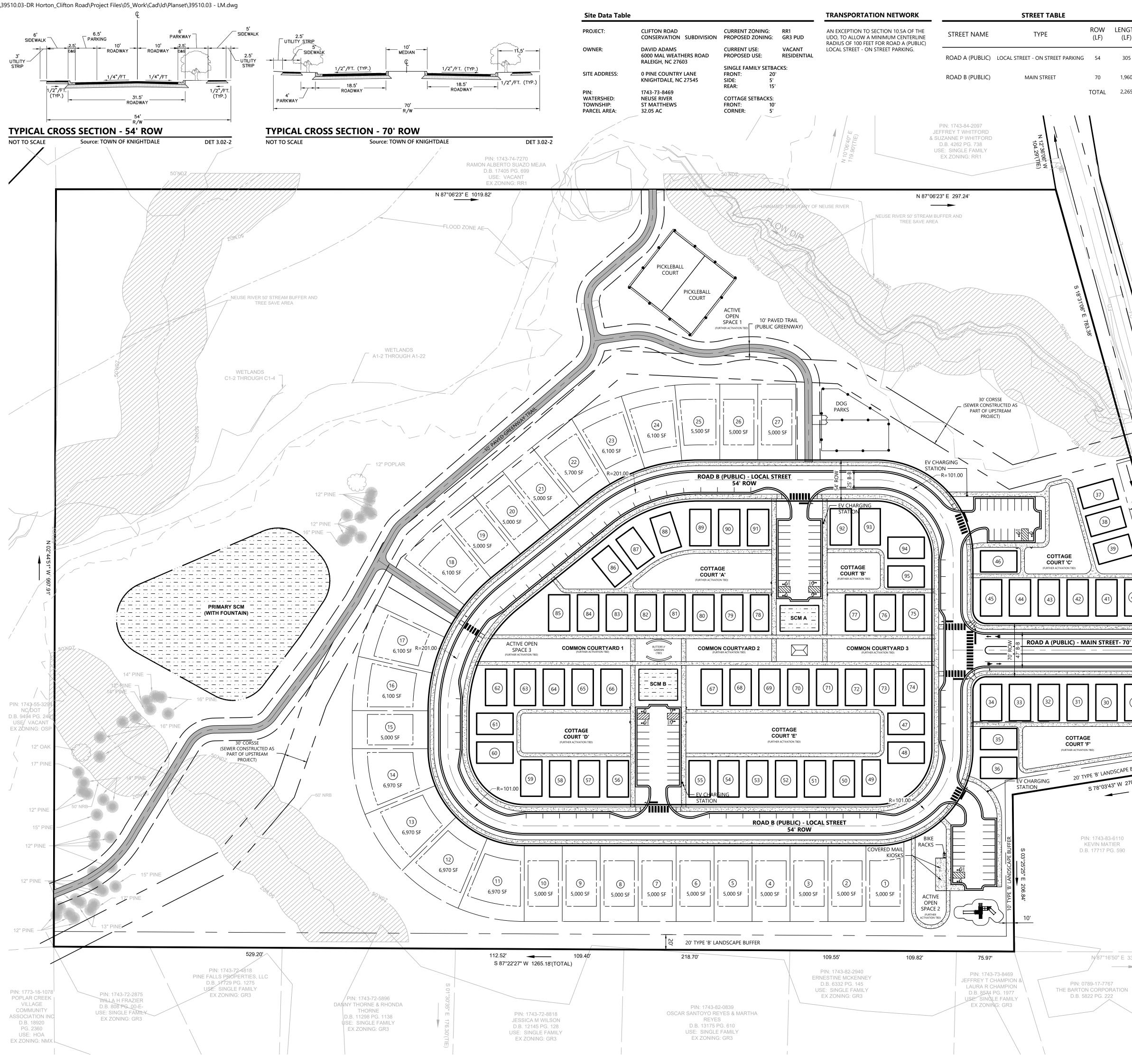
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Project Number 39510.03

Drawing Number

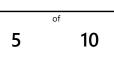


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REET TABLE			Site Notes	
ТҮРЕ	ROW (LF)	LENGTH (LF)	1. CONSTRUCTION DRAWINGS SHALL BE SUBMITTED AND APPROVED BY THE TOWN OF KNIGHTDALE PRIOR TO CONSTRUCTION.	
- ON STREET PARKING	54	305	 SEE SHEET C0.01 FOR GENERAL AND SITE NOTES. PERMANENT AND TEMPORARY SINGLE REQUIRES AN APPROVED SIGN PERMIT PRIOR TO INSTALLATION. SIGNAGE IS A SEPARATE SUBMITTAL, REVIEW, AND APPROVAL. 	
AIN STREET	TOTAL	2,265	4. SUBDIVISION LOTS MUST BE LOT OF RECORD PRIOR TO RECEIVING A BUILDING PERMIT .	
.			5. PRIOR TO OBTAINING BUILDING PERMITS, CONTRACTOR TO SCHEDULE A PRECONSTRUCTION MEETING THROUGH TOWN OF KNIGHTDALE.	
N 12°36'06' W 104.29'(TIE)			6. TOWN OF KNIGHTDALE WILL BE RESPONSIBLE FOR PAYMENT OF THE MONTHLY COSTS FOR PUBLIC STREET LIGHTING AND THE DEVELOPER WILL BE RESPONSIBLE FOR ALL INITIAL FEES CHARGED WITH THE LIGHT INSTALLATION. ALL INSTALLATION FEES ARE REQUIRED TO BE PAID UP FRONT AT THE TIME OF INSTALLATION.	
			 PUBLIC STREET LIGHTING WILL BE REQUIRED FOR ALL PUBLIC STREETS. PARALLEL PARKING SPACES ALONG PROPOSED PUBLIC STREET WILL BE DRIVETED MAINTENEED FOR ALL PUBLIC STREET WILL BE 	
			PRIVATELY MAINTAINED.9. ALL RETAINING WALLS AND AREA OUTSIDE OF THE LOTS WILL BE MAINTAINED BY THE COMMUNITY H.O.A.	
			10. PRIOR TO RELEASE OF THE CERTIFICATE OF OCCUPANCY, THE OWNER/ BUILDER MUST SUPPLY THE TOWN WITH A FINAL LETTER OF CERTIFICATION	
			FROM LIGHTING ENGINEER, LIGHTING MANUFACTURER. 11. TREE PROTECTION FENCE AND SILT FENCE CANNOT SHARE THE SAME POLE.	
	ℓ / ℓ		12. THE SUBDIVISION LOTS MUST BE LOTS OF RECORD PRIOR TO RECEIVING A BUILDING PERMIT.	
			 IF THE RETAINING WALL IS GREATER THAN 4' IN HEIGHT, A SEPARATE BUILDING PERMIT WILL BE REQUIRED. 	
S 18°3			 IF RETAINING WALL(S) ARE GREATER THAN 3' IN HEIGHT THEY MUST HAVE SAFETY RAIL. MAIL KIOSK PARKING INSIDE PUBLIC RIGHTS OF WAY ARE NOT 	
5 18°31'06" E 100	-04 -783.38	FO	MAINTAINED BY THE TOWN OF KNIGHTDALE. ANY PARKING SPACES ALONG A PUBLIC STREET SHALL BE SEPARATED BY A 2' WIDE X 8" DEEP CONCRETE BAND TO SEPARATE PUBLIC STREET FROM PRIVATE PARKING MAINTENANCE.	
			16. CLUSTER MAILBOXES TO BE LOCATED WITHIN NEIGHBORHOOD PHASE 1 OPEN SPACE VILLAGE GREEN. KIOSK LOCATION SHALL BE APPROVED BY USPS PRIOR TO SUBDIVISION APPROVAL. IF TEMPORARY LOCATIONS ARE REQUIRED, APPROVAL LOCATIONS SHALL BE RECEIVED FROM USPS. MAIL KIOSK WILL HAVE ADA COMPLIANT RAMPS AND PARKING SPACES.	
			17. A HOMEOWNER'S ASSOCIATION (HOA) WILL OWN AND MAINTAIN ALL OPEN SPACE PARCELS, PRIVATE ALLEYS, AND WILL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING REQUIRED BY TOWN OF KNIGHTDALE UNIFIED DEVELOPMENT ORDINANCE (UDO)	
			18. PER UDO CH 10.5.H.2, ALL UTILITIES SHALL BE PLACED UNDERGROUND	Site Legend
	_		WIDENING TO PRESERVE EX ENVIRONMENTAL FEATURES	
	37)		PIN: 1743-83-8409	
	38	20'	TROY & RHONDA B EARLY D.B. 8779 PG. 499 USE: SINGLE FAMILY EX ZONING: VACANT	_
COTTAGE COURT 'C'	3	LAMOSCAPE BUFFER		
(FURTHER ACTIVATION TBD)		<u>≈ ~~ ~ ~ ~</u> (₩ <u>~ ~ ~ ~ ~</u> ,	CLIFTON RD (S.R. B.M. 1976 P.G. 260 B.M. 1976 P.G. 260	
(43) (42)	(41)	40	B 60 0	
·			N N N N N N N N N N N N N N N N N N N	
OAD A (PUBLIC) - M		ET- 70' R/W	976 PG. 2 PG. 2 PG. 2 PG. 2	
				Clifton
			SZ: No	Conser
32 (31)	30	29	28 28 20 ENUHANICED 20 ENUFFER 20	0 Pine Cour Knightdalo
			PERFECT	Knightdale, No. Revision
	'F'		20'	
	1 A. 1. 6	SC APE BUFFER	20	
ARGING 20' TY ON	үре 'В' LANL S 78°03'43	oscape Buffer 3" W 270.72'		
				Designed by VHB
				Issued for Master Plan
ł	N: 1743-83- KEVIN MATI B. 17717 PG	ER	S 18°23'42" E 259.86'(TIE)	Review
				Drawing Title
				Site Plar
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	₩87°16'5 -	50" E 334.89'(TIE		
	700 47 7707			MUNH CAR

22.00FOR PERMIT REVIEW ONLY NOT FOR CONSTRUCTION 5 ENGINEER S D. TOWN



Date Appvd.

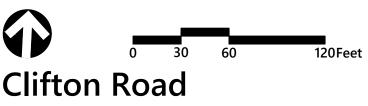
Project Number 39510.03

Drawing Number

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919.829.0328 Corp. # C-3705

	WETLANDS
	50' NEUSE RIVER BUFFE
	PROPERTY LINE
	BUILDING SETBACK
	CONCRETE SIDEWALK
	GREENWAY
	GREENWAY EASEMENT
	8 FT PRIVACY FENCE



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Checked by Date March 24, 2025

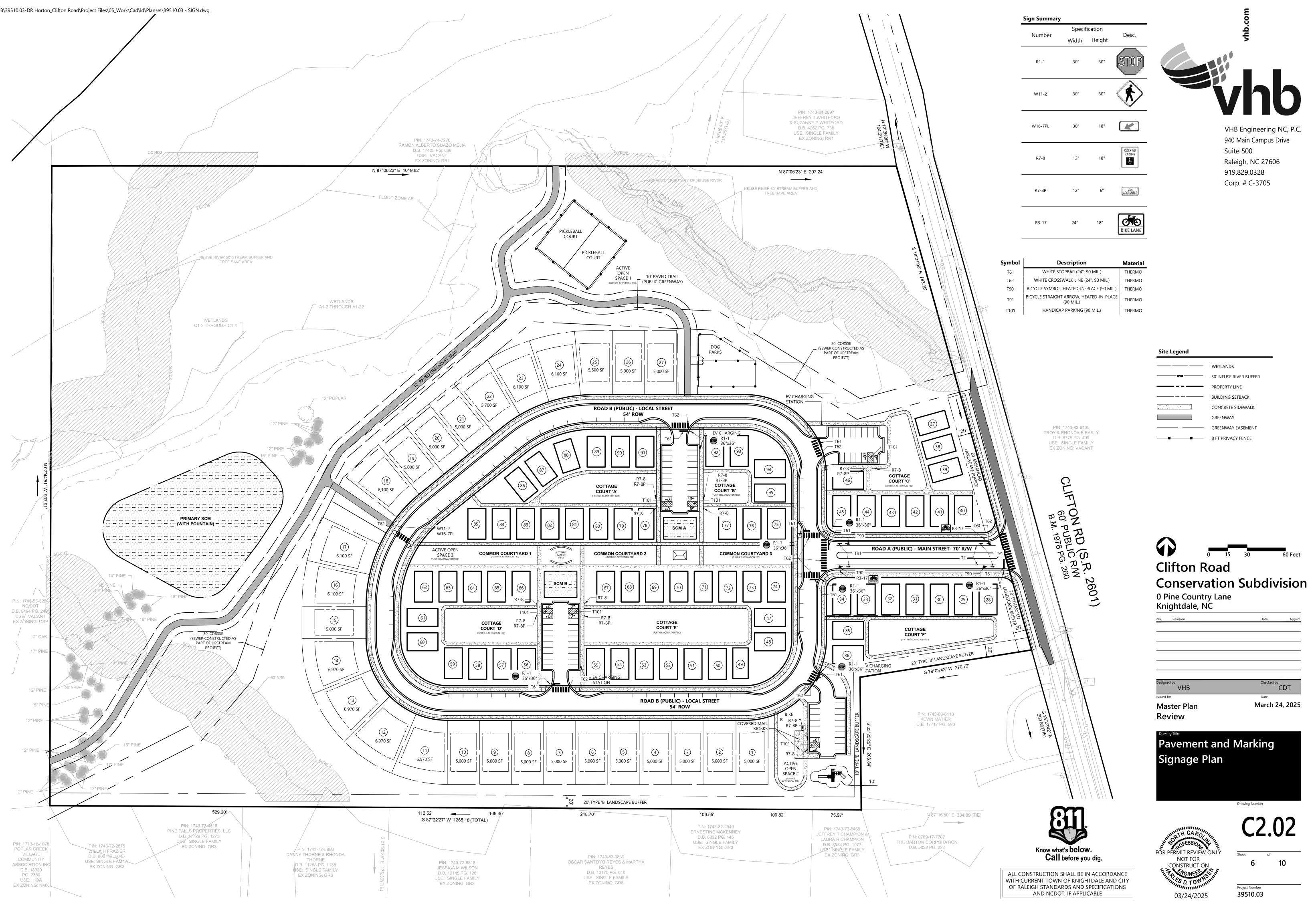
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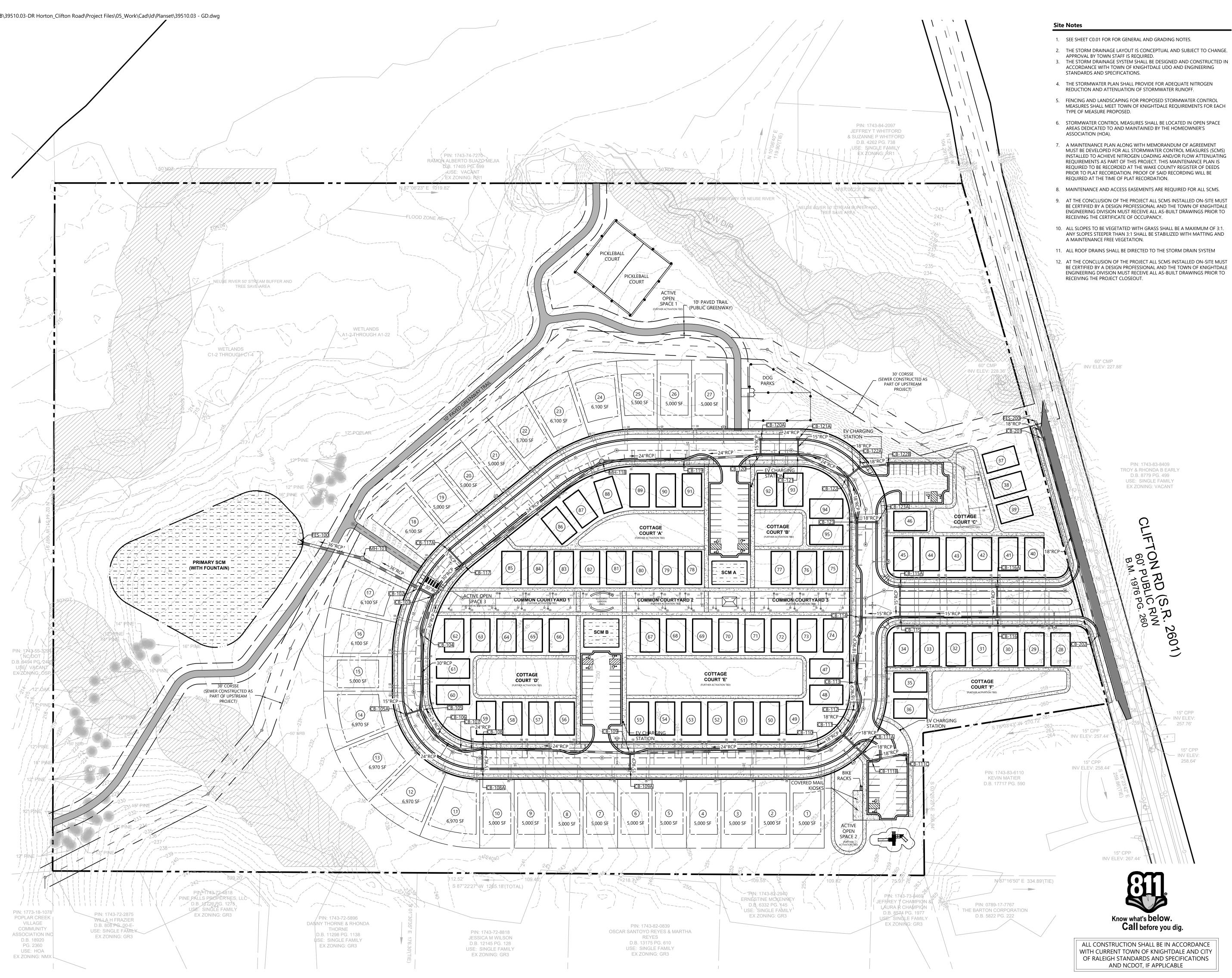


ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF KNIGHTDALE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE

PIN: 0789-17-7767

D.B. 5822 PG. 222



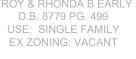


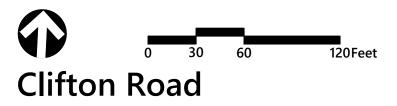
- 2. THE STORM DRAINAGE LAYOUT IS CONCEPTUAL AND SUBJECT TO CHANGE.
- 4. THE STORMWATER PLAN SHALL PROVIDE FOR ADEQUATE NITROGEN
- 5. FENCING AND LANDSCAPING FOR PROPOSED STORMWATER CONTROL MEASURES SHALL MEET TOWN OF KNIGHTDALE REQUIREMENTS FOR EACH
- AREAS DEDICATED TO AND MAINTAINED BY THE HOMEOWNER'S
- MUST BE DEVELOPED FOR ALL STORMWATER CONTROL MEASURES (SCMS) INSTALLED TO ACHIEVE NITROGEN LOADING AND/OR FLOW ATTENUATING REQUIREMENTS AS PART OF THIS PROJECT. THIS MAINTENANCE PLAN IS REQUIRED TO BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS PRIOR TO PLAT RECORDATION. PROOF OF SAID RECORDING WILL BE
- BE CERTIFIED BY A DESIGN PROFESSIONAL AND THE TOWN OF KNIGHTDALE ENGINEERING DIVISION MUST RECEIVE ALL AS-BUILT DRAWINGS PRIOR TO
- ANY SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED WITH MATTING AND
- 11. ALL ROOF DRAINS SHALL BE DIRECTED TO THE STORM DRAIN SYSTEM
- 12. AT THE CONCLUSION OF THE PROJECT ALL SCMS INSTALLED ON-SITE MUST BE CERTIFIED BY A DESIGN PROFESSIONAL AND THE TOWN OF KNIGHTDALE ENGINEERING DIVISION MUST RECEIVE ALL AS-BUILT DRAWINGS PRIOR TO



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Site Legend





Conservation Subdivision

0 Pine Country Lane Knightdale, NC

No.	Revision	Date	Appvd.
Design	and by	Checked by	
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Issued for Master Plan

Date March 24, 2025

Review

Stormwater Management Plan





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Project Number 39510.03

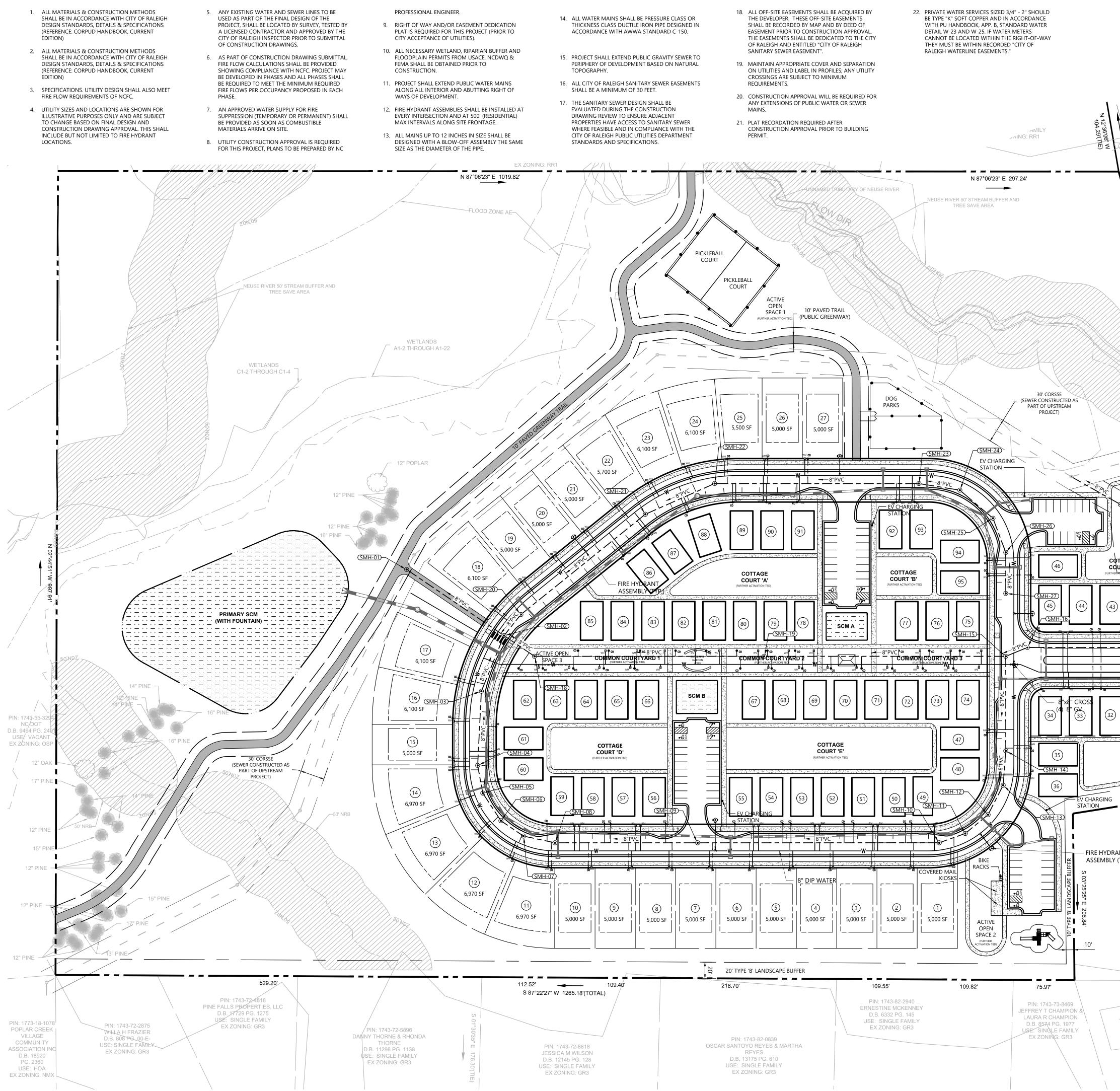
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Utility Notes

- DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- FIRE FLOW REQUIREMENTS OF NCFC.
- ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE BASED ON FINAL DESIGN AND CONSTRUCTION DRAWING APPROVAL. THIS SHALL INCLUDE BUT NOT LIMITED TO FIRE HYDRANT
- USED AS PART OF THE FINAL DESIGN OF THE PROJECT, SHALL BE LOCATED BY SURVEY, TESTED BY A LICENSED CONTRACTOR AND APPROVED BY THE CITY OF RALEIGH INSPECTOR PRIOR TO SUBMITTAL OF CONSTRUCTION DRAWINGS.
- FIRE FLOW CALCULATIONS SHALL BE PROVIDED SHOWING COMPLIANCE WITH NCFC. PROJECT MAY BE DEVELOPED IN PHASES AND ALL PHASES SHALL BE REQUIRED TO MEET THE MINIMUM REQUIRED FIRE FLOWS PER OCCUPANCY PROPOSED IN EACH PHASE.
- BE PROVIDED AS SOON AS COMBUSTIBLE

- 9 CITY ACCEPTANCE OF UTILITIES).
- FEMA SHALL BE OBTAINED PRIOR TO
- WAYS OF DEVELOPMENT.
- MAX INTERVALS ALONG SITE FRONTAGE.





Water Allocation Compliance

Major Subdivision			
Major Subdivision (Base Points	5)		15
Conservation of Natural Habita	t (Public G	reenway)	10
Construct a fountain within the	SOM		4
Outdoor Display of Public Art			4
Pickleball Courts			5
IPEMA Certfied Playground Equipment			
Stormwater- Underground Capt	ure System	ו	5
Greenway - >1000 LF of 10 FT wi	de paved p	ath	1
Enhanced Roadside Landscapi	ng and Ha	rdscaping	2
Total Required			50
Total Provided			50

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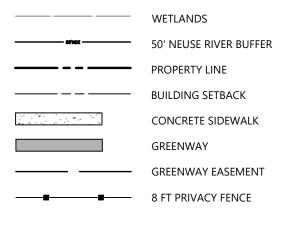


60" CMP INV ELEV: 227.88'

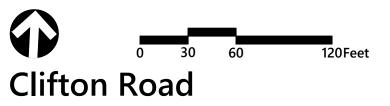
> PIN: 1743-83-8409 TROY & RHONDA B EARLY D.B. 8779 PG. 499 USE: SINGLE FAMILY EX ZONING: VACANT

OTTAGE QURT 'C' ERACTIVATION TBD) SMH-02C	P P
(42) (41) (40) (1)	FT ON P
	SMH-17 SMH-17
	288 8" CPI BERGER 280 12"x8" TAPPING
8" DIP WATER COURT 'F' (FURTHER ACTIVATION TED)	SLEEVE AND VALVE (2) 12" GV AND (1) 8" GV WATERMAIN EXTENSION TO TIE INTO EXISTING MAIN STUBBED FROM POPLAR CREEK VILLAGE PHASE IV (ZMA-7-19)
20' TYPE 'B' LANDSCAPE BUFFER S 78°03'43" W 270.72'	15" CPP INV ELEV: 257.44' 15" CPP INV ELEV: 257.44' 15" CPP INV ELEV: 258.64'
Y (TYP.) PIN: 1743-83-6110 KEVIN MATIER D.B. 17717 PG. 590	100 ELEV. 230.44 95 88° 98 86° 11 EL FR 12 EL
	15" CPP INV ELEV: 267.44'
N87°16'50" E 334.89'(TIE)	811 .
PIN: 0789-17-7767 THE BARTON CORPORATION D.B. 5822 PG. 222	Know what's below. Call before you dig.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF KNIGHTDALE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE



Site Legend



Conservation Subdivision

0 Pine Country Lane Knightdale, NC

No. Revision	Date	Appvd.
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Issued for	Date	
Master Plan	March 24	. 2025
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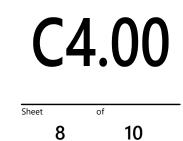
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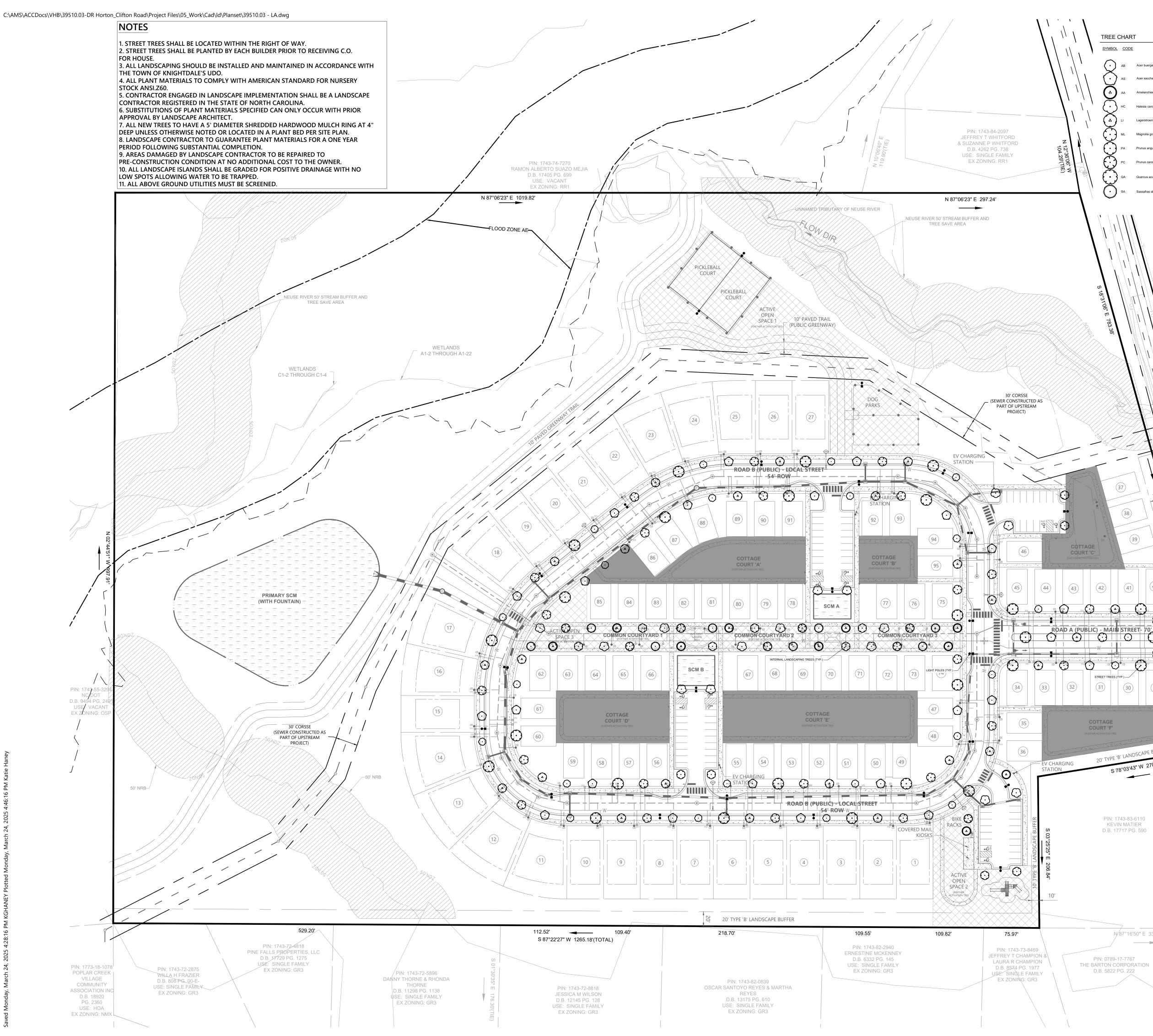
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03/24/2025



Project Number 39510.03

Drawing Number



TREE CHART

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STREET TREES (TYP.) -

COTTAGE COURT 'F'

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20' TYPE 'B' LANDSCAPE BUFFER

S 78°03'43" W 270.72'

N/87°16'50" E 334.89'(TIE)

PIN: 0789-17-7767

D.B. 5822 PG. 222

PIN: 1743-83-6110

KEVIN MATIER

D.B. 17717 PG. 590

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Sassafras albidum / Sassafras

SYMBOL	CODE	BOTANICAL / COMMON NAME	<u>ROOT</u>	MIN INSTALLED SIZE	TYPE	NOTES
\odot	AB	Acer buergerianum / Trident Maple	B&B	2.5" Caliper, 12' Min.	Street Tree	Single Straight Leader - Full and Heavy
\bigcirc	AS	Acer saccharum / Sugar Maple	B&B	2.5" Caliper, 12' Min.	Street Tree	Single Straight Leader - Full and Heavy
\odot	AA	Amelanchier arborea / Downy Serviceberry	B&B	2.5" Caliper, 12' Min.	Internal	Single Straight Leader - Full and Heavy
$\overline{\bigcirc}$	нс	Halesia carolina / Silverbell	B&B	2.5" Caliper, 12' Min.	Internal	Single Straight Leader - Full and Heavy
\odot	LI	Lagerstroemia indica / Crape Myrtle	B&B	2.5" Caliper, 12' Min.	Street Tree	Single Straight Leader - Full and Heavy
(\cdot)	ML	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	B&B	2.5" Caliper, 12' Min.	Street Tree	Single Straight Leader - Full and Heavy
\bigcirc	PA	Prunus angustifolia / Chickasaw Plum	B&B	2.5" Caliper, 12' Min.	Internal	Single Straight Leader - Full and Heavy
\bigcirc	PC	Prunus caroliniana / Carolina Cherry Laurel	B&B	2.5" Caliper, 12' Min.	Internal	Single Straight Leader - Full and Heavy
(·)	QA	Quercus acutissima / Sawtooth Oak	B&B	2.5" Caliper, 12' Min.	Street Tree	Single Straight Leader - Full and Heavy



VHB Engineering NC, P.C. 940 Main Campus Drive Suite 500 Raleigh, NC 27606 919.829.0328 Corp. # C-3705

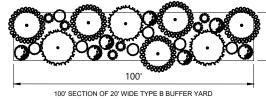
100' SECTION OF 20' WIDE TYPE B BUFFER YARD

2.5" Caliper, 12' Min.

<u>SYMBOL</u> TREES	CODE	BOTANICAL / COMMON NAME	CONT	MATURE WIDTH / HEIGHT	<u>QTY</u>
Ō	CA	CANOPY - Cornus x 'Rutban' / Aurora Flowering Dogwood	2 1/2" Cal. Min.	20'/20'	5
Ō	MG	UNDERSTORY - Magnolia grandiflora / Southern Magnolia	2 1/2" Cal. Min.	10'/15'	3
SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT		<u>QTY</u>
SHRUBS					
AND NO.	IV	llex vomitoria / Yaupon Holly	15 Gal., 5' Ht.	12'-20' / 2-'10'	6
Õ	IE	Ilex x 'Emily Bruner' / Emily Bruner Holly	15 Gal., 5' Ht.	10'-20' / 8'-12'	7
Ŏ	IX	llex x 'Magland' / Oakland™ Holly	15 Gal., 5' Ht.	15' - 20' / 6'-10'	7
-					

Internal

Single Straight Leader Full and Heavy



LEGEND

Active Open Space

Light Pole (typ.)

Passive Open Space

PIN: 1743-83-8409 TROY & RHONDA B EARLY D.B. 8779 PG. 499 USE: SINGLE FAMILY EX ZONING: VACANT

CLIF

FON RD (S.R. 2 60' PUBLIC RIN B.M. 1976 PG. 260 B.M. 1976 PG. 260

Know what's below.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE

WITH CURRENT TOWN OF KNIGHTDALE AND CITY

OF RALEIGH STANDARDS AND SPECIFICATIONS

AND NCDOT, IF APPLICABLE

Call before you dig.

2601)

Site Legend

	50' NEUSE RIVER BUFFER
	PROPERTY LINE
	BUILDING SETBACK
	CONCRETE SIDEWALK
	GREENWAY
	GREENWAY EASEMENT
s	8 FT PRIVACY FENCE

WETLANDS



Clifton Road Conservation Subdivision

0 Pine Country Lane Knightdale, NC

	-		
No.	Revision	Date	Appvd.
Design	ed by VHB	Checked by	DT
Issued	for	Date	

March 24, 2025

Master Plan Review

Landscape Plan

ROFESSION S

OR PERMIT REVIEW ONLY

NOT FOR

CONSTRUCTION

SNGINEER C

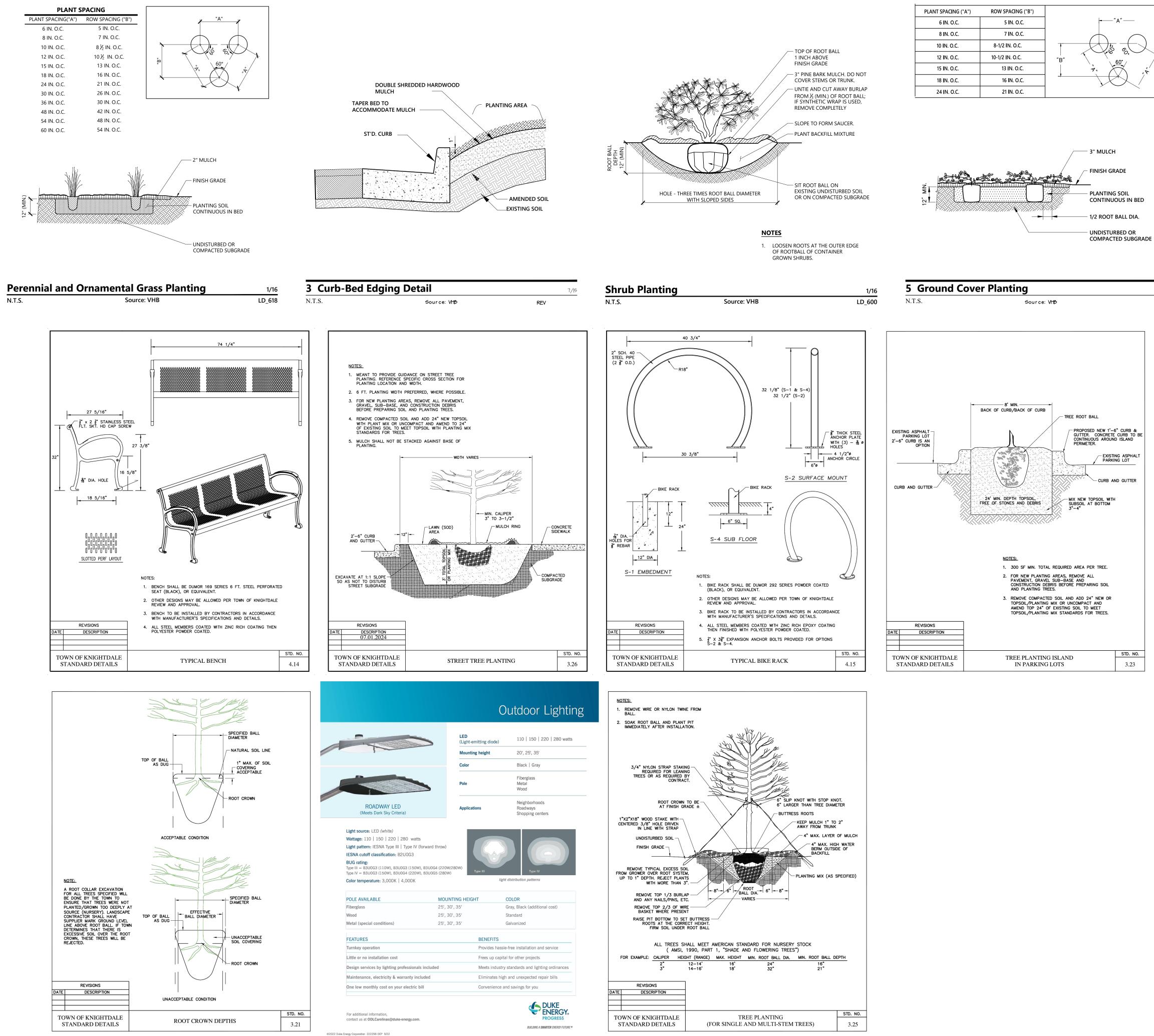
03/24/2025

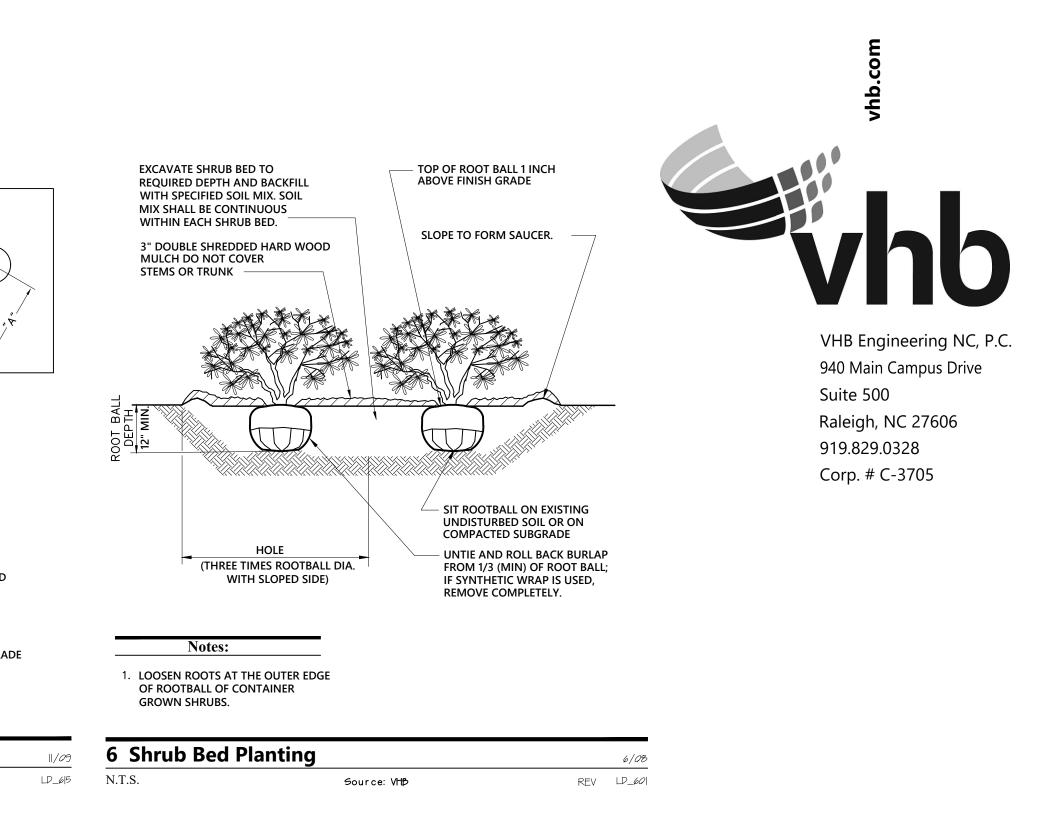


10 9

Project Number 39510.03

Drawing Number





Clifton Road Conservation Subdivision 0 Pine Country Lane

Knightdale, NC lo. Revision Date Appvd.

VHB

Issued for Master Plan Review

Checked by Date

March 24, 2025

Landscape and Lighting

Details

Drawing Number



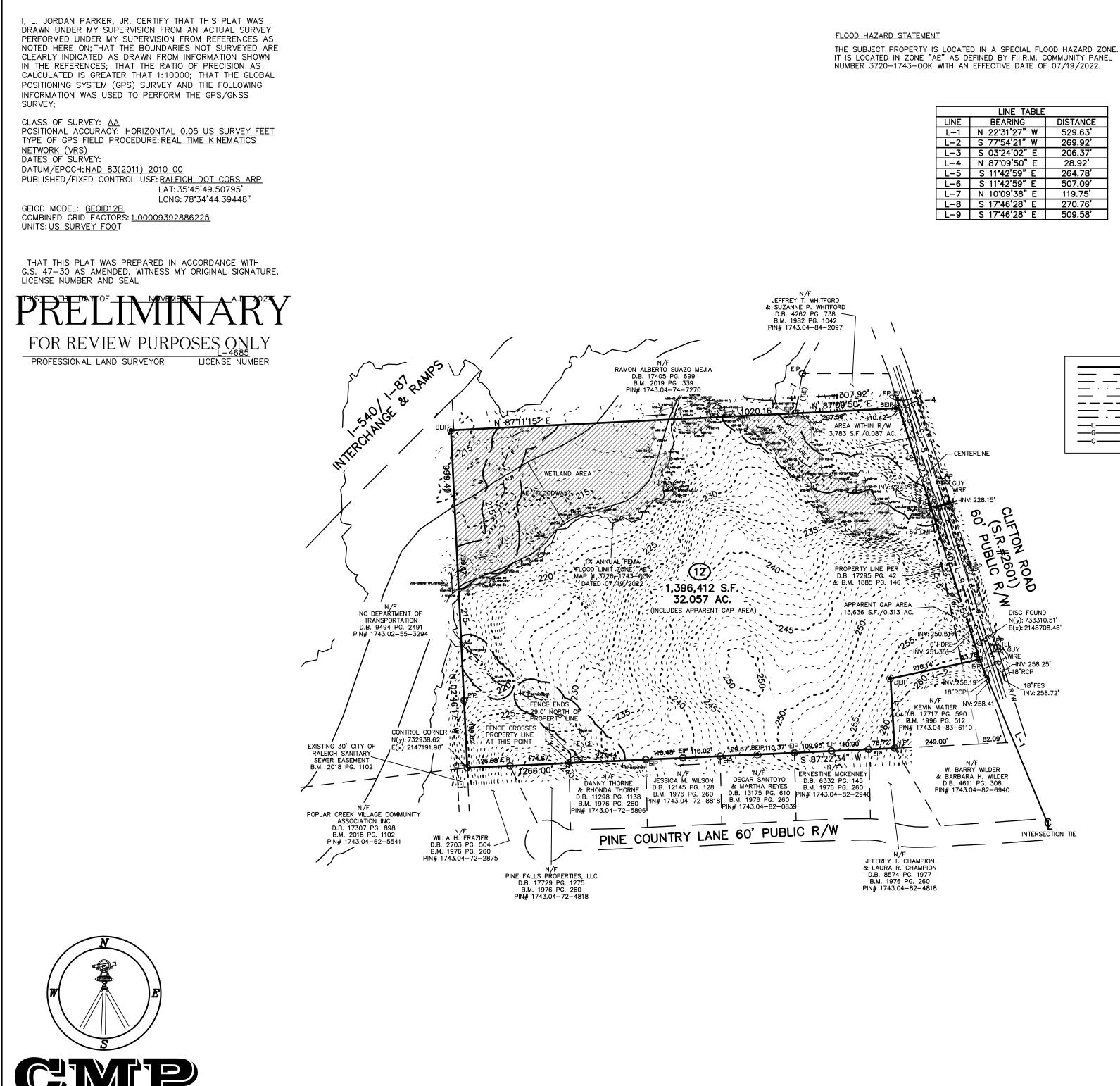
10 10

Know what's below Call before you dig.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT TOWN OF KNIGHTDALE AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE



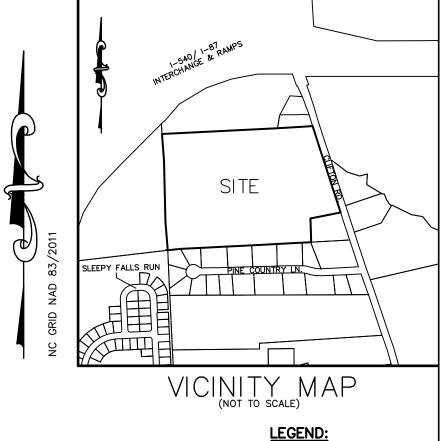




PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148

NUMBER 3720-1743-OOK WITH AN EFFECTIVE DATE OF 07/19/2022.

	LINE TABLE				
LINE	BEARING	DISTANCE			
L-1	N 22°31'27" W	529.63'			
L-2	S 77 ° 54'21" W	269.92'			
L-3	S 03°24'02" E	206.37'			
L-4	N 87°09'50" E	28.92'			
L-5	S 11°42'59" E	264.78 '			
L-6	S 11°42'59" E	507.09'			
L-7	N 10°09'38" E	119.75'			
L-8	S 17 * 46'28" E	270.76'			
L-9	S 17 ° 46'28" E	509.58'			



LINE TYPE LEGEND

PROPERTY LINE - LINE SURVEYED	
RIGHT-OF-WAY	
ADJOINING LINE - LINE NOT SURVEYED	
BUILDING SETBACK	
– — — — EASEMENT	
BUFFER	
· FLOOD HAZARD SOILS	
EEELECTRIC LINE	
Gas Line	

EIP – EXISTING IRON PIPE EIB – EXISTING IRON BAR BEIP - BENT IRON PIPE BEIB - BENT IRON BAR CM - CONCRETE MONUMENT EPK - EXISTING PK NAIL SPK – SET PK NAIL NIP - NEW IRON PIPE SET R/W - RIGHT OF WAY CATV - CABLE TV BOX EB - ELECTRIC BOX TEL - TELEPHONE PEDESTAL PP - POWER POLE OHL - OVERHEAD LINE LP - LIGHT POLE WM - WATER METER WV - WATER VALVE

- CO SEWER CLEAN-OUT CC CONCRETE CB - CATCH BASIN
- MH MANHOLE FH FIRE HYDRANT

NOTES:

- 1. THIS PLAT SUBJECT TO ALL EASEMENTS, AGREEMENTS AND RIGHTS OF WAY OF RECORD PRIOR TO THE DATE OF THIS PLAT.
- 2. UNDERGROUND UTILITIES HAVE BEEN MARKED OR LOCATED FOR THIS PLAT BY GC MAPPING, PLLC (919) 901-5641.
- 3. ALL BEARINGS AND DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS
- 4. ALL ELEVATIONS ARE BASED ON NAVD 88
- 5. ALL CONTOURS ARE AT 1' INTERVALS HIGHLIGHTED EVERY 5'.

6. THIS PROPERTY MAY BE SUBJECT TO NEUSE RIVER RIPARIAN BUFFER RULES. CALL N.C. DIVISION OF WATER QUALITY TO VERIFY (919–791–4200).

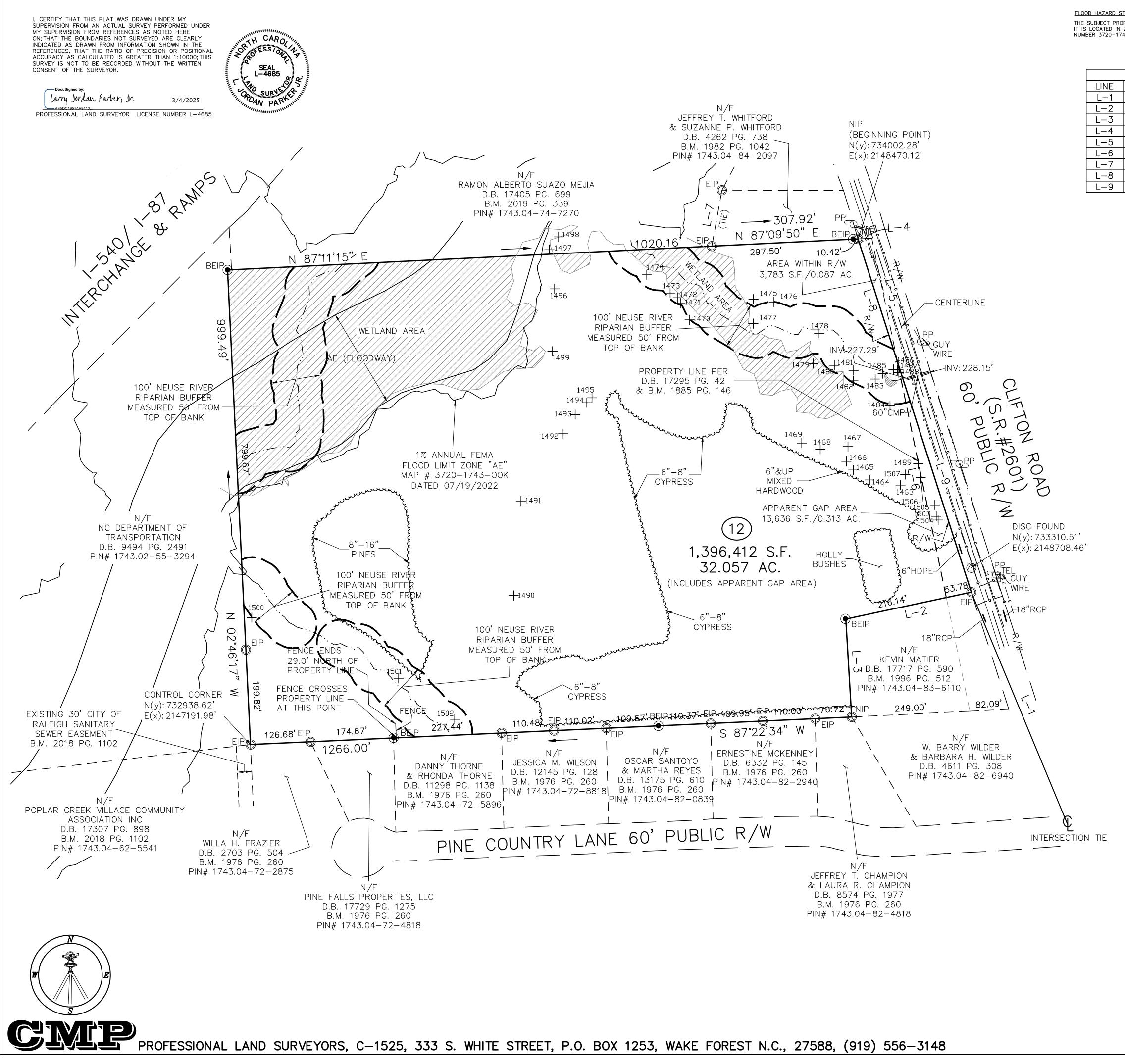
TOPOGRAPHIC SURVEY FOR

D.R. HORTON

CLIFTON ROAD GREATER PORTION FARM LOT 12, THE OAKS OWNER: DAVID JONATHAN ADAMS REF: D.B. 17295 PAGE 42 REF: B.M. 1885 PAGE 146 ST. MATTHEWS TOWNSHIP WAKE COUNTY, NORTH CAROLINA

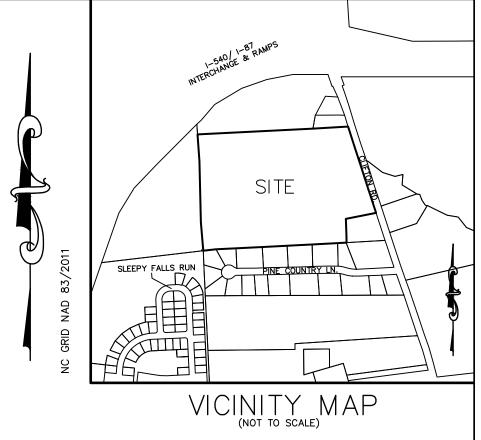
200	100	0	200	400
		SCALE	1"=200'	
	NC	VEMB	ER 11, 2024	

ZONED RR1 PIN #1743.04-73-8469



THE SUBJECT PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "AE" AS DEFINED BY F.I.R.M. COMMUNITY PANEL NUMBER 3720-1743-00K WITH AN EFFECTIVE DATE OF 07/19/2022.

	LINE TABLE				
	BEARING	DISTANCE			
I	22°31'27" W	529.63'			
;	77°54'21" W	269.92'			
\$	03°24'02" E	206.37'			
l	87°09'50" E	28.92'			
5	11°42'59" E	264.78'			
5	11°42'59"E	507.09'			
1	10°09'38"E	119.75'			
5	17°46'28"E	270.76'			
5	17°46'28"E	509.58'			



LEGEND:

EIP - EXISTING IRON PIPE EIB - EXISTING IRON BAR

BEIP - BENT IRON PIPE BEIB - BENT IRON BAR

- CM CONCRETE MONUMENT EPK EXISTING PK NAIL SPK - SET PK NAIL
- NIP NEW IRON PIPE SET R/W - RIGHT OF WAY
- CATV CABLE TV BOX EB – ELECTRIC BOX TEL – TELEPHONE PEDESTAL
- PP POWER POLE OHL OVERHEAD LINE
- LP LIGHT POLE WM - WATER METER
- WV WATER VALVE CO – SEWER CLEAN-OUT CC – CONCRETE CB – CATCH BASIN
- MH MANHOLE FH FIRE HYDRANT

TREE TABLE				
Point	Northing	Easting	SIZE/TREE TYPE	
1463	733484.445	2148559.376	35"BLACKGUM	
1464	733495.287	2148494.345	28"SWEETGUM	
1465	733516.193	2148460.186	28"WHITEOAK	
1466	733534.457	2148445.726	28"SWEETGUM	
1467	733565.602	2148448.919	25"POPLAR	
1468	733559.757	2148390.502	26"POPLAR	
1469	733572.707	2148351.692	29"SWEETGUM	
1470	733832.188	2148115.880	32"REDOAK	
1471	733867.593	2148096.431	31"PINE	
1472	733878.614	2148090.971	29"PINE	
1473	733888.367	2148074.879	39"WILLOWOAK	
1474	733927.006	2148025.580	32"REDOAK	
1475	733875.574	2148250.108	24"POPLAR	
1476	733869.456	2148293.088	45"POPLAR-UNHEALTHY	
1477	733824.205	2148249.775	37"SWEETGUM	
1478	733803.743	2148388.273	46"DOUBLE-POPLAR-UNHEALTHY	
1479	733740.136	2148376.084	24"MAPLE-UNHEALTHY	
1480	733736.328	2148420.362	33"SWEETGUM	
1481	733725.699	2148460.810	31"POPLAR-UNHEALTHY	
1482	733703.870	2148460.159	28"MAPLE	
1483	733707.540	2148506.310	27"POPLAR	
1484	733651.674	2148537.334	28"DOUBLE-POPLAR	
1485	733718.971	2148522.113	28"PINE	
1486	733727.628	2148544.551	25"POPLAR	
1487	733727.015	2148553.048	28"POPLAR	
1488	733721.054	2148555.876	30"POPLAR	
1489	733529.356	2148596.753	44"TRIPLE-POPLAR	
1490	733252.206	2147745.754	27"PINE	
1491	733450.821	2147760.941	32"REDOAK	
1492	733592.574	2147849.738	39"TRIPLE-WHITEOAK	
1493	733632.783	2147874.981	25"SWEETGUM	
1494	733657.863	2147899.553	29"PINE	
1495	733668.193	2147910.405	24"WHITEOAK	
1496	733897.310	2147831.695	24"POPLAR	
1497	733979.629	2147820.691	25"PINE	
1498	734006.625	2147839.998	25"PINE	
1499	733765.929	2147827.369	31"MAPLE	
1500	733205.706	2147194.643	26"DOUBLE-RED OAK	
1501	733077.905	2147503.630	25"SWEETGUM	
1502	732991.760	2147621.551	24"PINE	
1503	733418.744	2148634.695	25"SWEETGUM	
1504	733410.941	2148638.636	24"SWEETGUM	
1505	733442.724	2148631.568	27"SWEETGUM	
1506	733500.243	2148601.803	26"POPLAR	
1507	733506.709	2148569.323	25"POPLAR	

LINE TYPE LEGEND

---- ADJOINING LINE - LINE NOT SURVEYED

----E----E---E-E-ELECTRIC LINE (APPROXIMATE LOCATION)

-----C-----C-----COMMUNICATION (APPROXIMATE LOCATION)

www.www.TREELINE

OVERHEAD LINE
 OVERHEAD LINE
 OVERHEAD LINE
 OVERHEAD LINE

EASEMENT
 EASEMENT
 BUFFER
 FLOOD HAZARD SOILS

PROPERTY LINE - LINE SURVEYED

TREE SURVEY FOR

D.R. HORTON, INC.

CLIFTON ROAD GREATER PORTION FARM LOT 12, THE OAKS OWNER: DAVID JONATHAN ADAMS REF: D.B. 17295 PAGE 42 REF: B.M. 1885 PAGE 146 ST. MATTHEWS TOWNSHIP WAKE COUNTY, NORTH CAROLINA

100	50	0	100	200
			1"=100'	
			I = 100	
R			RUARY 27,	
		ZON	ED RR1	
	PIN	#1743	.04-73-84	69

NOTES:

NCGS VRS GPS.

- 1. BASIS OF BEARINGS IS NORTH CAROLINA GEODETIC SURVEY NAD '83 ADJUSTMENT.
- 2. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES. VERTICAL DATUM IS NAVD '88.
- 3. HORIZONTAL AND VERTICAL DATUM WAS ACQUIRED BY USE OF
- THIS PROPERTY MAY BE SUBJECT TO NEUSE RIVER RIPARIAN BUFFER RULES. CALL N.C. DIVISION OF WATER QUALITY TO VERIFY (919-791-4200).
- UNDERGROUND UTILITIES HAVE BEEN MARKED OR LOCATED FOR THIS PLAT BY GC MAPPING, PLLC (919) 901-5641.