

Ample Storage Center
6839 Knightdale Blvd
Knightdale, NC 27545
Proposed Indoor Self Storage
Proposed +/-28,800 SF, 3-Story Indoor Self-Storage Building
Master Plan Submittal
Comprehensive Plan Consistency
May 21, 2024

General Narrative

Ample Storage Center, located at 6839 Knightdale Blvd, desires to expand their existing facility on the north end of their property (Parcel # 1744868623). Enclosed is the Sketch Plan for review.

The existing facility was developed in two phases. Phase 1 is located at 1107 Great Falls Ct and includes the more traditional one-story exterior storage units. Phase 2 is located at 6839 Knightdale Blvd and includes a multi-story mini-storage building. The proposed development will be the construction of one 29,280 sf, 3-story indoor mini-storage facility (87,840 sf total floor area) at the rear of the property, abutting TRW Electric Supply and the Wake Stone Corporation quarry.

The project area is currently wooded. No other environmental features are present on site. Proposed development is consistent with the existing development on the same parcel. The project area is bounded on two sides by the existing quarry and a third side by the existing on-site development. The final side adjoins TRW Electric Supply and will include preservation of the existing wooded area as part of the requisite screening buffer. The existing and proposed tree lines are shown on the Natural Resources Sketch Plan.

The proposed development will be accessed via the existing Phase 1 entrance at the end of Great Falls Ct. The proposed use will likely not increase traffic demand along the street significantly, and will not require any additional public infrastructure outside of fire protection.

Given that the proposed development matches the existing development on site, and given the adjacent land use and site location, the proposed indoor mini-storage facility fits within the spirit of the Knightdale Comprehensive Plan. Detailed reasonings are discussed below.

Growth Framework Map Consistency

The site is located within existing town limits. The project area is described as a 2-acre section of a 7-acre parcel (zoned MI). Existing development on the property includes 95,600 sf of self-storage (Mini-Warehouses).

Growth & Conservation Map Consistency

The site is located within a Retail place type category. Adjacent land uses, along with the designated place type from the published map are as follows:

- Site: Ample Storage (Retail)
- North & West: Wake Stone Corporation – Knightdale Quarry (Heavy Industrial).
- Northeast: TRW Electric and Supply Company (Retail).
- East: Auto DRS (Light Industrial)
Tractor Supply Company (Retail)
- Southeast: Knightdale Pediatrics (Retail).

The growth map designates the property for commercial development (retail). The proposed development is allowed under the UDO zoning and is consistent with existing development.

Given the location and surrounding uses, the proposed office development is consistent with and promotes the vision of the Growth & Conservation Map.

Trails & Greenways Map Consistency

The site is not located adjacent to any existing or proposed trails, greenways, bicycle routes, parks or open space located within or adjacent to the site, it is consistent with the Trails & Greenways Map.

Street Network Map Consistency

Existing development abuts Knightdale Blvd (NCDOT arterial) and Great Falls Ct. Development will be accessed via the exiting driveway at the end of the cul-de-sac on Great Falls Ct (city). The proposed development (mini-warehouses) will not significantly increase the number of trips along Great Falls Ct. Due to the nature of both the existing and proposed development, pedestrian and bike traffic will be very minimal, if ever. Any increase in vehicular traffic will not pose any risks to either group. The proposed development is consistent with the street network plan.

Transit Network

The project area is not located along any planned transit route. As noted above, demand for transit use will be virtually non-existent for either the existing or proposed uses along Great Falls Ct. The proposed development fits the overall transit network plan.

Focus Area Studies

The project area is not located within any existing Focus Area Study.

Water Allocation

As the proposed development is an expansion of the existing mini-storage facility, no new office/residential facilities are included. Customers will have access to bathroom facilities in the Phase 2 building. No water connections will be used to provide any janitorial services. Submitted plans show only a fire line as part of development. No water demand will be needed to be allocated for the proposed development.

CIVIL ENGINEER

Rivers & Associates, INC.
Greenville, NC



107 East Second Street
Greenville, NC 27858
(252) 752-4135

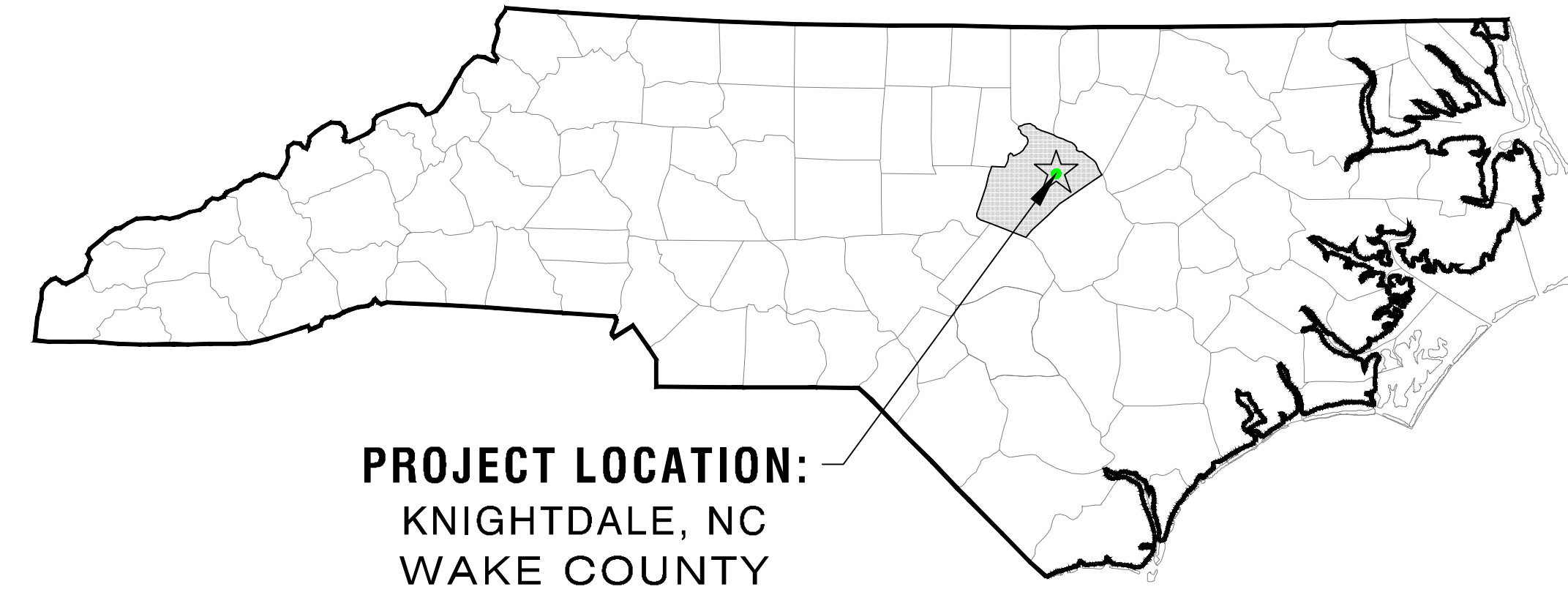
Contact: MATTHEW J. PROKOP, PE
mprokop@riversandassociates.com

OWNER/DEVELOPER

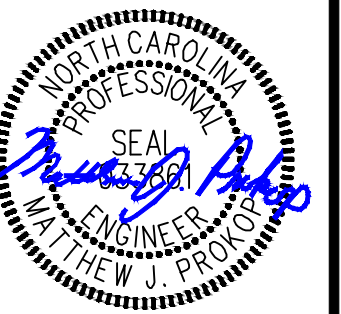
AMPLE STORAGE LAKE
WORTH LLC

P.O. BOX 608
SMITHFIELD, NC 27577-0608

Contact:



PROJECT LOCATION:
KNIGHTDALE, NC
WAKE COUNTY



MASTER PLAN

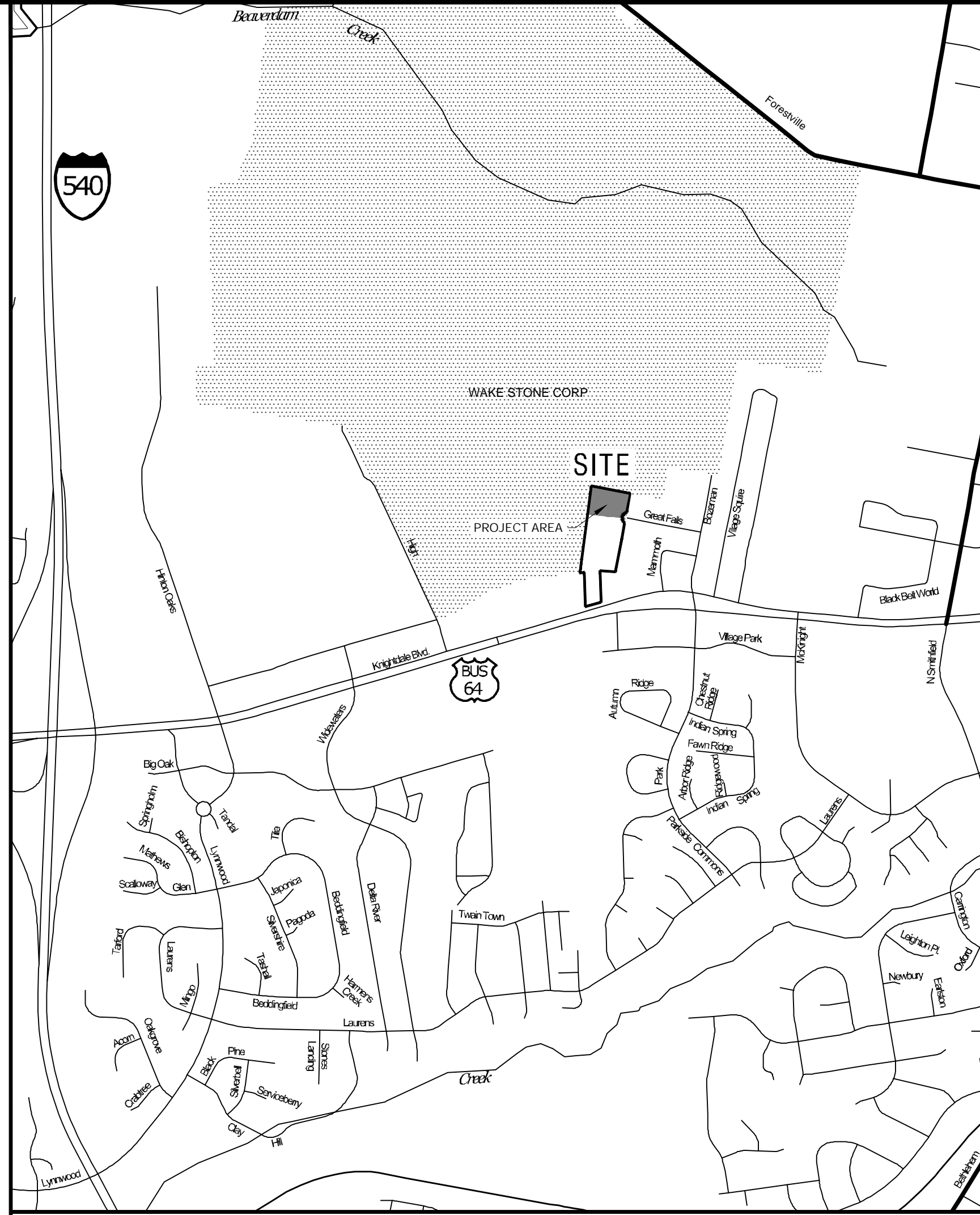
AMPLE STORAGE LAKE

EXPANSION

REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	

SITE DATA	
SITE ADDRESS PHASE 1:	1107 GREAT FALLS COURT KNIGHTDALE, NORTH CAROLINA 27545
SITE ADDRESS PHASE 2:	6839 KNIGHTDALE BLVD. KNIGHTDALE, NORTH CAROLINA 27545
MUNICIPALITY:	ST. MATTHEWS
PARCEL NO.:	1744868623
DEED REFERENCE:	DB 15706, PG 63
AREA IN SITE:	6.98 ACRES (+/- 303,818 SF)
ZONING / LAND USE CLASSIFICATION:	GENERAL COMMERCIAL - HB & MI
EXISTING/PROPOSED USE:	MINI-WAREHOUSES
WATERSHED:	27-29- BEAVERDAM CREEK
RECEIVING STREAM:	C, NSW
TOTAL BUILDING SQUARE FOOTAGE:	95,640 SF EXIST + 87,840 NEW = 183,480 TOTAL SF
BUILDING HEIGHT:	EXISTING = 1 @ 30' (3-STORY), 7 @ 10' (1-STORY) PROPOSED = 30' (3 STORY)
TOTAL NUMBER OF STORAGE UNITS:	EXISTING = -750 PROPOSED = 977
IMPERVIOUS AREA	
EXISTING BUILDINGS FOOTPRINT:	62,611 SF
EXISTING CONCRETE:	4,197 SF
EXISTING ASPHALT PARKING:	87,965 SF
TOTAL EXISTING IMPERVIOUS AREA:	154,773 SF (3.55 ACRES)
EXISTING:	50.9 %
PROPOSED BUILDING FOOTPRINT:	
PROPOSED CONCRETE:	29,280 SF
TOTAL PROPOSED IMPERVIOUS AREA:	15,752 SF
	45,032SF (1.03ACRES)
TOTAL IMPERVIOUS AREA:	
TOTAL POST DEVELOPMENT:	199,805 SF (4.59 ACRES)
	65.8 %
PARKING SUMMARY	
EXISTING REQUIREMENTS	MAXIMUM - .25 PER 1,000 SF (95,645 SF) = 23.9 SPACES
MINI-STORAGE:	MINIMUM - 1/2 OF MAXIMUM() = 12 SPACES
PROPOSED REQUIREMENTS	MAXIMUM - .25 PER 1,000 SF (87,840 SF) = 22 SPACES
MINI-STORAGE:	MINIMUM - 1/2 OF MAXIMUM() = 11 SPACES
TOTAL PARKING SPACES REQUIRED:	23
TOTAL EXISTING PARKING SPACES:	12
NEW PARKING SPACES REQUIRED:	11
NEW PARKING SPACES PROVIDED:	17
TOTAL PARKING SPACES PROVIDED:	29
EXISTING H/C PARKING SPACES:	2
H/C PARKING SPACES REQUIRED:	1
TOTAL H/C PARKING SPACES PROVIDED:	3
TOTAL BICYCLEPARKING REQUIRED:	2
TOTAL BICYCLEPARKING PROVIDED:	2



Vicinity Map

SCALE: 1" = 1000'

SHEET INDEX	
Sheet Number	Sheet Title
C1.01	COVER SHEET
C1.11	BOUNDARY SURVEY
C1.12	NATURAL RESOURCES MASTER PLAN
C1.21	EXISTING CONDITIONS OVERALL
C1.22	EXISTING CONDITIONS - PROJECT AREA
C2.01	MASTER PLAN OVERALL
C2.10	MASTER PLAN - PROJECT AREA
C2.51	SITE DETAILS
C2.52	DRAFT BUILDING ELEVATIONS
C2.53	DRAFT BUILDING ELEVATION - OFFSITE VIEW 1
C2.54	DRAFT BUILDING ELEVATION - OFFSITE VIEW 2
C3.01	UTILITY PLAN
C4.01	GRADING & STORMWATER MANAGEMENT PLAN
C4.02	STORMWATER DETAILS
C5.01	SEDIMENTATION & EROSION CONTROL PLAN
C5.11	SEDIMENTATION & EROSION CONTROL NOTES
C5.21	SEDIMENTATION & EROSION CONTROL DETAILS
C5.22	SEDIMENTATION & EROSION CONTROL DETAILS
C6.41	PAVEMENT MARKING, SIGNAGE & TRAFFIC CONTROL PLAN
L1.01	LANDSCAPING PLAN
L2.01	LANDSCAPING DETAILS
SL1.01	SITE LIGHTING PLAN - OVERALL

GENERAL NOTES:

- PROPOSED USE (MINI-WAREHOUSES) WILL REQUIRE CONDITIONAL DISTRICT REZONING PER UDO SECTION 3.1.C.6.I
- PROPOSED BUILDING ELEVATIONS REQUIRE VARIANCE FROM TOWN OF KNIGHTDALE
- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE TOWN OF KNIGHTDALE AND THE ENGINEER.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS.
- CONTRACTOR MUST NOTIFY ONE CALL CENTER, INC (NC ONE CALL) 1-800-632-4949 AT LEAST 72 HOURS PRIOR TO THE START OF EXCAVATION OR TRENCHING TO HAVE ALL UNDERGROUND UTILITIES LOCATED.
- CONTACT TOWN OF KNIGHTDALE AT 919-217-2255 TO SCHEDULE PRE-CONSTRUCTION MEETING WITH GRADING CONTRACTOR, EROSION CONTROL ADMINISTRATOR, PROJECT ENGINEER AND OWNER. NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING ALL APPROPRIATE AUTHORITIES TO THE DATE OF SAID ACTIVITY.
- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). THIS PROPERTY IS LOCATED IN ZONE X, AS SHOWN ON FIRM PANEL NUMBER 3720174400K, DATED JULY 19, 2022.
- WETLANDS AND PONDS, IF PRESENT, ARE DENOTED ON THE SURVEY. NO IMPACTS TO WETLANDS ARE ANTICIPATED.
- PLEASE BE ADVISED TO OF THE RULES WHICH PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE AND TARPAMLICO RIVER BASINS. THIS RULE IS ENFORCED BY THE DIVISION OF WATER QUALITY (DWO). DIRECT ANY QUESTIONS ABOUT THE APPLICABILITY OF THIS RULE TO THE RALEIGH REGIONAL OFFICE. (919) 791-4200
- NEW BUILDINGS MUST COMPLY WITH NC FIRE CODE SECTION 510 - EMERGENCY RESPONDER RADIO COVERAGE. FIRE DEPARTMENT VEHICULAR ACCESS TO ALL STRUCTURES UNDER CONSTRUCTION SHALL BE PROVIDED AT ALL TIMES.
- CONTRACTOR TO FURNISH ALL PAVEMENT MARKINGS AS SHOWN
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE POINTS.
- SITE LIGHTING IS TO BE INSTALLED WITH COORDINATION BETWEEN CONTRACTOR, OWNER/DEVELOPER AND DUKE ENERGY.
- COPIES OF ALL PERMITS AND APPROVED PLANS MUST BE KEPT ON SITE IN A PERMIT BOX THAT IS CONSPICUOUSLY LOCATED AND EASILY ACCESSIBLE DURING CONSTRUCTION. THIS INCLUDES APPROVED CONSTRUCTION PLANS, APPROVED EROSION CONTROL PLANS, ENCROACHMENT AGREEMENTS, DRIVEWAY PERMITS, WATER/S.S. PERMITS, ETC.
- OUTDOOR STORAGE IS PROHIBITED PER UDO SECTION 5.7.G.1.
- WATER ALLOCATION POLICY COMPLIANCE: NEW DEVELOPMENT WILL ONLY INCLUDE A FIRE LINE. NO DOMESTIC SERVICE IS NEEDED.

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
Administrator

IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN THESE CONSTRUCTION DRAWINGS AND THE TOWN OF KNIGHTDALE'S APPROVED STANDARDS FOR THIS PROJECT, THE APPROVED STANDARDS SHALL CONTROL. TOWN OF KNIGHTDALE APPROVED STANDARDS SHALL MEAN ALL DEVELOPMENT DOCUMENTS NECESSARY FOR APPROVAL FOR THE PROPERTY INCLUDING, BUT NOT LIMITED TO, ANY SPECIAL USE PERMIT, SUBDIVISION PLAN, SITE PLAN, SUBDIVISION PLATS), PHASING SCHEDULE, DEVELOPMENT AGREEMENT, UTILITY ALLOCATION AGREEMENT, ANNEXATION AGREEMENT, THE TOWN OF KNIGHTDALE STANDARD SPECIFICATION AND DETAILS MANUAL AND APPLICABLE PROVISIONS OF THE NORTH CAROLINA STATE BUILDING CODE.

Professional Design Engineer Certification. These improvements shall be constructed in accordance with the following drawings and with the Standard Specifications of the Town of Knightdale.

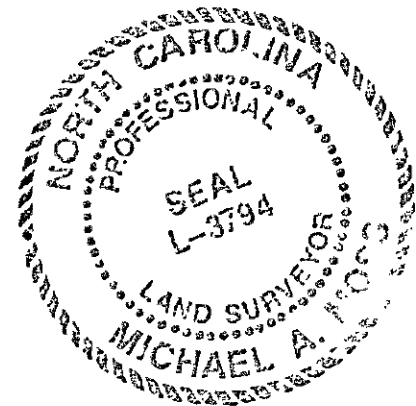
I, _____ PE, certify that the Standard Specifications of the Town of Knightdale have been thoroughly checked and found to be applicable to this project. All exceptions to the applicable Town standards have been previously approved by the Town of Knightdale and said exceptions are shown on Sheet(s) _____ of these drawings.

Seal By: _____, PE
Date: _____

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

DATE: MAY 22, 2024
DESIGNED BY: MJP
DRAWN BY: EDN
CHECKED BY: JSJ
PROJECT NO. 2023008
DRAWING NO. W-4073-MP
SCALE: AS NOTED
SHEET NO. C1.01

I, MICHAEL A. MOSS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THE SOURCE OF INFORMATION FOR THE SURVEY IS SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED; THAT THE RATIO OF PRECISION IS GREATER THAN 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600). WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL



Michael A. Moss
PROFESSIONAL LAND SURVEYOR (L-3794)

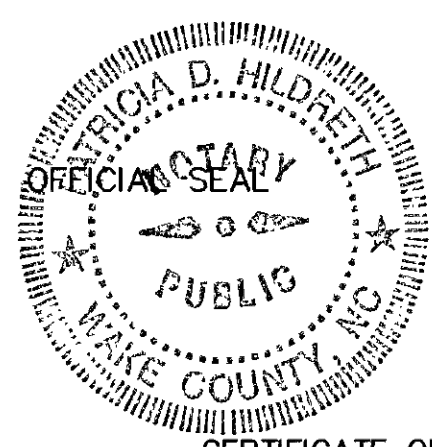
CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED, WHICH IS LOCATED IN THE SUBDIVISION JURISDICTION OF THE TOWN OF KNIGHTDALE AND THAT I HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY FREE CONSENT, ESTABLISH MINIMUM BUILDING SETBACK LINES, PRESERVE AND PROTECT ALL SOILS AND VEGETATION IN THE TREE PROTECTION AREAS AS REQUIRED IN SECTION 8.5 OF THE TOWN OF KNIGHTDALE UNIFIED DEVELOPMENT ORDINANCE, PLANT SUPPLEMENTARY OR REPLACEMENT TREES AS REQUIRED, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER SITES AND EASEMENTS, TO PUBLIC OR PRIVATE USES AS NOTED. FURTHERMORE, I HEREBY DEDICATE ALL SANITARY SEWER, STORM SEWER, AND WATER LINES THAT ARE LOCATED IN PUBLIC UTILITY EASEMENTS OR RIGHTS-OF-WAY TO THE CITY OF RALEIGH, AND I HEREBY DEDICATE ALL STORM SEWER LINES THAT ARE LOCATED IN PUBLIC UTILITY EASEMENTS OR RIGHTS-OF-WAY TO THE TOWN OF KNIGHTDALE.

1-25-2017 *Ample Storage Lake Worth LLC*
DATE OWNER(S)

I, *Patricia D. Hildreth*, DO HEREBY CERTIFY

THAT *Guy Lampe* PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THE DUE EXECUTION OF THIS CERTIFICATE. WITNESS MY HAND AND (WHERE AN OFFICIAL SEAL IS REQUIRED BY LAW) OFFICIAL SEAL THIS 25 DAY OF Jan, A.D., 2017 (YEAR)



Patricia D. Hildreth
NOTARY
09/27/2021
COMMISSION EXPIRES

CERTIFICATE OF APPROVAL FOR RECORDING

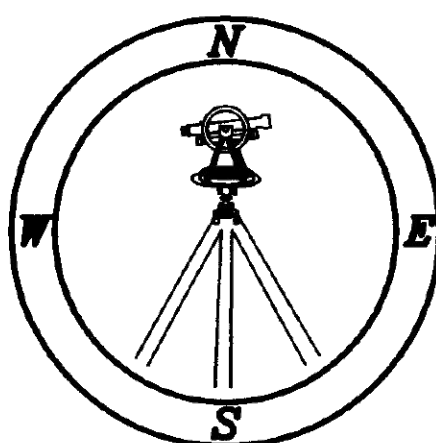
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN IS EXEMPT FROM THE SUBDIVISION PROVISIONS OF THE UNIFIED DEVELOPMENT ORDINANCE FOR THE TOWN OF KNIGHTDALE, NORTH CAROLINA, AND IS THEREFORE EXEMPT FROM ITS PROVISIONS. THE PLAT HAS BEEN FOUND TO COMPLY WITH THE ZONING REGULATIONS OF THE UNIFIED DEVELOPMENT ORDINANCE FOR THE TOWN OF KNIGHTDALE, NORTH CAROLINA, AND HAS BEEN APPROVED BY THE TOWN OF KNIGHTDALE FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS OF WAKE COUNTY.

2/10/17 *[Signature]*
DATE ADMINISTRATOR, TOWN OF KNIGHTDALE

REVIEW OFFICER CERTIFICATION

I, *Jennifer Curran*, REVIEW OFFICER OF WAKE COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL THE STATUTORY REQUIREMENTS FOR RECORDING.

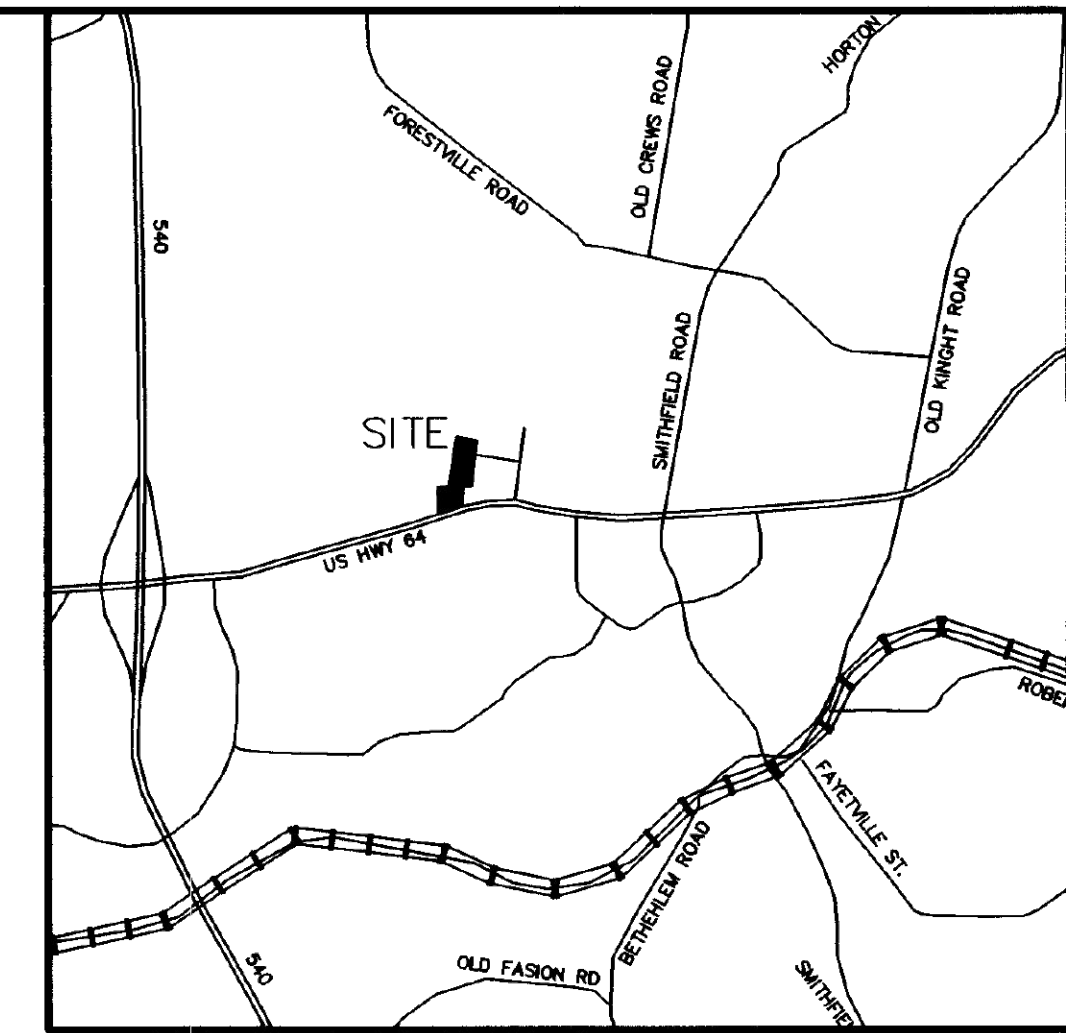
2.10.17 *Jennifer Curran*
DATE REVIEW OFFICER, TOWN OF KNIGHTDALE, WAKE COUNTY



CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148

LINE	LENGTH	BEARING
L-1	141.12'	N 85°53'01" W
L-3	42.02'	N 84°35'44" E
L-4	58.39'	N 39°38'36" W

CURVE	LENGTH	RADIUS	CHORD	BEARING
C-1	61.61'	55.00'	58.44'	S 42°54'26" W
C-2	61.51'	55.00'	58.36'	S 21°13'27" E



VICINITY MAP

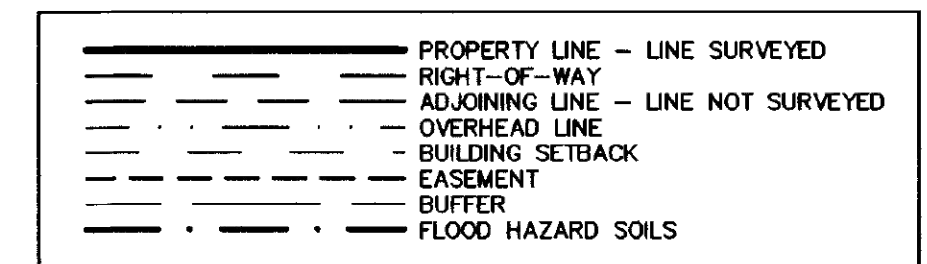
EASEMENT LINE TABLE

LINE	LENGTH	BEARING
EL-1	10.34'	N 73°31'12" E
EL-2	95.34'	N 01°43'54" W
EL-3	53.04'	N 22°31'01" E
EL-4	104.59'	N 01°36'11" W
EL-5	51.82'	N 68°07'32" E
EL-6	63.07'	N 85°13'41" E
EL-7	53.22'	S 01°46'35" E
EL-8	91.85'	N 84°35'44" E
EL-9	51.25'	S 00°17'28" W
EL-10	29.94'	S 68°07'32" W
EL-11	109.42'	S 01°36'11" E
EL-12	53.05'	S 22°31'01" W
EL-13	100.12'	S 01°43'54" E
EL-14	72.24'	S 01°36'11" E
EL-15	84.97'	S 26°13'12" E
EL-16	48.18'	S 01°55'22" W
EL-17	189.56'	S 06°03'46" W
EL-18	107.89'	S 06°03'46" W
EL-19	26.80'	S 83°17'45" E
EL-20	81.19'	S 06°41'32" E
EL-21	178.73'	S 08°27'21" W
EL-22	36.84'	S 03°38'40" W
EL-23	42.45'	S 01°55'22" W
EL-24	60.32'	S 26°13'12" E
EL-25	94.74'	S 01°36'11" E

LEGEND:

- EIP - EXISTING IRON PIPE
- EPK - EXISTING PK NAIL
- NIP - NEW IRON PIPE SET
- R/W - RIGHT OF WAY
- CATV - CABLE TV BOX
- EB - ELECTRIC BOX
- TEL - TELEPHONE PEDESTAL
- PP - POWER POLE
- OHL - OVERHEAD LINE
- LP - LIGHT POLE
- WM - WATER METER
- WV - WATER VALVE
- CO - SEWER CLEAN-OUT
- SCP - SECURITY CAMERA POLE

LINE TYPE LEGEND



FINAL PLAT FOR NEW STORMWATER BMP MAINTENANCE & ACCESS

AMPLE STORAGE LAKE WORTH, LLC

OWNER: AMPLE STORAGE LAKE WORTH, LLC

- REF: D.B. 15706 PAGE 63
- REF: B.M. 2005 PAGE 450
- REF: B.M. 2013 PAGE 683
- REF: B.M. 2015, PAGE 400

ST. MATTEWS TOWNSHIP
WAKE COUNTY, NORTH CAROLINA



SCALE 1"=100'

- DECEMBER 15, 2014
- REVISED MAY 25, 2016
- REVISED DECEMBER 1, 2016
- REVISED JANUARY 16, 2017
- REVISED JANUARY 17, 2017

ZONED HB & MI
PIN # 1744-86-8623

EX-10-16
ZCP-7-14

WAKE COUNTY, NC 94
LAURA M RIDDICK
REGISTER OF DEEDS
PRESENTED & RECORDED ON
02/15/2017 10:24:13
BOOK: BH2017 PAGE: 00308

I, MICHAEL A. MOSS, PROFESSIONAL LAND SURVEYOR NO. L-3794, CERTIFY THAT THIS PLAT IS OF A SURVEY OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

Michael A. Moss
MICHAEL A. MOSS, PROFESSIONAL LAND SURVEYOR NO. L-3794



Matthew J. Anker

REVISIONS:	
NO.	DESCRIPTION
1	IMASTER PLAN - FIRST SUBMITTAL

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTEWS TWP. - WAKE CO. - NORTH CAROLINA
BOUNDARY SURVEY

DATE:	MAY 22, 2024
DESIGNED BY:	MJP
DRAWN BY:	EDN
CHECKED BY:	JSJ
PROJECT NO.:	2023008
DRAWING NO.:	W-4073-MP
SCALE:	NOT TO SCALE
SHEET NO.:	C1.11

P:\LANDDEV\AMPE-AMPE_SITING\DRAWING\202308\CADD_DRAWINGS\MASTER PLAN\W-4073 NATURAL RESOURCES.DWG - LAYOUT1 - 5/21/2024 10:30:20 AM - HATT PROTOP

NOTES: PER UDO SECTION 7.4.H.1 ALL TREES GREATER THAN 24" DBH SHALL REMAIN UNDISTURBED. OR REPLACEMENT TREES SHALL BE PLANTED AT A RATE OF 1 TREE PER 12" DBH. AND SHOULD BE INCORPORATED INTO OPEN SPACE AMENITIES WHEREVER POSSIBLE.

NC License # 20324
Rivers
 & ASSOCIATES, INC.
 Since 1918
 L I V E R S . A N D . A S S O C I A T E S . C O M
 107 East Second Street
 Greenville, NC 27658
 (252) 752-4135
 Engineers
 Planners
 Surveyors
 Landscape Architects

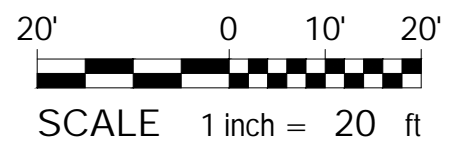


REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	IMASTER PLAN - FIRST SUBMITTAL	05/21/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
NATURAL RESOURCES
MASTER PLAN

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No.
C1.12



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

N/F
 AMPLE STORAGE LAKE WORTH LLC
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE M1
 USE TYPE MINWHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

S 42°54'11" W
 CH. = 58.43
 R. = 55.00

N 21°13'43" W
 CH. = 58.37
 EXISTING HEDGES
 RETAINED

N 73°35'53" E
 8056.05'

S 10°49'06" W
 148.07'

S 78°58'36" E
 365.85'

S 10°49'06" W
 176.65'

P:\LANDDEV\LAMPE\AMPE_C121\KIGHTDALE_2023008\CADD_DWG\SHEETS\MASTER PLAN\W-4073\EXISTING.CONDITION.DWG - LAYOUT1 - 5/21/2024 2:24:26 PM - MATI.PRODIP



Rivers
 & ASSOCIATES, INC.
 Since 1918
 riversandassociates.com
 107 East Second Street
 Greenville, NC 27658
 (252) 752-4135

Engineers
 Planners
 Surveyors
 Landscape Architects

REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	1M MASTER PLAN - FIRST SUBMITTAL	06/21/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWPSP. - WAKE CO. - NORTH CAROLINA
EXISTING CONDITIONS OVERALL

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1"=40'
 SHEET No. **C1.21**

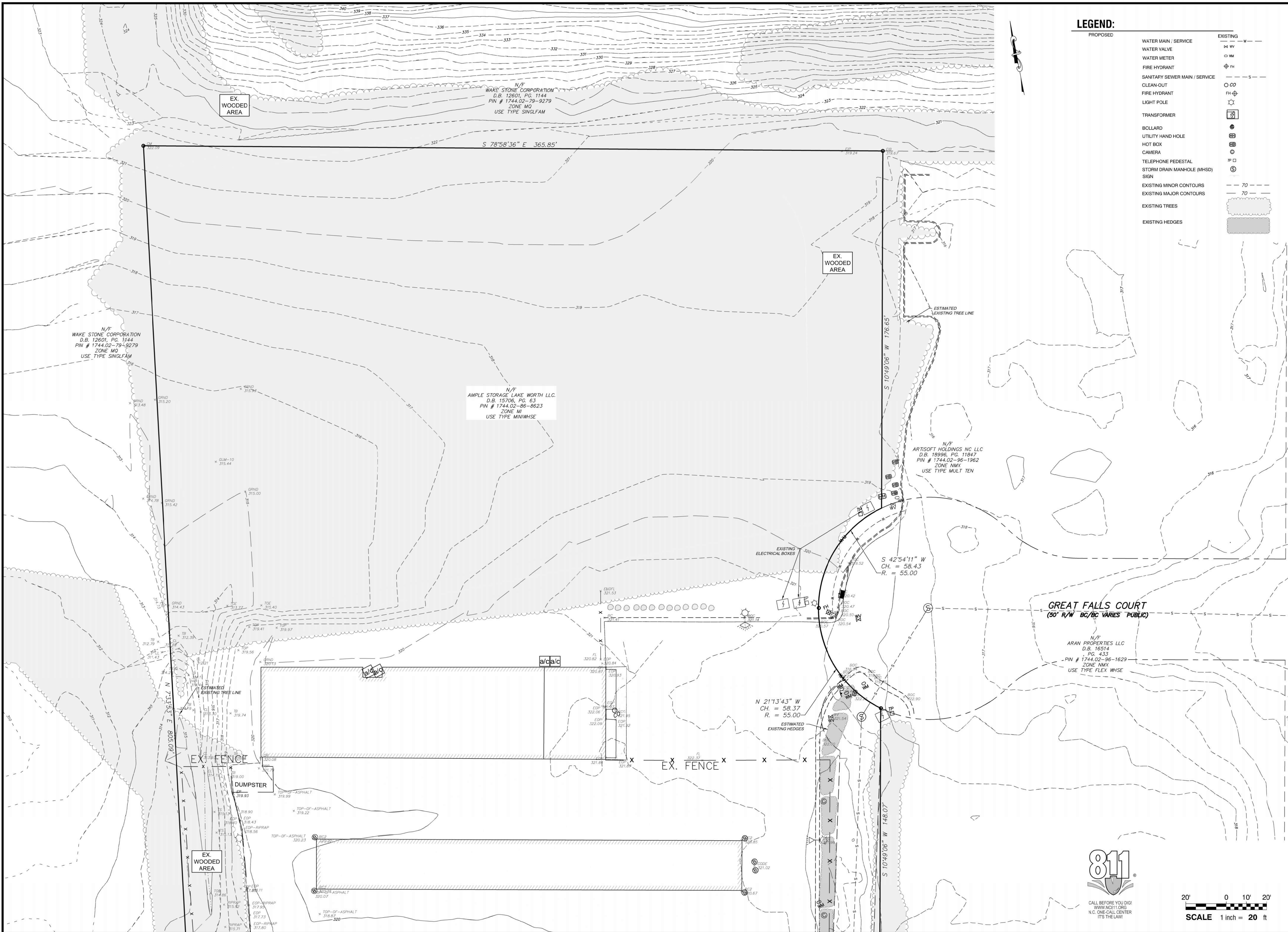


CALL BEFORE YOU DIG!
 WWW.811.ORG
 N.C. ONE-CALL CENTER
 IT'S THE LAW!



Do Not Use for Construction - PRELIMINARY

P:\1\PROJECTS\2023008\CADD\DWGS\DWGS\MASTER PLAN\W-4073\EXISTING.CONDITION.DWG - LAYOUT 2 - 5/21/2024 2:24:26 PM - MATI PRGRP



LEGEND:

PROPOSED	EXISTING
WATER MAIN / SERVICE	W
WATER VALVE	WV
WATER METER	WM
FIRE HYDRANT	PH
SANITARY SEWER MAIN / SERVICE	S
CLEAN-OUT	CO
FIRE HYDRANT	FH
LIGHT POLE	LP
TRANSFORMER	TR
BOLLARD	B
UTILITY HAND HOLE	UH
HOT BOX	HB
CAMERA	CA
TELEPHONE PEDESTAL	TP
STORM DRAIN MANHOLE (MHSD)	SM
SIGN	SI
EXISTING MINOR CONTOURS	70
EXISTING MAJOR CONTOURS	70
EXISTING TREES	(Tree symbol)
EXISTING HEDGES	(Hedge symbol)

Rivers
NC License # 43034
 & ASSOCIATES, INC.
Since 1918
 riversandassociates.com
 107 East Second Street
 Greenville, NC 27658
 (252) 752-4135

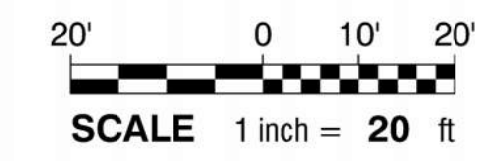
Engineers
 Planners
 Surveyors
 Landscape Architects

REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	1 MASTER PLAN - FIRST SUBMITTAL	06/21/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
EXISTING CONDITIONS
- PROJECT AREA

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1"=40'
 SHEET No. **C1.22**





REVISIONS:

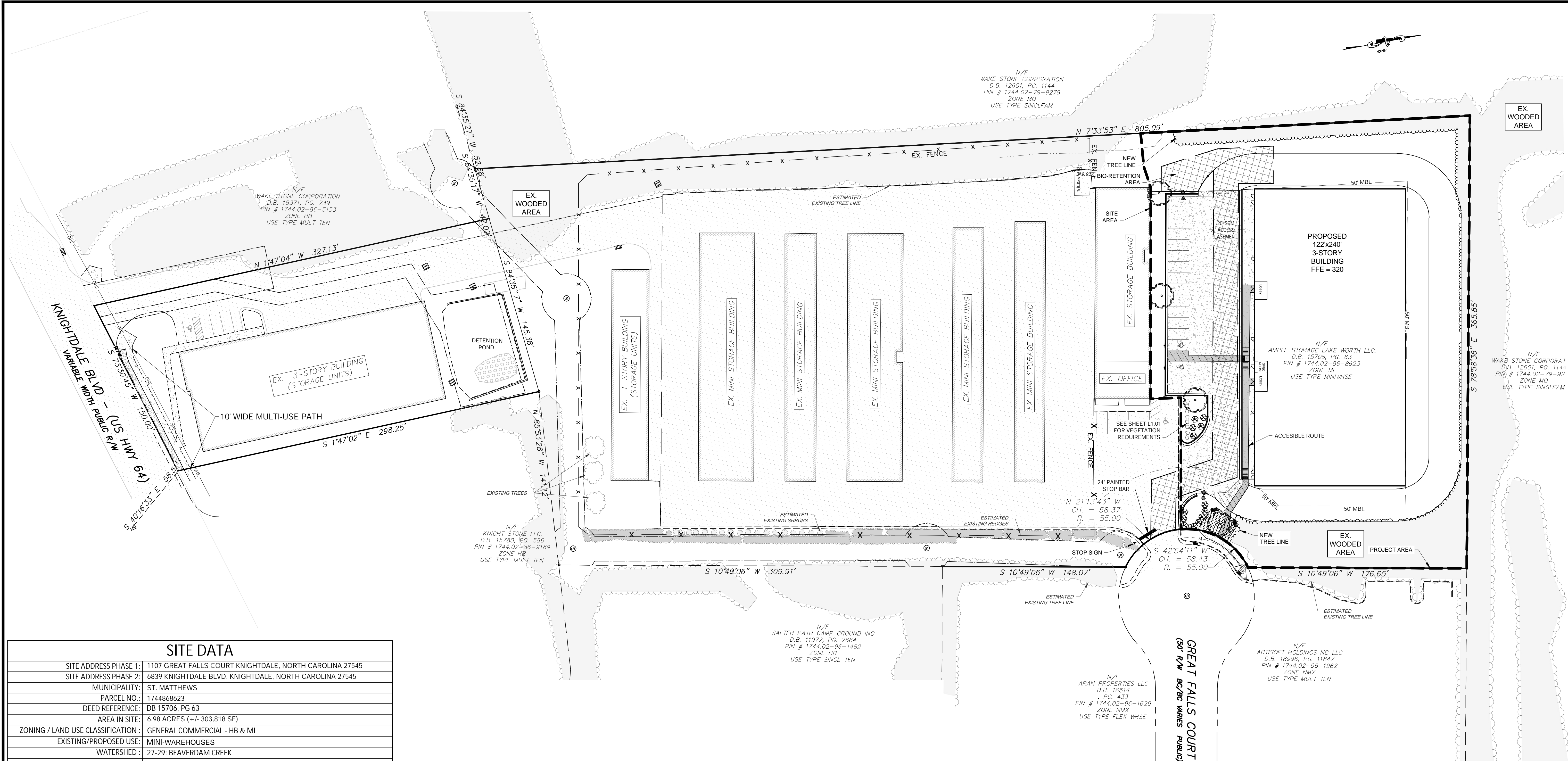
NO.	DESCRIPTION	DATE	BY
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	

MASTER PLAN OVERALL

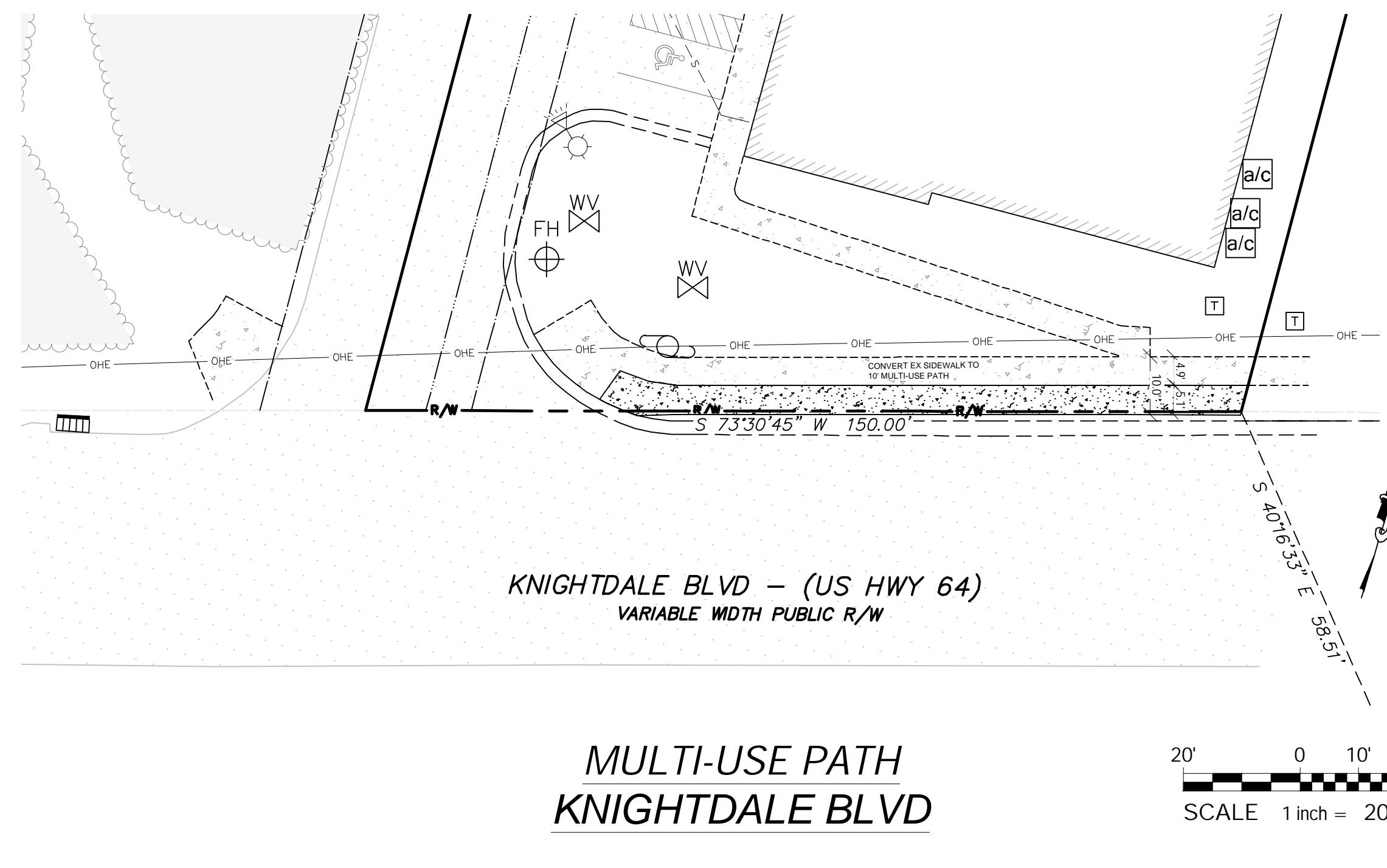
NO.	DESCRIPTION	DATE	BY
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT NO. 2023008
 DRAWING NO. W-4073-MP
 SCALE: AS NOTED
 SHEET NO. C2.01

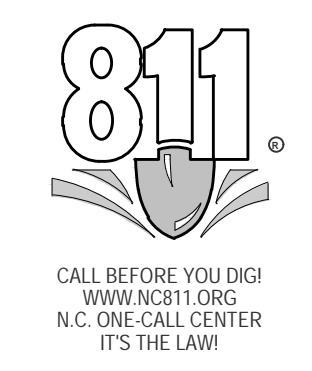


SITE DATA	
SITE ADDRESS PHASE 1:	1107 GREAT FALLS COURT KNIGHTDALE, NORTH CAROLINA 27545
SITE ADDRESS PHASE 2:	6839 KNIGHTDALE BLVD. KNIGHTDALE, NORTH CAROLINA 27545
MUNICIPALITY:	ST. MATTHEWS
PARCEL NO.:	1744868623
DEED REFERENCE:	DB 15706, PG. 63
AREA IN SITE:	6.98 ACRES (+/- 303,818 SF)
ZONING / LAND USE CLASSIFICATION:	GENERAL COMMERCIAL - HB & MI
EXISTING/PROPOSED USE:	MINI-WAREHOUSES
WATERSHED:	27-29: BEAVERDAM CREEK
RECEIVING STREAM:	C. NSW
TOTAL BUILDING SQUARE FOOTAGE:	95,640 SF EXIST + 87,840 NEW = 183,480 TOTAL SF
BUILDING HEIGHT:	EXISTING = 1 @ 30' (3-STORY), 7 @ 10' (1-STORY) PROPOSED = 30' (3 STORY)
TOTAL NUMBER OF STORAGE UNITS:	EXISTING = 750 PROPOSED = 977
EXISTING BUILDINGS FOOTPRINT:	62,611 SF
EXISTING CONCRETE:	4,197 SF
EXISTING ASPHALT PARKING:	87,965 SF
TOTAL EXISTING IMPERVIOUS AREA:	154,773 SF (3.55 ACRES)
EXISTING:	50.9%
PROPOSED BUILDING FOOTPRINT:	29,280 SF
PROPOSED CONCRETE:	15,752 SF
TOTAL PROPOSED IMPERVIOUS AREA:	45,032 SF (1.03 ACRES)
TOTAL IMPERVIOUS AREA:	199,805 SF (4.59 ACRES)
TOTAL POST DEVELOPMENT:	65.8%
PARKING SUMMARY	
EXISTING REQUIREMENTS	MAXIMUM - .25 PER 1,000 SF (95,645 SF) = 23.9 SPACES
MINI-STORAGE:	MINIMUM - 1/2 OF MAXIMUM = 12 SPACES
PROPOSED REQUIREMENTS	MAXIMUM - .25 PER 1,000 SF (87,840 SF) = 22 SPACES
MINI-STORAGE:	MINIMUM - 1/2 OF MAXIMUM = 11 SPACES
TOTAL PARKING SPACES REQUIRED:	23
TOTAL EXISTING PARKING SPACES:	12
NEW PARKING SPACES REQUIRED:	11
NEW PARKING SPACES PROVIDED:	17
TOTAL PARKING SPACES PROVIDED:	29
EXISTING H/C PARKING SPACES:	2
H/C PARKING SPACES REQUIRED:	1
TOTAL H/C PARKING SPACES PROVIDED:	3
TOTAL BICYCLE PARKING REQUIRED:	2
TOTAL BICYCLE PARKING PROVIDED:	2

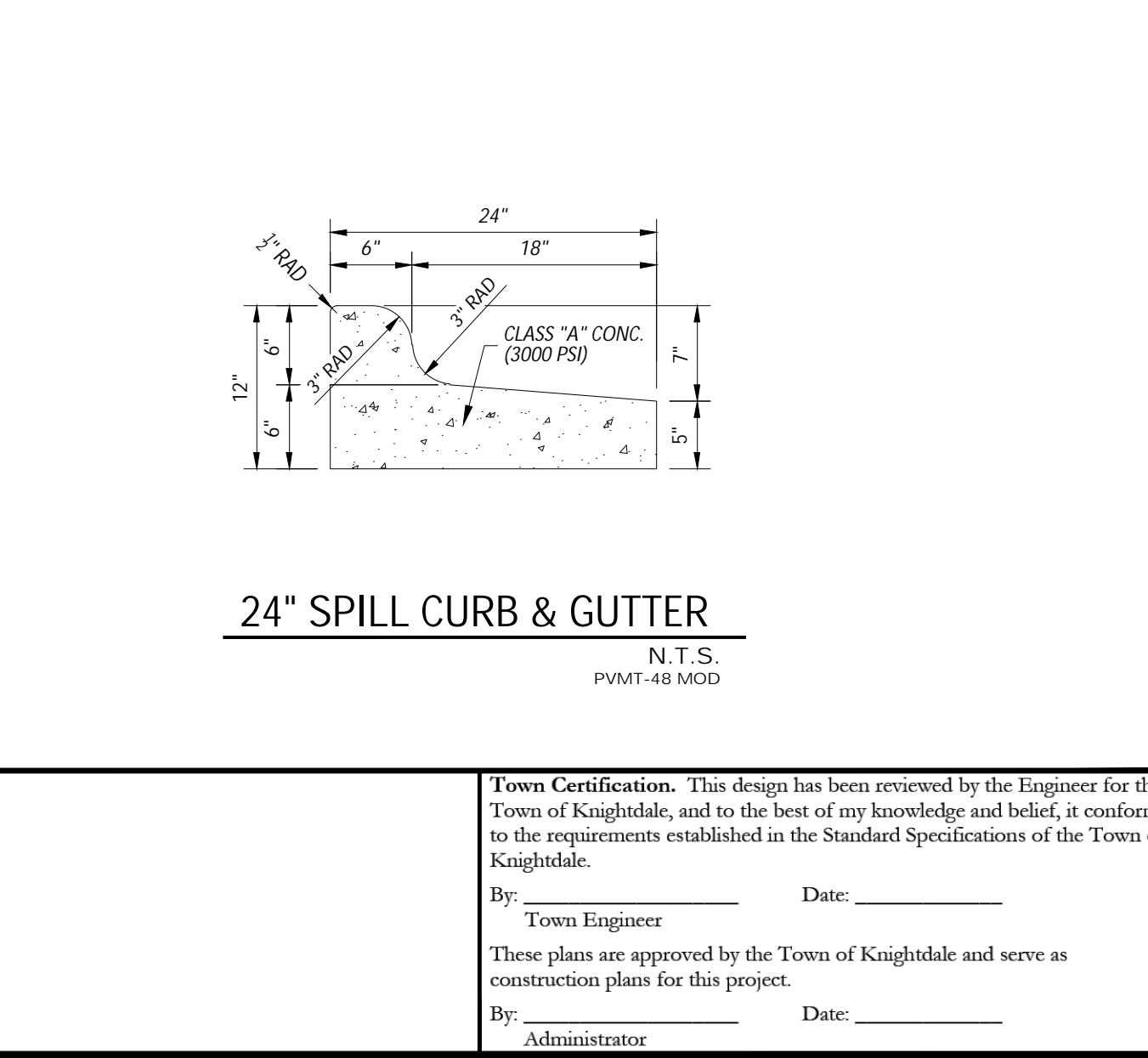
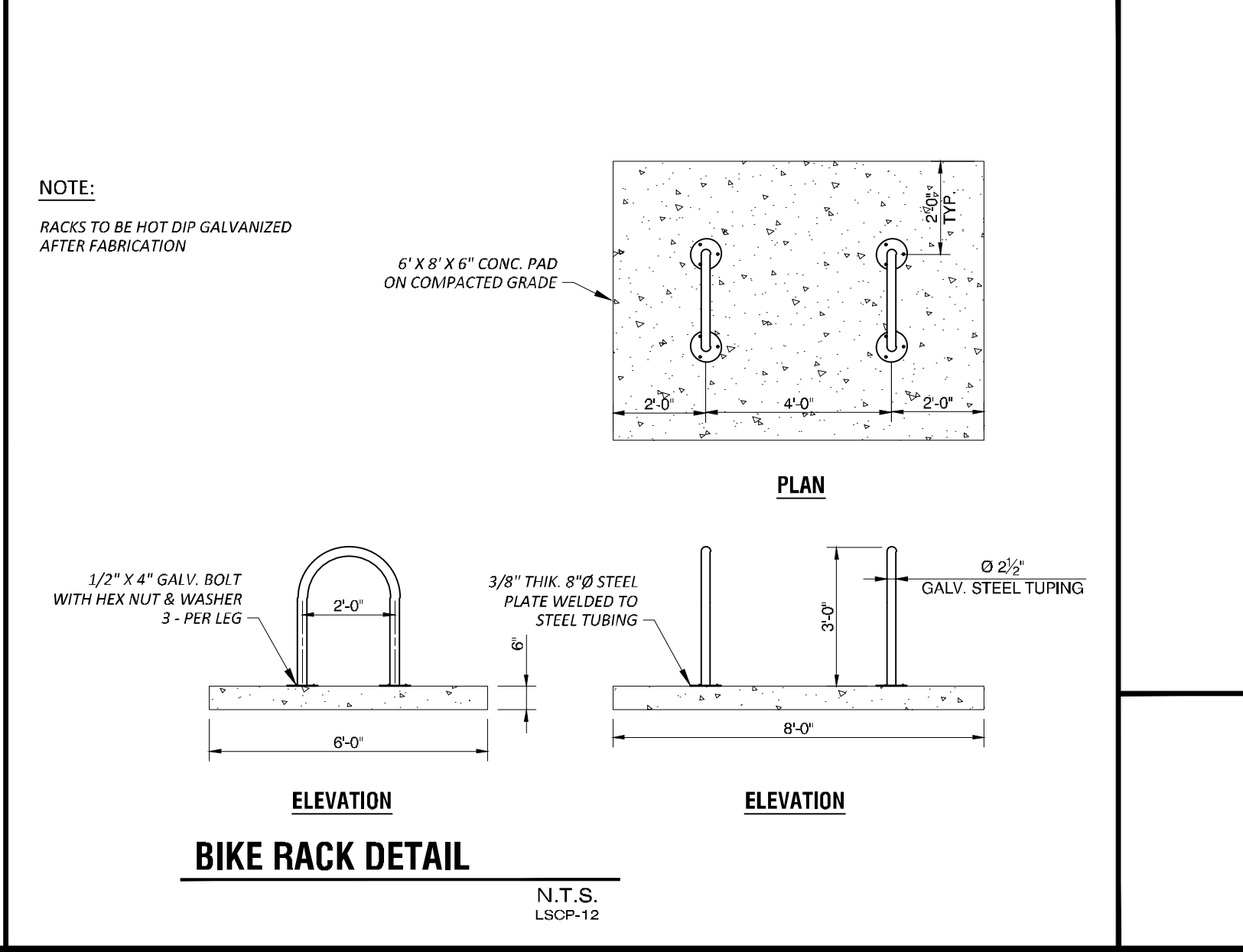
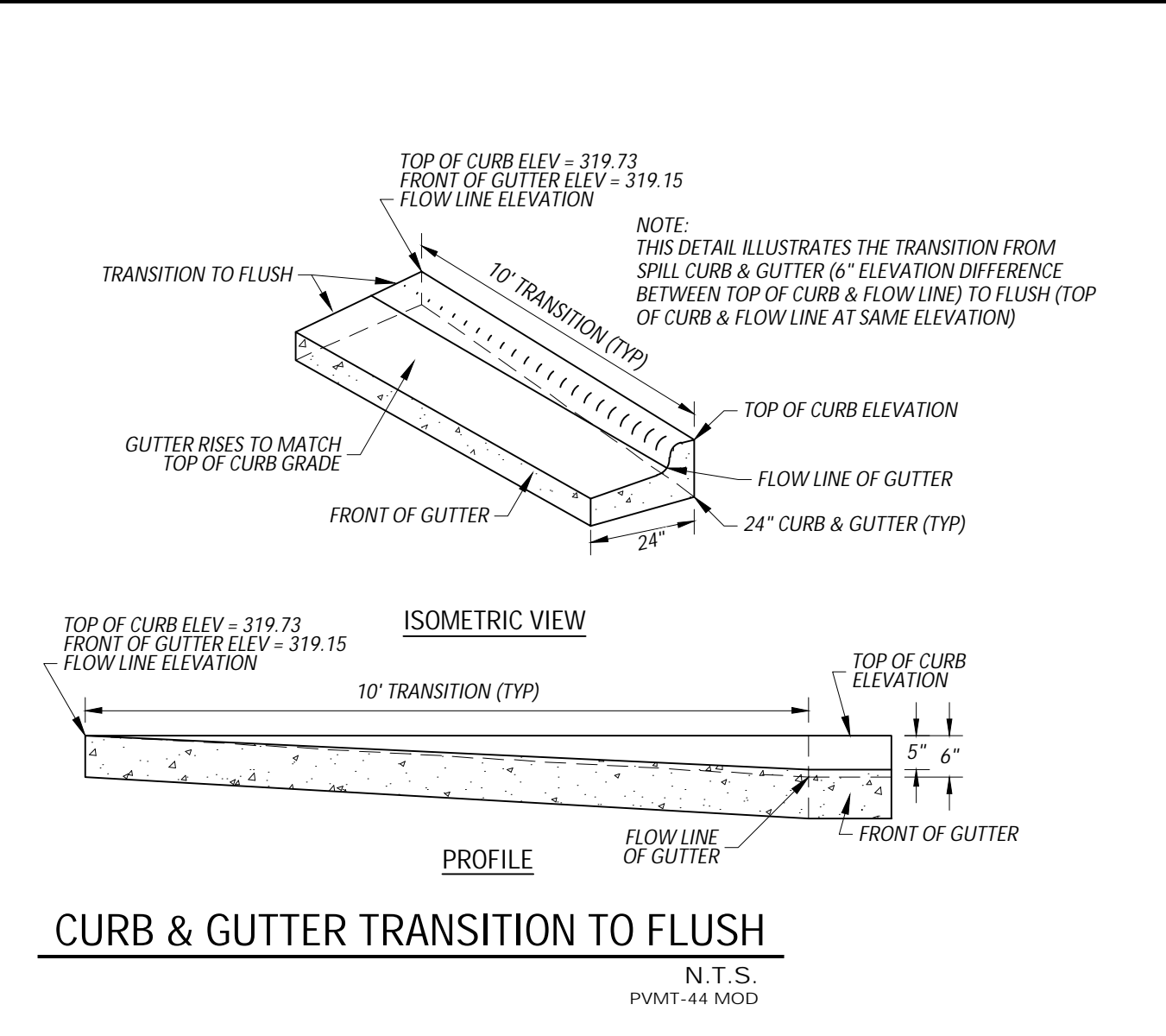
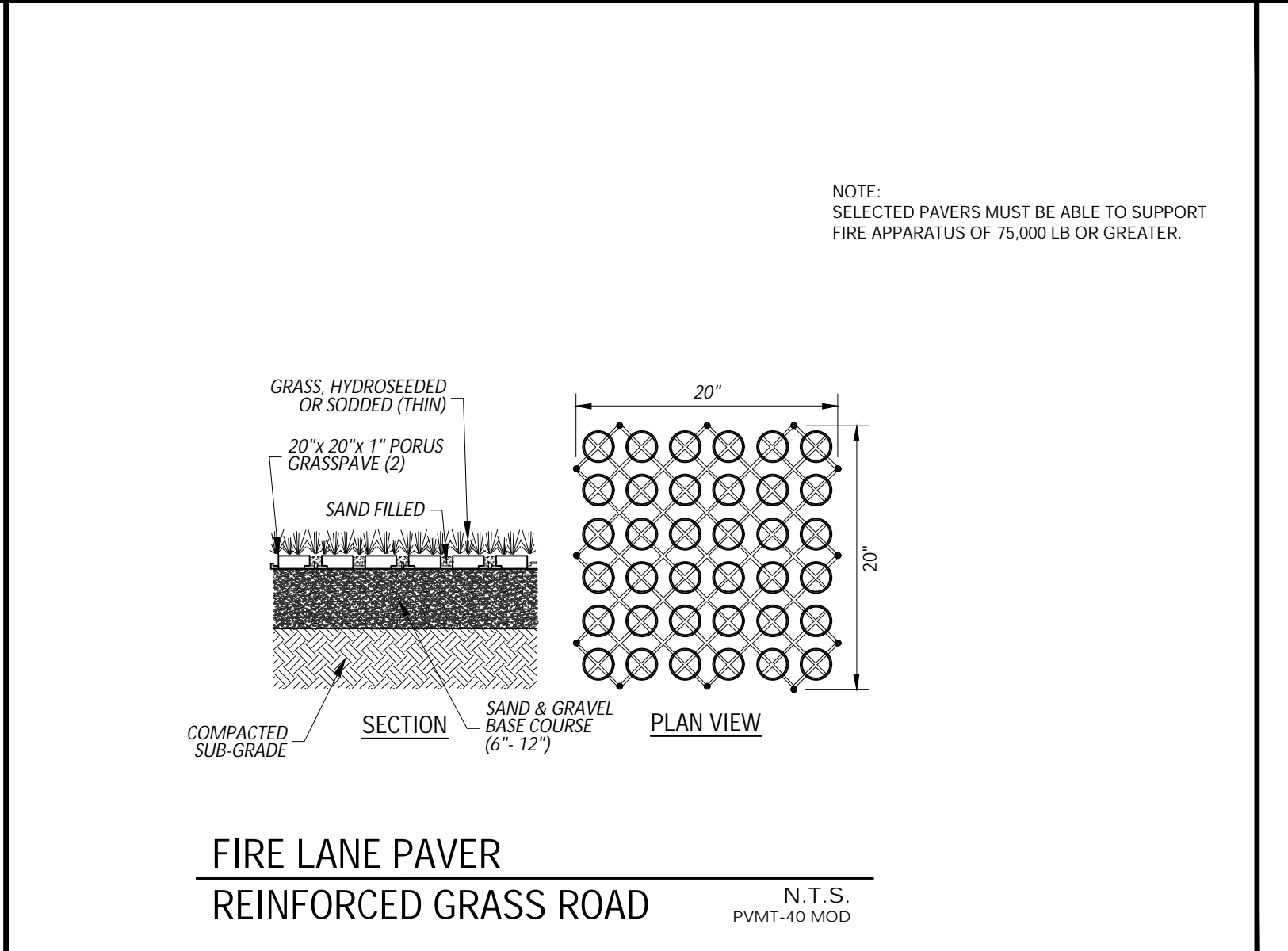
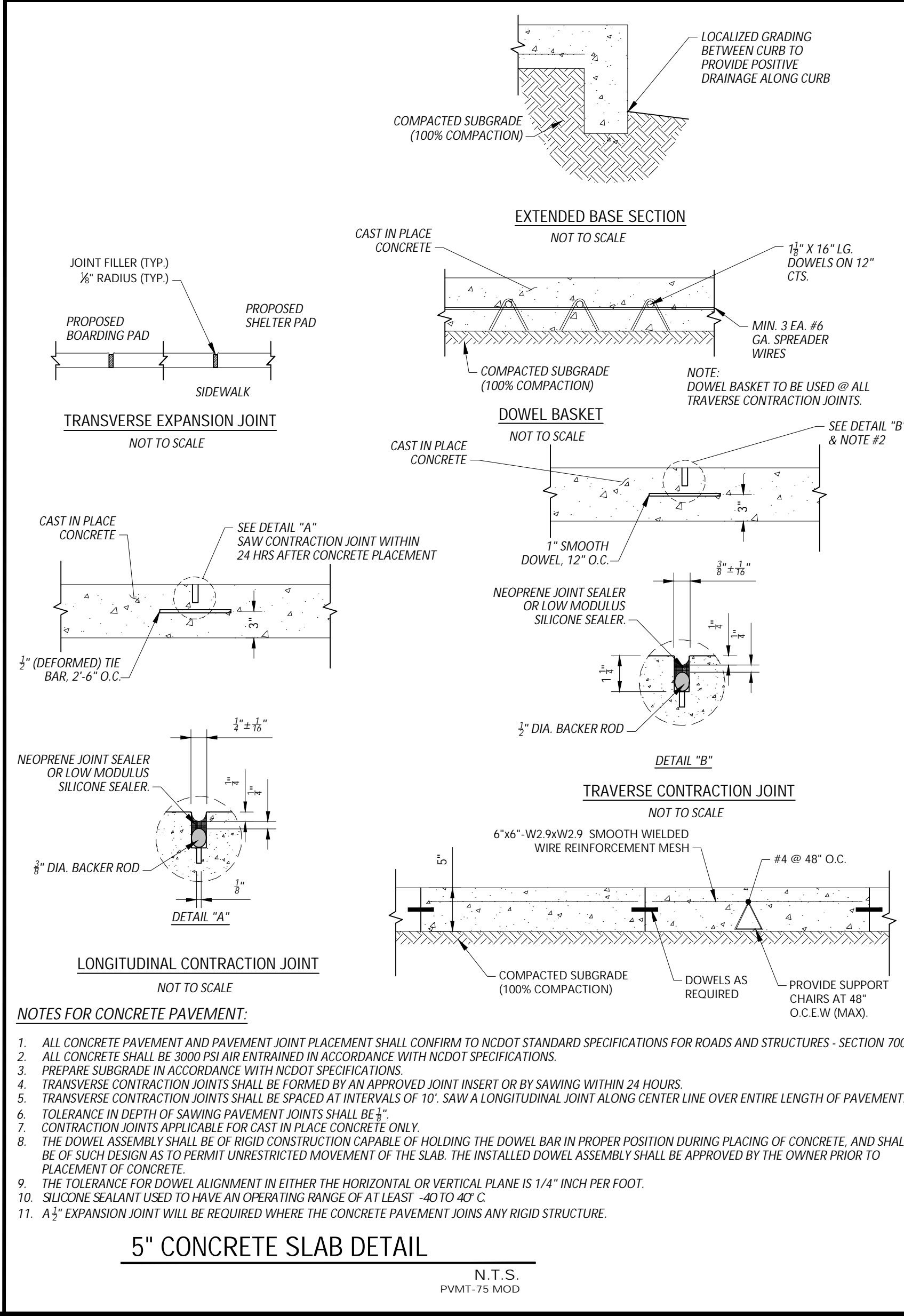
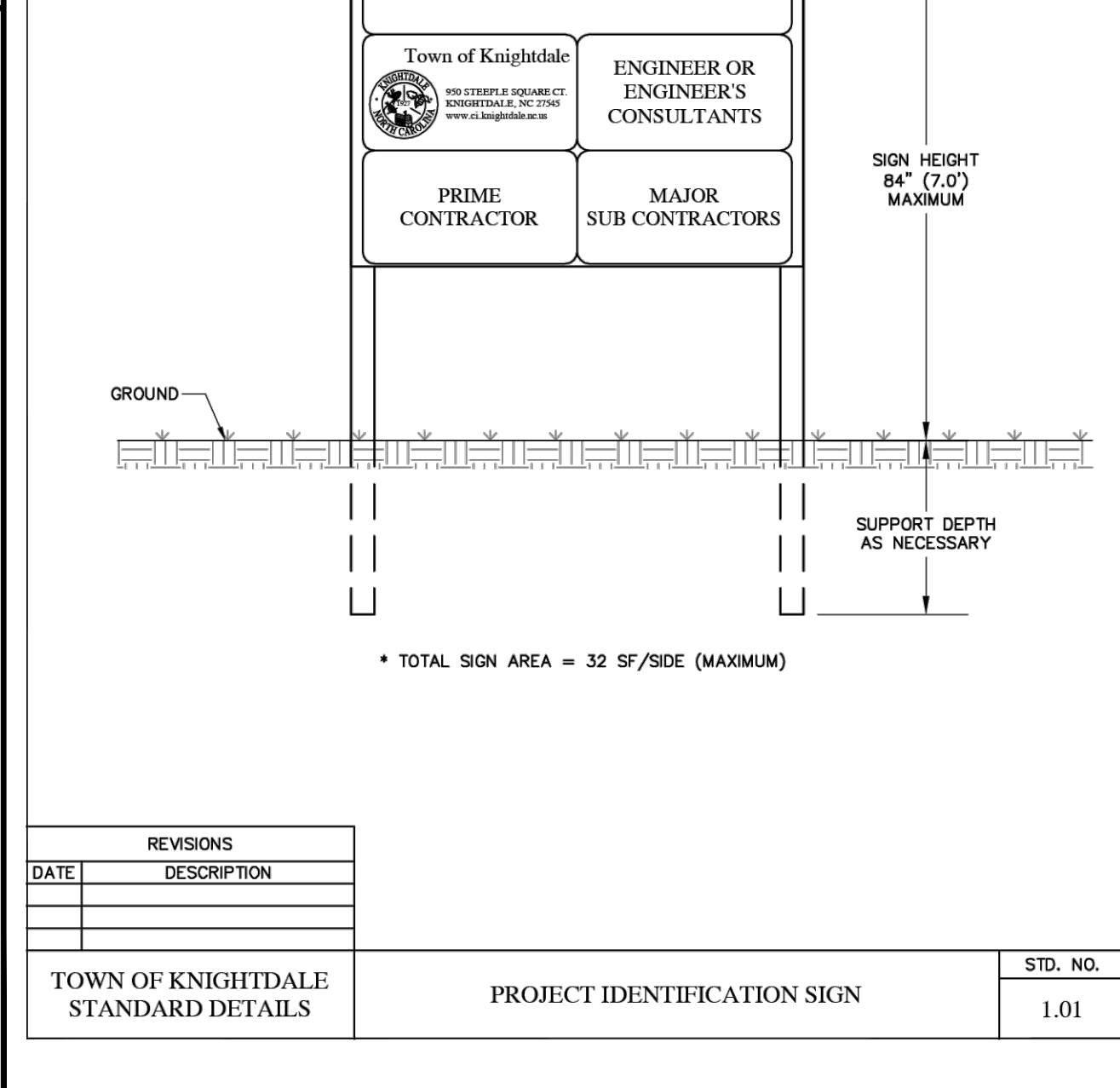
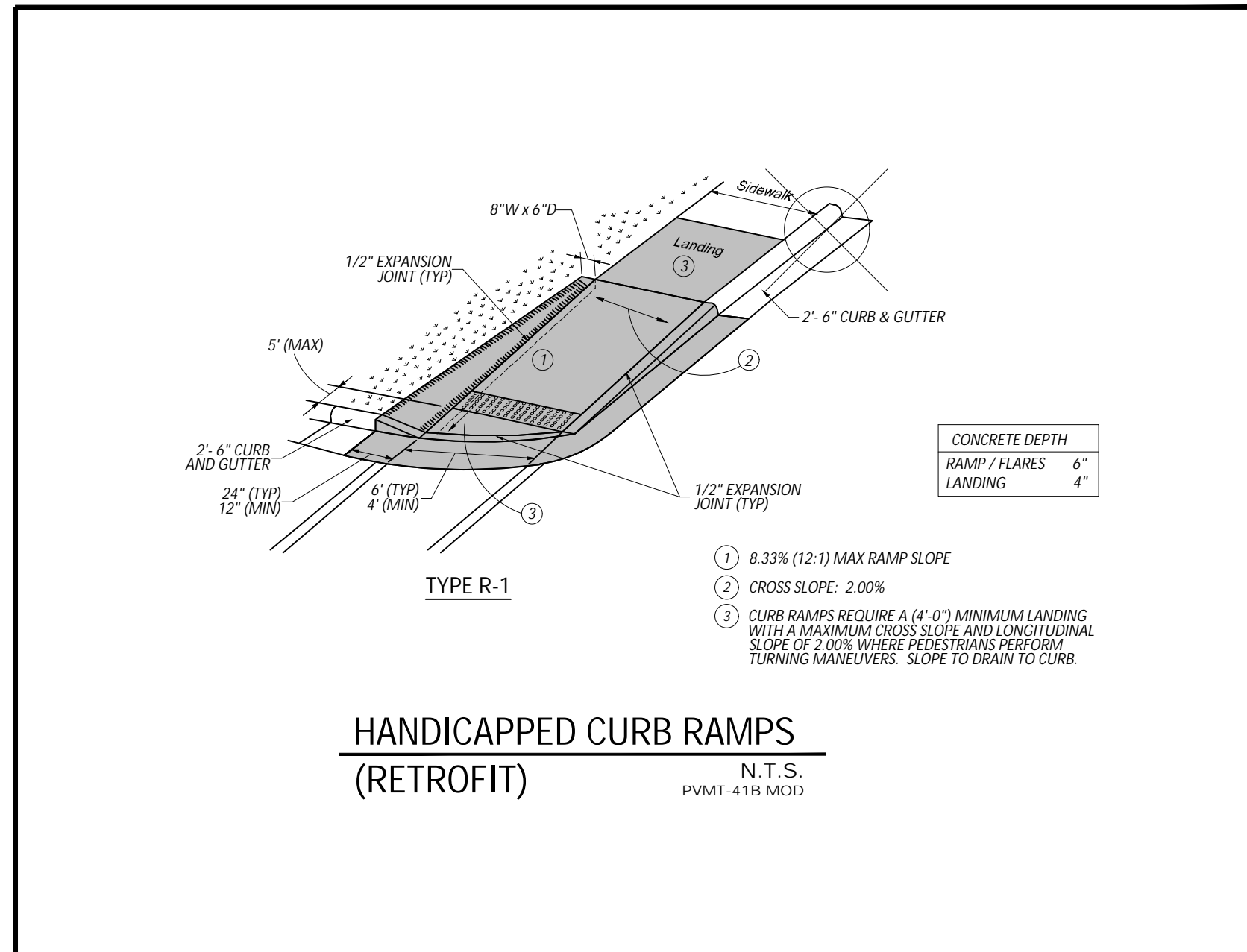


TREE CANOPY CALCULATIONS FOUND ON SHEET L1.01

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator



P:\LANDDEV\LAMPE-AMPLC_SIT-01\K2023008\CADD_DRAWINGS\DETAILS\DWG_LAYOUT\1-5212024\1-10-24\PM - MATT PROKOP



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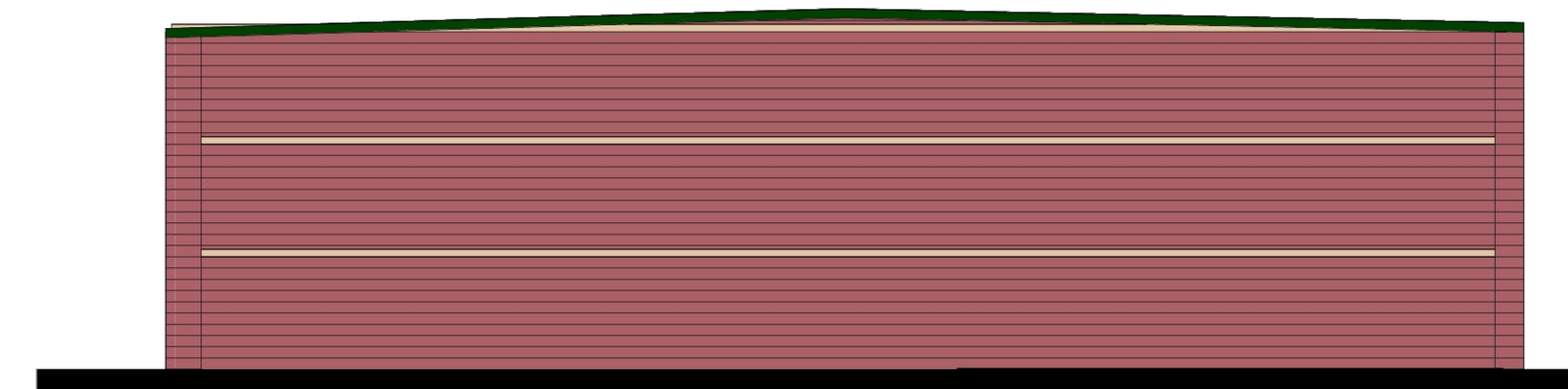


NO.	DESCRIPTION	DATE	BY
1	IMASTER PLAN - FIRST SUBMITTAL	05/21/24	

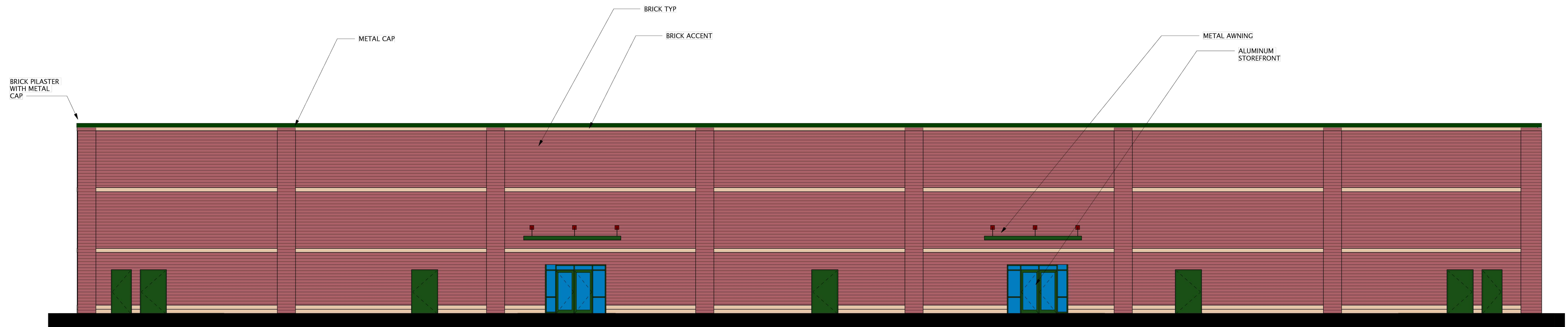
LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

DATE: MAY 22, 2024
DESIGNED BY: MJP
DRAWN BY: EDN
CHECKED BY: JSJ
PROJECT No. 2023008
DRAWING No. W-4073-MP
SCALE: 1" = 20'
SHEET No. C2.51

Town Certification: This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: _____ Date: _____
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: _____
Administrator



2 SIDE ELEVATION FACING CUL-DE-SAC
A1



1 FRONT ELEVATION
1/8" = 1'-0"

Ample Storage Knightdale
A1 BUILDING ELEVATIONS

Scale As indicated

RND Project No. 2118

LAMPE MANAGEMENT COMPANY

AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

DRAFT BUILDING ELEVATIONS

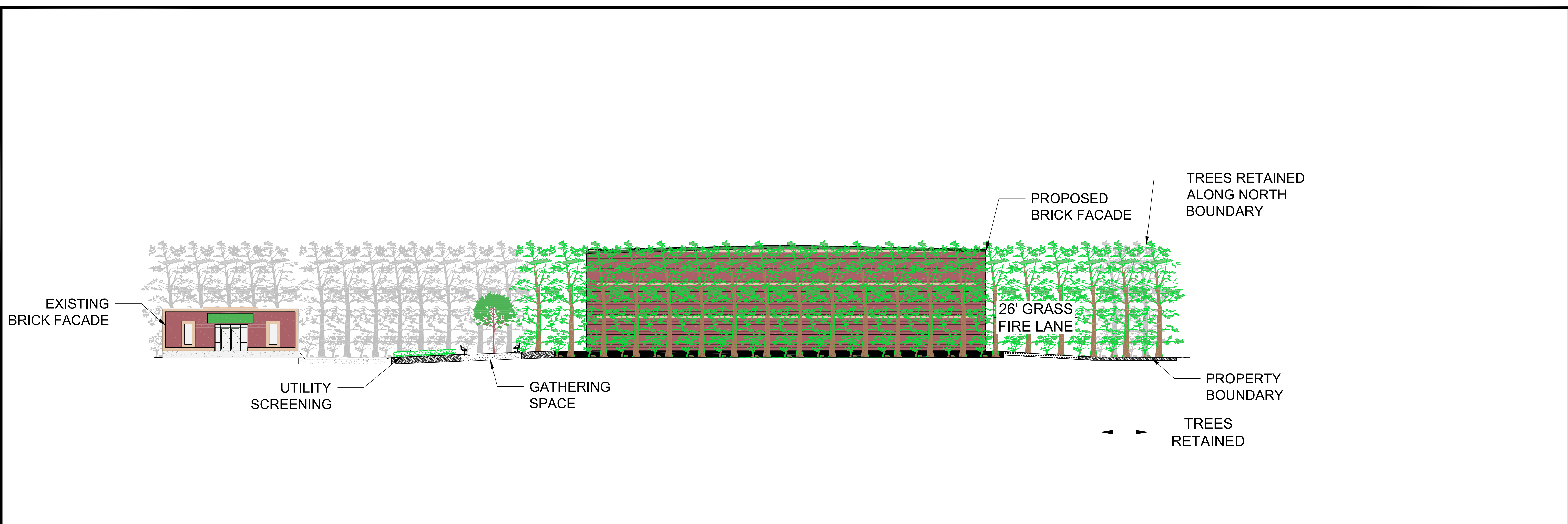
Rivers <small>ENGINEERS, ARCHITECTS & ASSOCIATES, INC.</small> <small>107 EAST SECOND STREET GREENVILLE, NC 27608 TEL: 704.735.4100</small>	PROJECT No. 2023008	SHEET No.
	DRAWING No. W-4073-MP	C2.52
DATE MAY 22, 2024		

DATE MAY 22, 2024

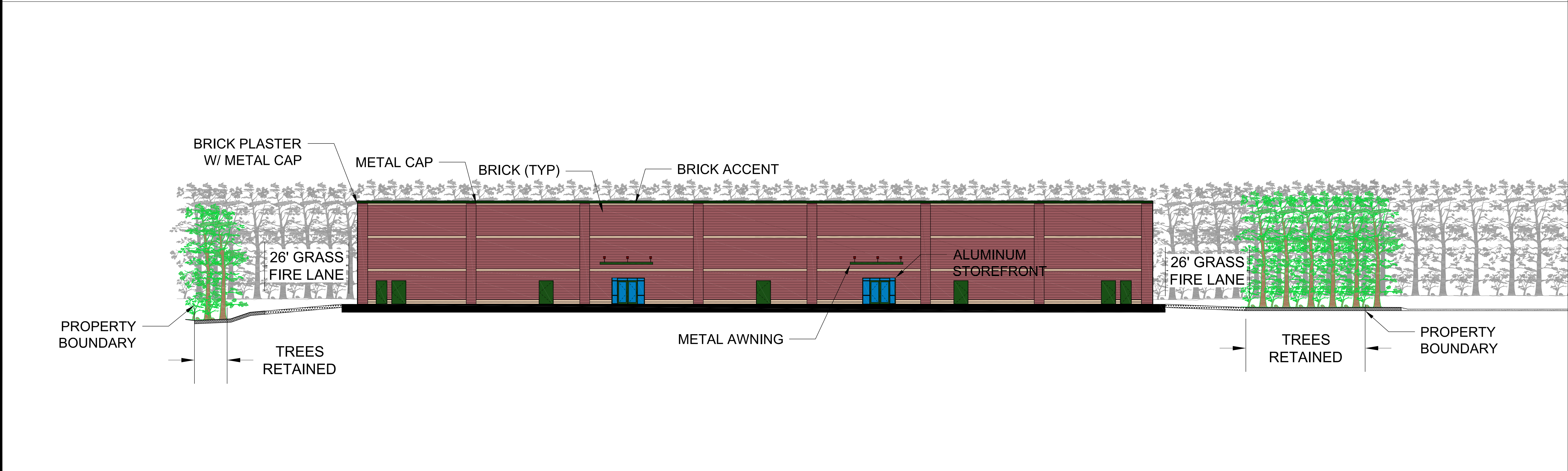
PRELIMINARY SET

Date 6.29.23

P:\LANDDEV\LAMPE_COMPANY\DRAWINGS\2023008\CADD_DRAWINGS\MASTER PLAN\MEETING\04-15-2024\10:23:31 AM - MATI.PRODUP



GREAT FALLS COURT VIEW



ON-SITE VIEW

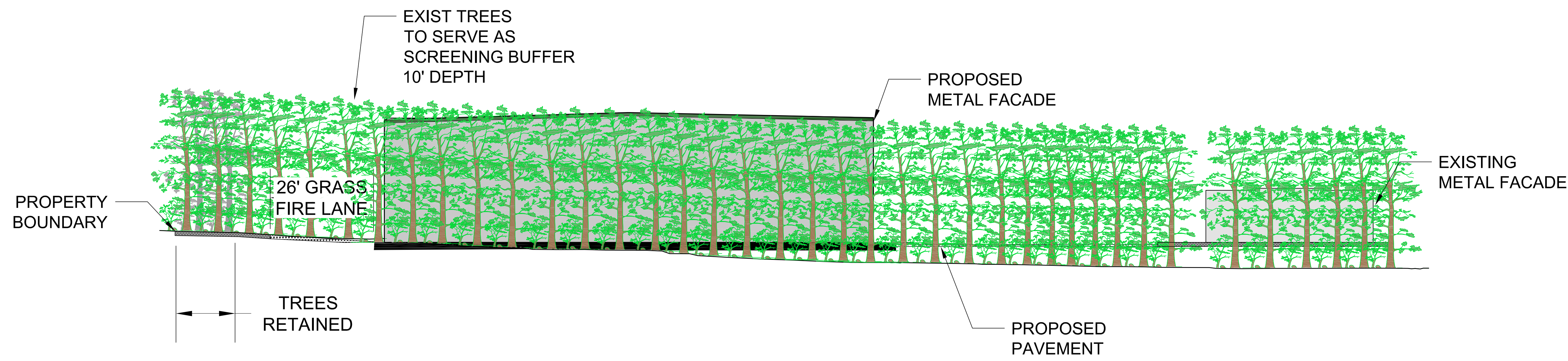
REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	IMASTER PLAN - FIRST SUBMITTAL	05/21/24	

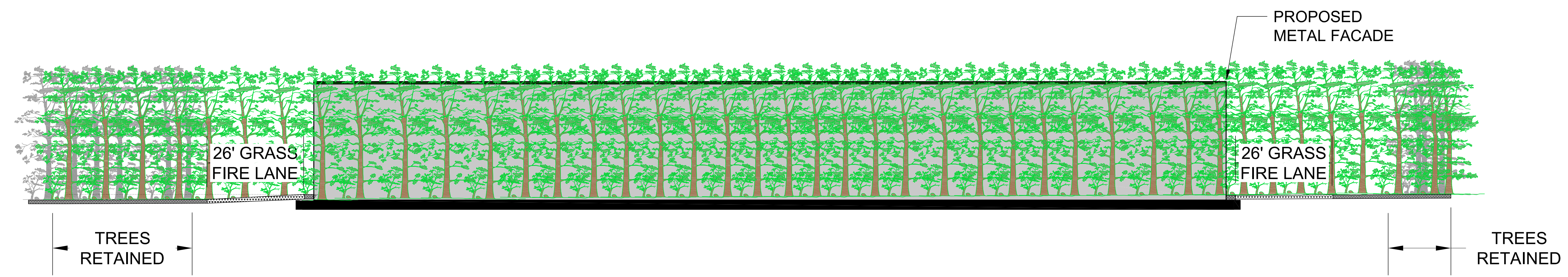
LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
DRAFT BUILDING ELEVATION
- OFFSITE VIEW 1

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No.

C2.53



METAL FACADE (FACING EAST)



METAL FACADE (FACING SOUTH)

REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	IMASTER PLAN - FIRST SUBMITTAL	05/21/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
DRAFT BUILDING ELEVATION
- OFFSITE VIEW 2

DATE: MAY 22, 2024

DESIGNED BY:	MJP
DRAWN BY:	EDN
CHECKED BY:	JSJ
PROJECT No.	2023008
DRAWING No.	W-4073-MP
SCALE:	1" = 20'

SHEET No. **C2.54**

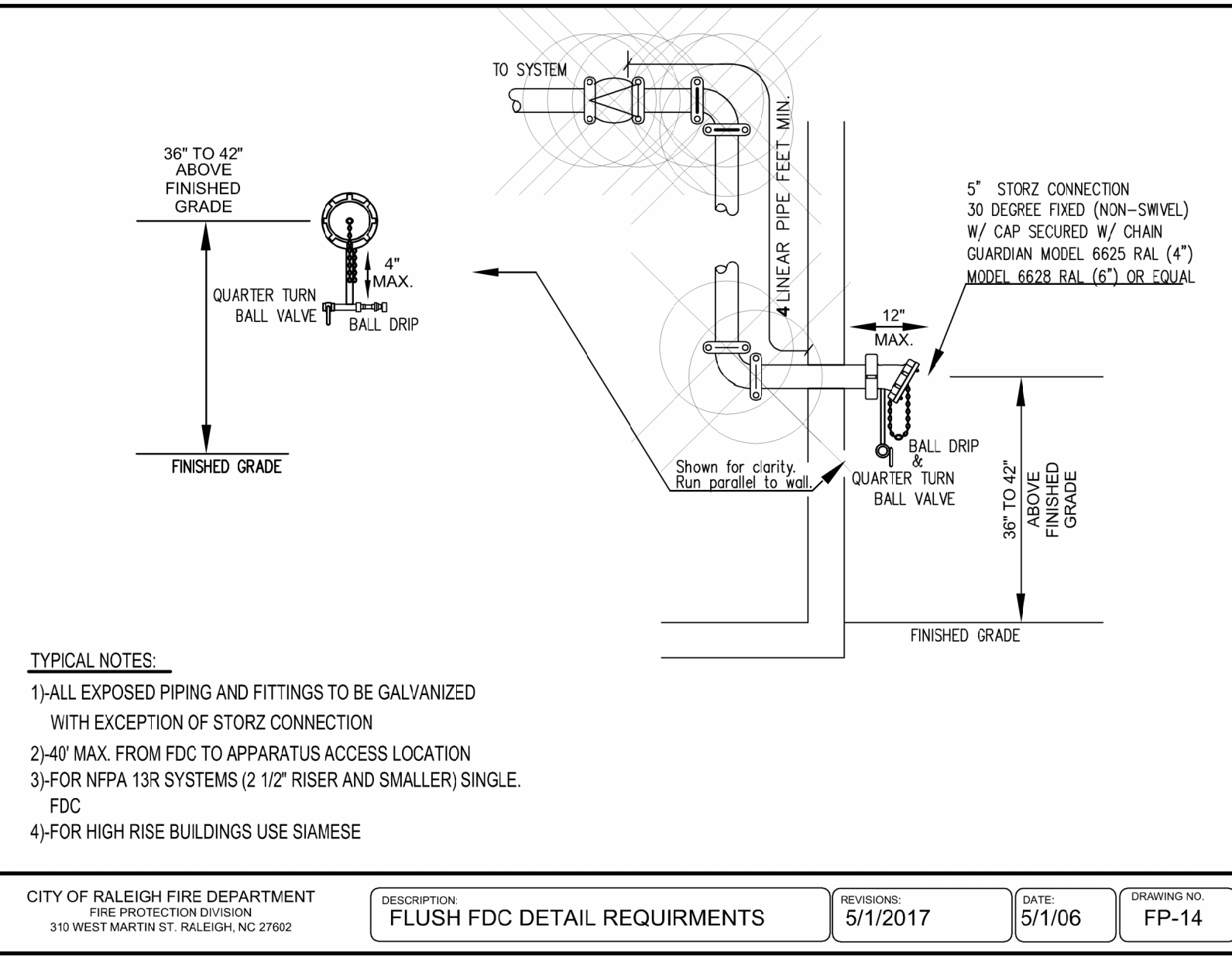
P:\LANDDEV\LAMPE-AMPLE-STC-KNIGHTDALE-2023008\CADD_DRAWINGS\MASTER PLAN\METRODIGITAL-E-RENDERING-METAL FRONT - 5/21/2024 10:23:31 AM - MAT.FP00P

WATER ALLOCATION POLICY COMPLIANCE:
NEW DEVELOPMENT WILL ONLY INCLUDE A FIRE LINE.
NO DOMESTIC SERVICE IS NEEDED.



LEGEND

- PAVEMENT
- GRASS FIRE LANE
- 8" C900 FIRE LINE
- EX. WATER MAIN
- EX. WATER VALVE
- EX. WATER METER
- EX. FIRE HYDRANT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- REDUCED PRESSURE DETECTOR ASSEMBLIES
- TEE
- ELBOWS



TYPICAL NOTES:

- 1) ALL EXPOSED PIPING AND FITTINGS TO BE GALVANIZED WITH EXCEPTION OF STORZ CONNECTION
- 2) 40' MAX. FROM FDC TO APPARATUS ACCESS LOCATION
- 3) FOR NFPA 13R SYSTEMS (2 1/2" RISER AND SMALLER) SINGLE FDC
- 4) FOR HIGH RISE BUILDINGS USE SIAMSESE

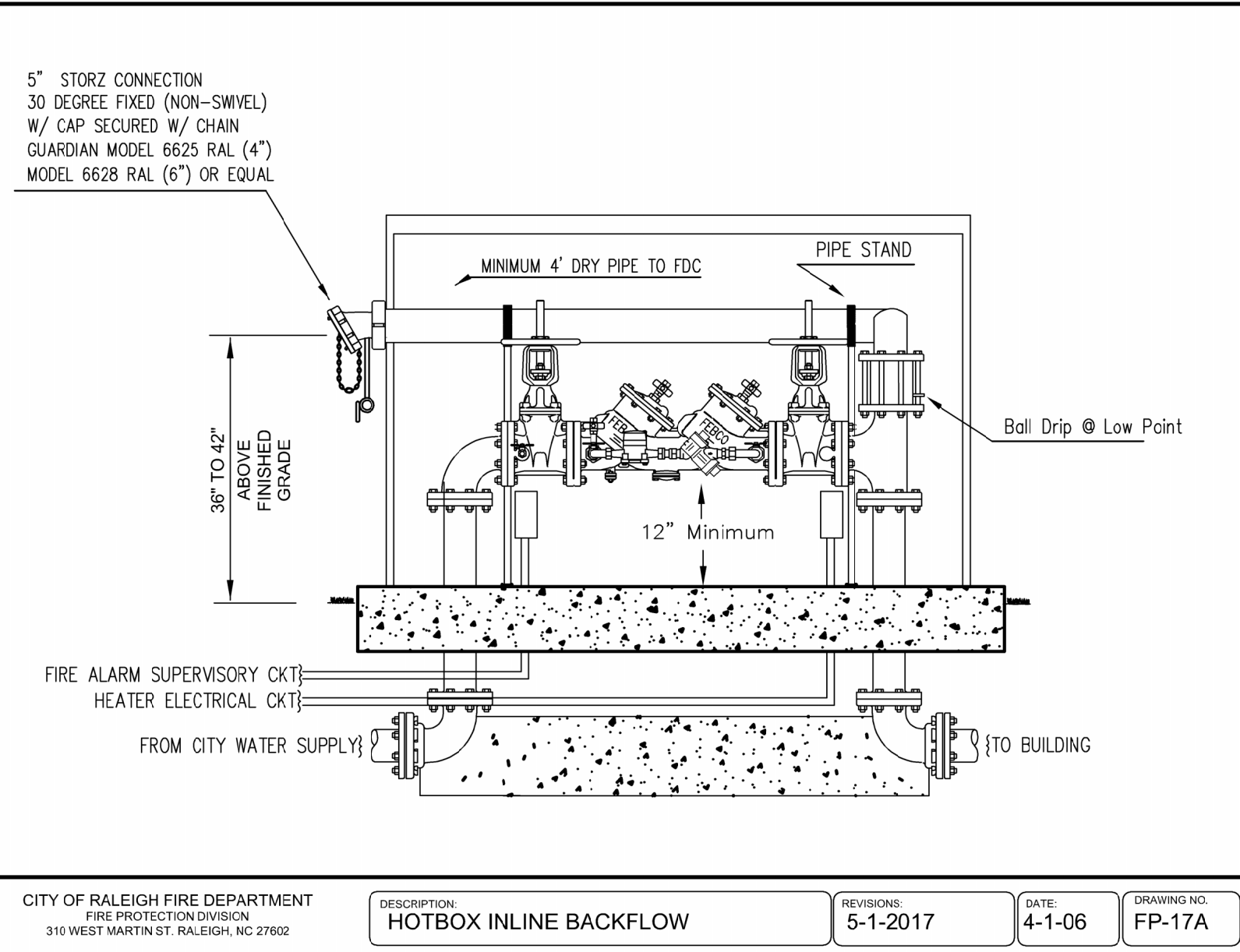
CITY OF RALEIGH FIRE DEPARTMENT
FIRE PROTECTION DIVISION
310 WEST MARTIN ST., RALEIGH, NC 27602

DESCRIPTION: FLUSH FDC DETAIL REQUIREMENTS

REVISIONS: 5/1/2017

DATE: 5/1/06

DRAWING NO.: FP-14



CITY OF RALEIGH FIRE DEPARTMENT
FIRE PROTECTION DIVISION
310 WEST MARTIN ST., RALEIGH, NC 27602

DESCRIPTION: HOTBOX INLINE BACKFLOW

REVISIONS: 5-1-2017

DATE: 4-1-06

DRAWING NO.: FP-17A

Rivers
ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS, LANDSCAPE ARCHITECTS

107 East Second Street
Greenville, NC 27658
(252) 752-4135

Professional Engineer Seal for Matthew J. Proctor, License No. 10000, State of North Carolina.

REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	

LAMPE MANAGEMENT COMPANY

AMPLE STORAGE - EXPANSION

TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWPSP. ~ WAKE CO. ~ NORTH CAROLINA

UTILITY PLAN

DATE: MAY 22, 2024

DESIGNED BY: MJP

DRAWN BY: EDN

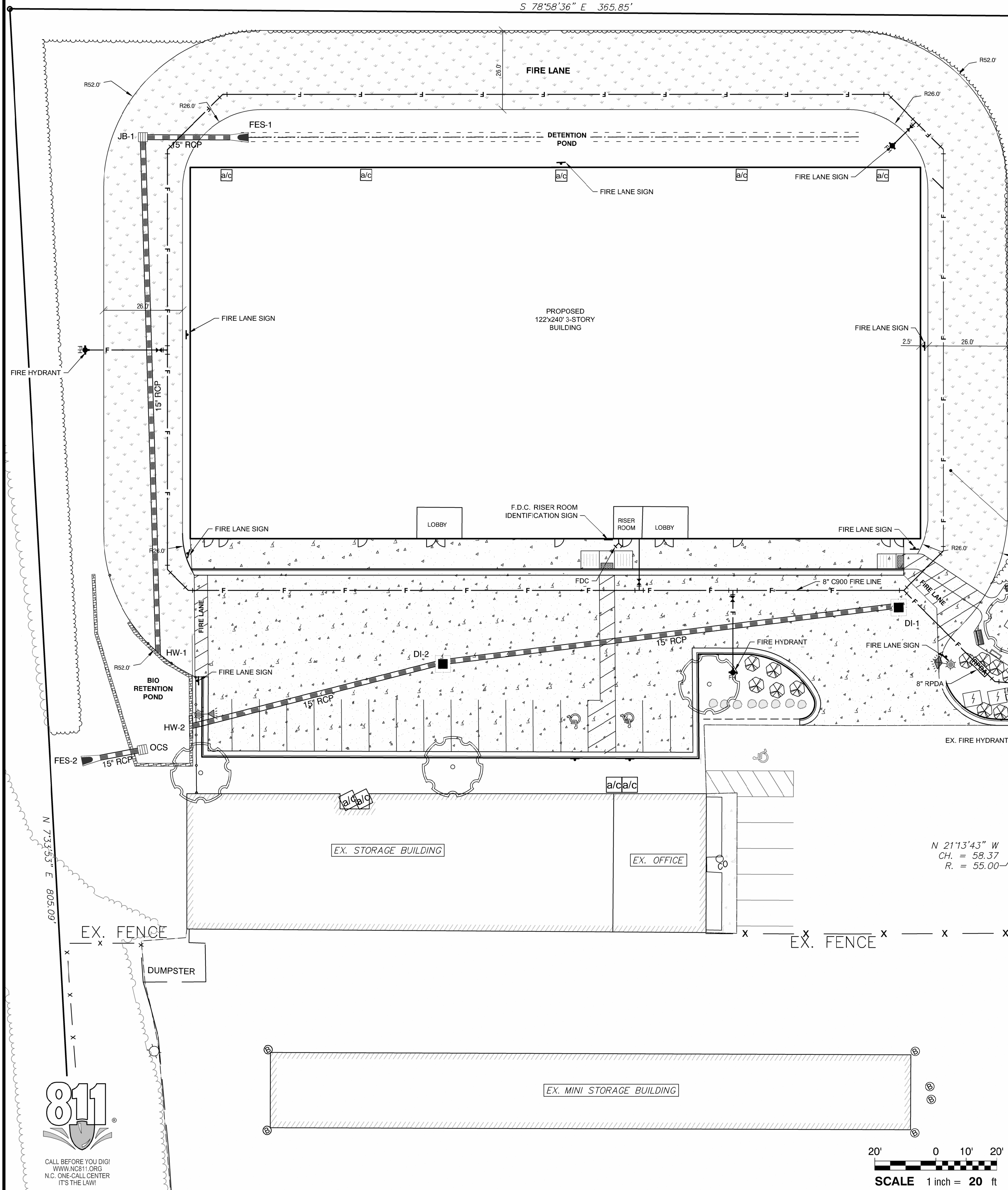
CHECKED BY: JSJ

PROJECT NO.: 2023008

DRAWING NO.: W-4073-MP

SCALE: 1" = 20'

SHEET NO.: **C3.01**



Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
Administrator

WATER AND SEWER PERMITS IF APPLICABLE

THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC SEWER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK, CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____

THE CITY OF RALEIGH CONSENTS TO THE CONNECTION AND EXTENSION OF THE CITY'S PUBLIC WATER SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK, CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____

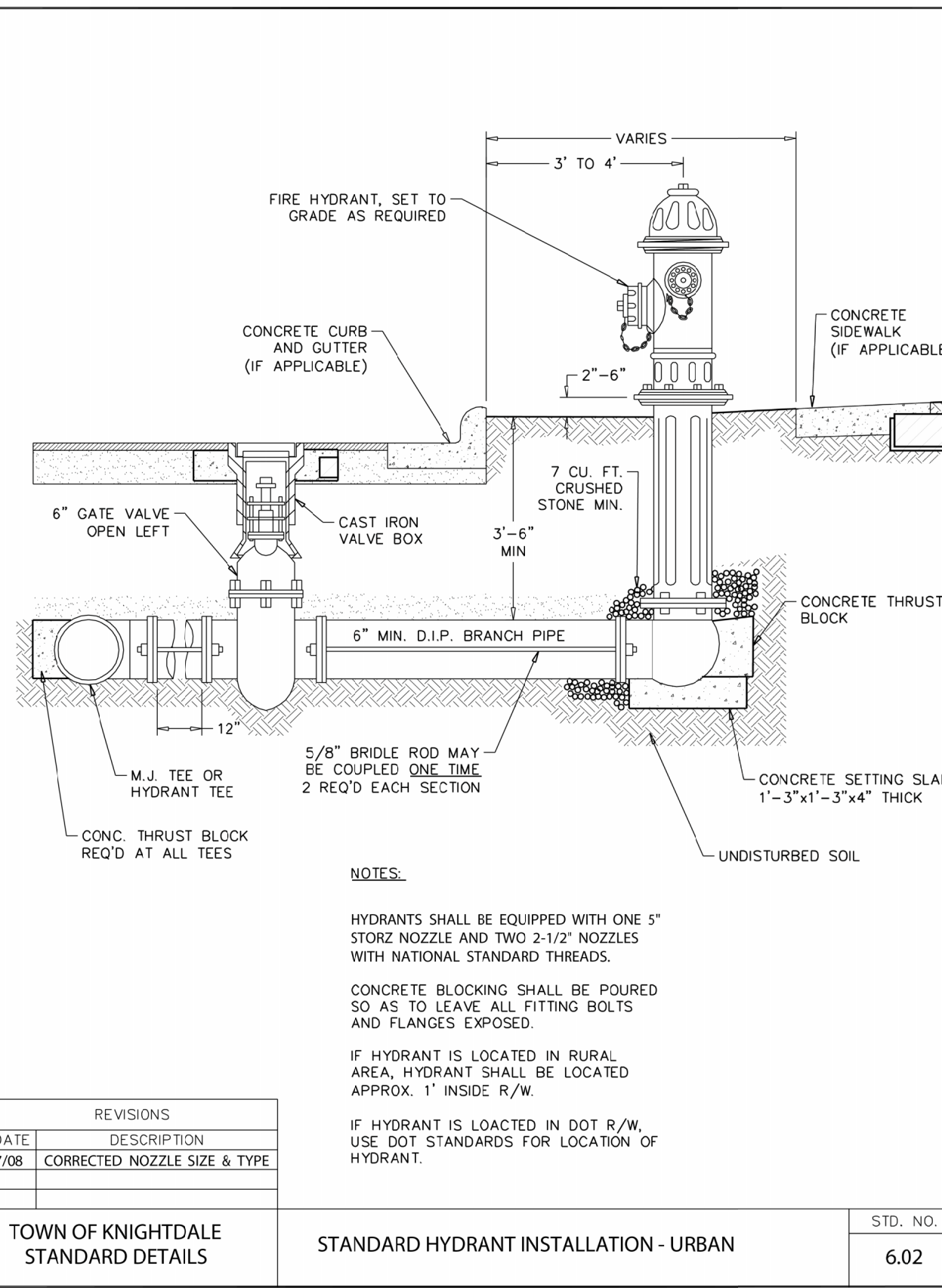
THE CITY OF RALEIGH CONSENTS TO THE CONNECTION TO ITS PUBLIC SEWER SYSTEM AND EXTENSION OF THE PRIVATE SEWER COLLECTION SYSTEM AS SHOWN ON THIS PLAN. THE MATERIAL AND CONSTRUCTION METHODS USED FOR THIS PROJECT SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY'S PUBLIC UTILITIES HANDBOOK, CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PERMIT # _____

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

ELECTRONIC APPROVAL: THIS APPROVAL IS BEING ISSUED ELECTRONICALLY. THIS APPROVAL IS VALID ONLY UPON THE SIGNATURE OF A CITY OF RALEIGH REVIEW OFFICER BELOW. THE CITY WILL RETAIN A COPY OF THE APPROVED PLANS. ANY WORK AUTHORIZED BY THIS APPROVAL MUST PROCEED IN ACCORDANCE WITH THE PLANS KEPT ON FILE WITH THE CITY. THIS ELECTRONIC APPROVAL MAY NOT BE EDITED ONCE ISSUED. ANY MODIFICATION TO THIS APPROVAL ONCE ISSUED WILL INVALIDATE THIS APPROVAL.

CITY OF RALEIGH DEVELOPMENT APPROVAL

RALEIGH WATER REVIEW OFFICER _____



NOTES:

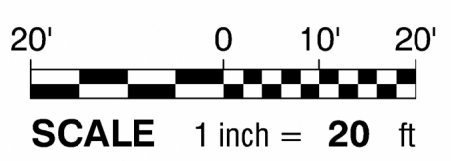
HYDRANTS SHALL BE EQUIPPED WITH ONE 5" STORZ NOZZLE AND TWO 3/4" NOZZLES WITH NATIONAL STANDARD THREADS.

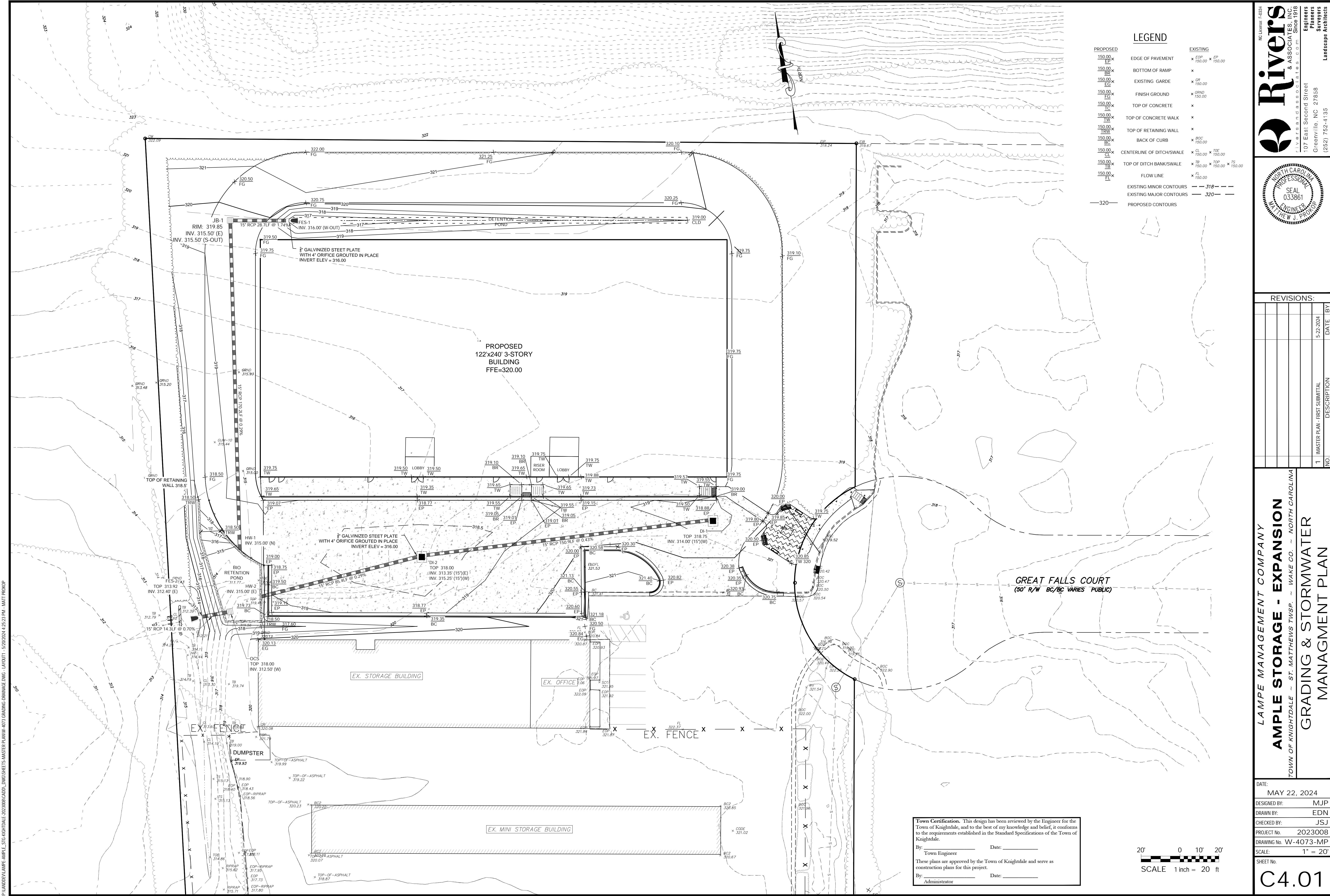
CONCRETE BLOCKING SHALL BE POURED SO AS TO LEAVE ALL FITTING BOLTS AND FLANGES EXPOSED.

IF HYDRANT IS LOCATED IN RURAL AREA, HYDRANT SHALL BE LOCATED APPROX. 1' INSIDE R/W.

IF HYDRANT IS LOCATED IN DOT R/W, USE DOT STANDARDS FOR LOCATION OF HYDRANT.

P:\LANDDEV\LAMPE-AMPLE-016-KNIGHTDALE-2023008\CADD_DRAWINGS\MASTER PLAN\W-4073-UTILITIES.DWG - LAYOUT - 5/21/2024 10:59:16 AM - MATI PRINGIP





LEGEND

PROPOSED	EXISTING
150.00 EP	EDGE OF PAVEMENT
150.00 BC	BOTTOM OF RAMP
150.00 EG	EXISTING GARDE
150.00 FG	FINISH GROUND
150.00 TC	TOP OF CONCRETE
150.00 TW	TOP OF RETAINING WALL
150.00 TRW	TOP OF RETAINING WALL
150.00 BC	BACK OF CURB
150.00 CL	CENTERLINE OF DITCH/SWALE
150.00 TB	TOP OF DITCH BANK/SWALE
150.00 FL	FLOW LINE
---	EXISTING MINOR CONTOURS
---	EXISTING MAJOR CONTOURS
---	PROPOSED CONTOURS

NC License # 43324
Rivers
 PLANNERS & ASSOCIATES, INC.
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 107 East Second Street
 Greenville, NC 27658
 (252) 752-4135
 Engineers
 Planners
 Surveyors
 Landscape Architects

SEAL
 033861
 NORTH CAROLINA PROFESSIONAL ENGINEER
 W. J. WOODRUFF

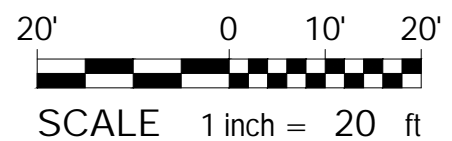
REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	IMASTER PLAN - FIRST SUBMITTAL	5-22-2024	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
GRADING & STORMWATER MANAGEMENT PLAN

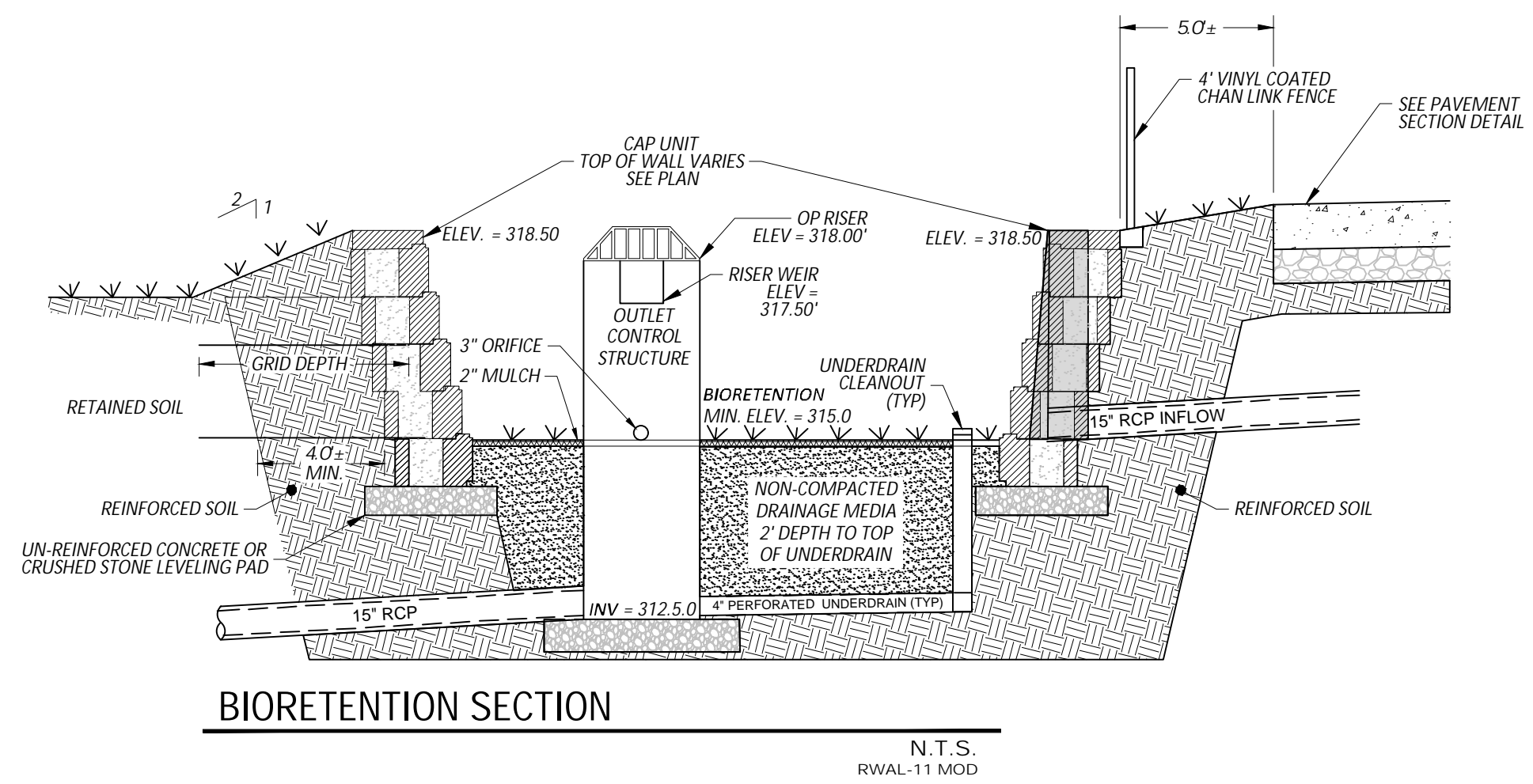
DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No. **C4.01**

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator

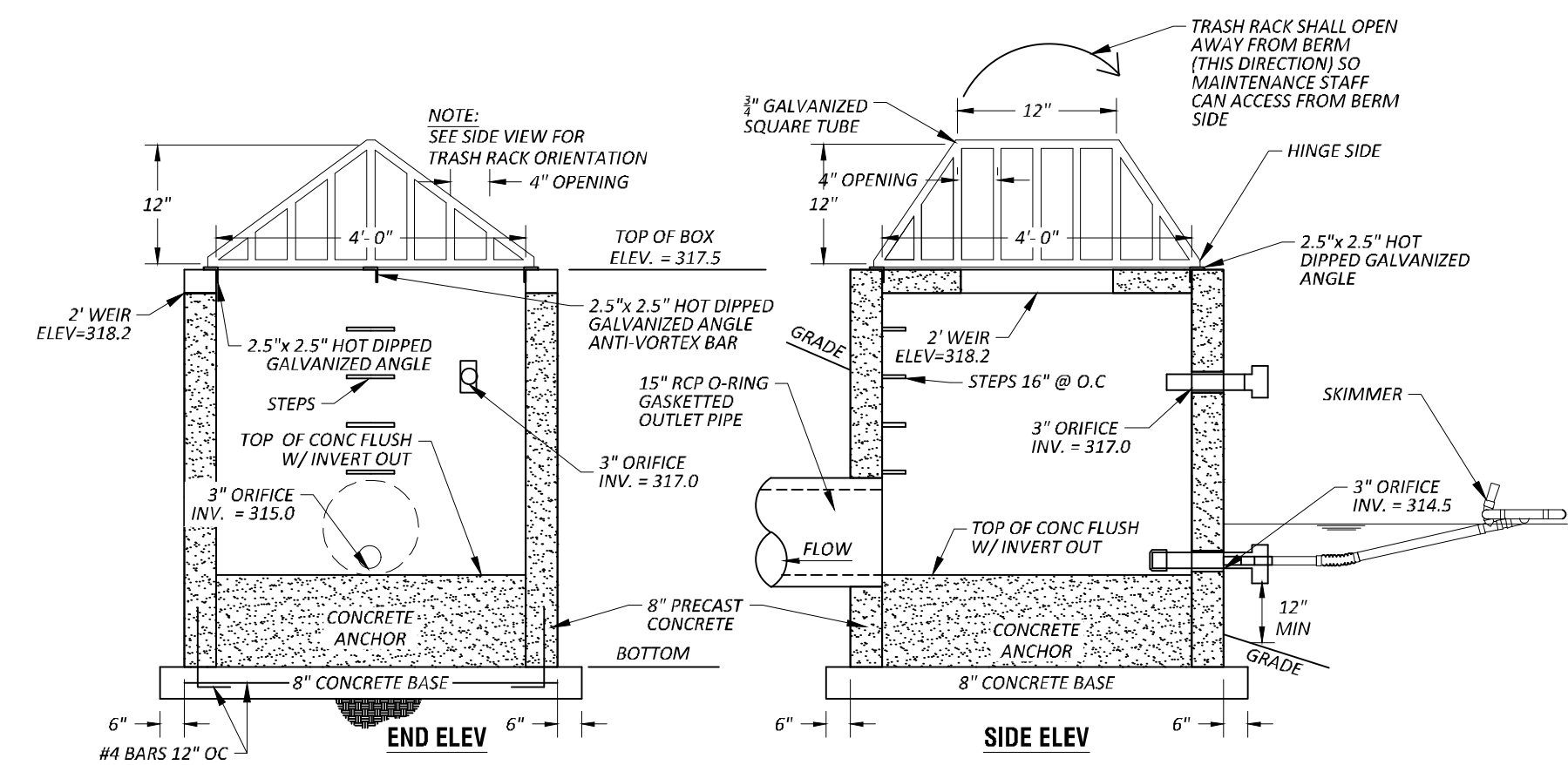


PLANNING: AMPE, AMPE, STC, HIGDON, L. 2023008.CADD, DWS, GSE, EES, MASTER PLAN, W-4073 GRADING, DRAINAGE DWG. - LAYOUT - 5/22/2024 4:25:23 PM - MATI PROLOG

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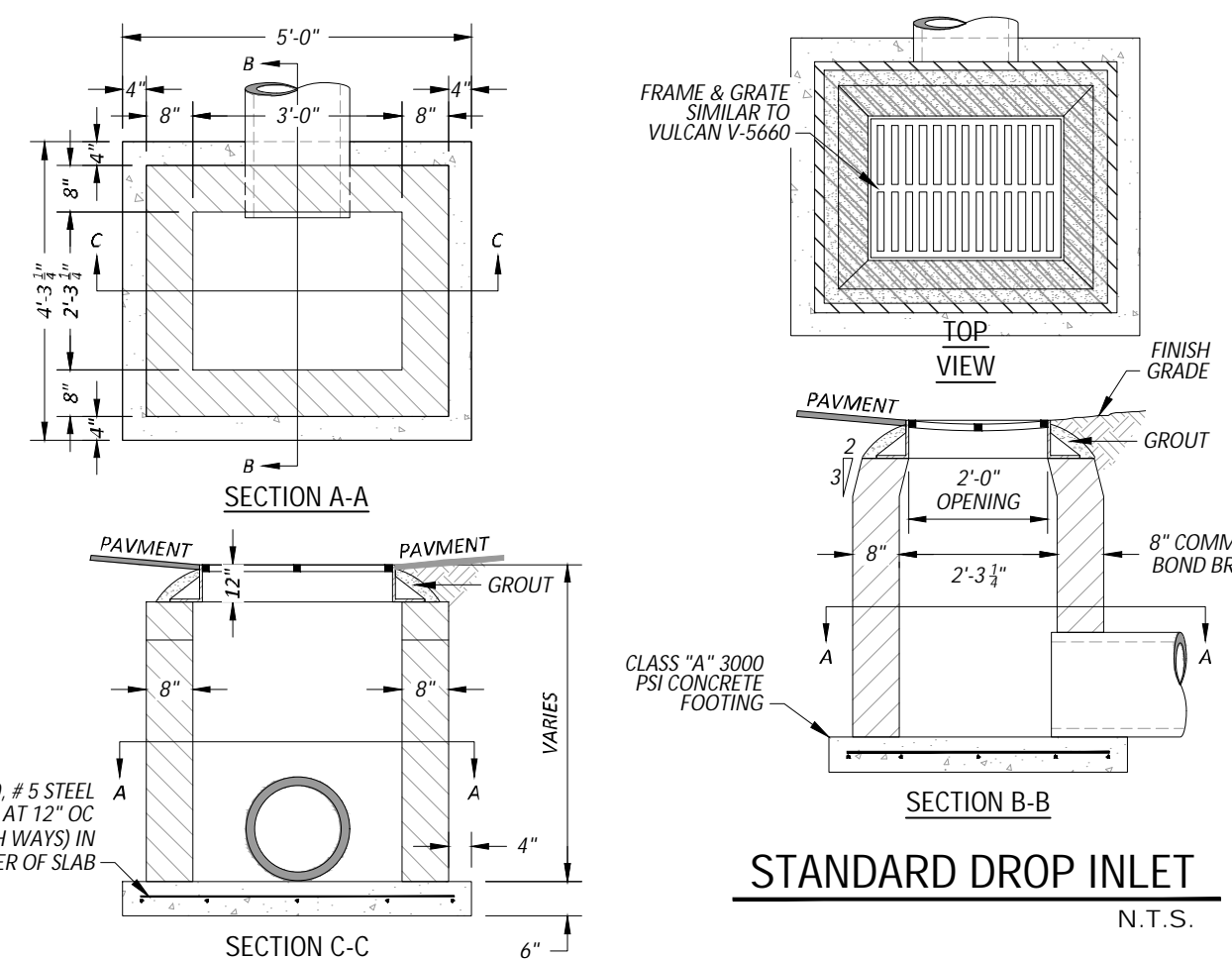
BIORETENTION SECTION
N.T.S.
RWAL-11 MOD



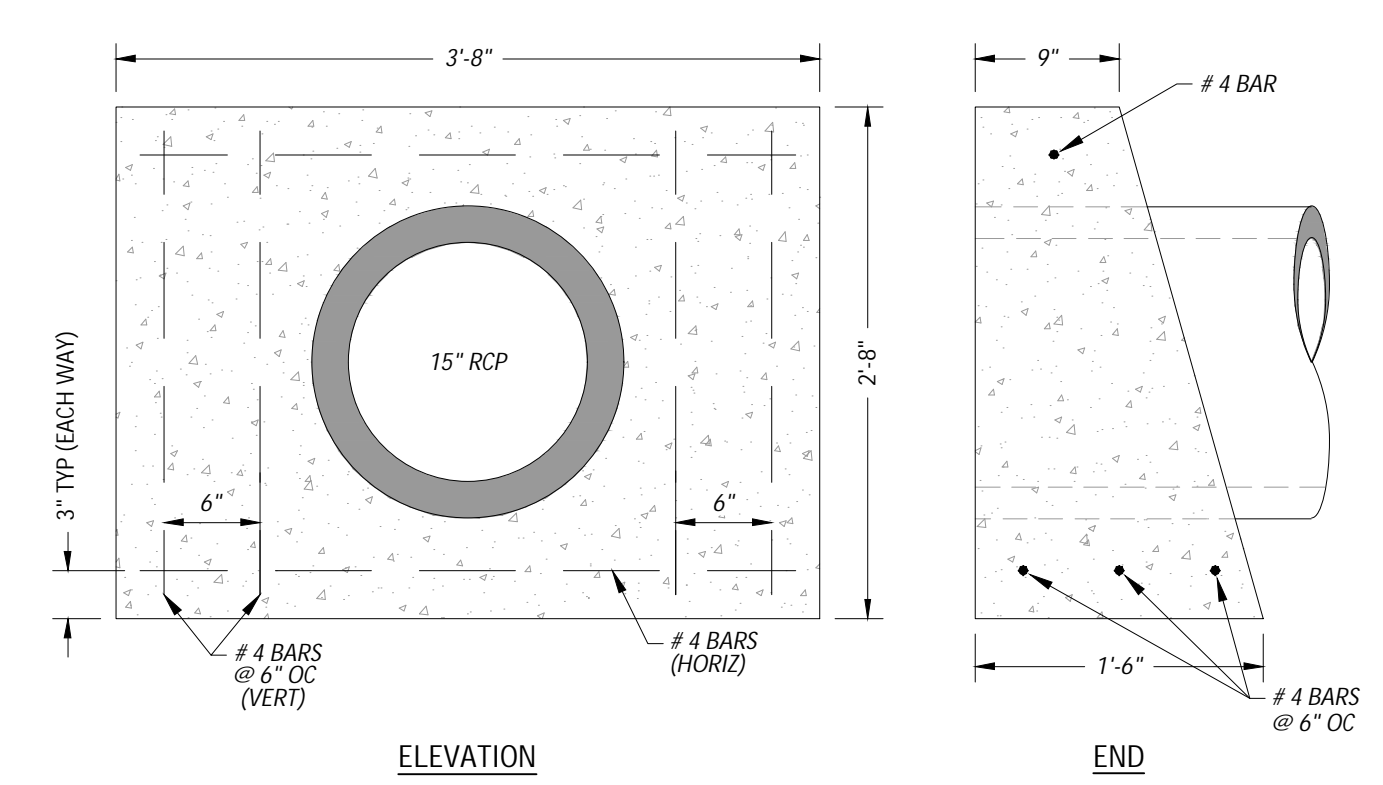
OUTLET CONTROL STRUCTURE NOTES

1. STRUCTURE SHALL BE PRECAST CONCRETE
2. PRECASTER SHALL DESIGN AND FURNISH ALL STEEL REINFORCING, WALL THICKNESS AND HARDWARE.
3. MANUFACTURE ENTIRE CONCRETE AS ONE SECTION WITH NO JOINTS IF PRACTICAL.
4. ANY JOINTS SHALL BE WATER TIGHT AND BE CONSTRUCTED FOR ANTI-FLOTATION. THEY SHALL HAVE (4) GALVANIZED STEEL PLATES 12" X 12" X 1/2", ONE PER SIDE. EACH PLATE SHALL HAVE (4) GALVANIZED STEEL BOLTS (1/2" DIA X 8" L MIN), FOR ANTI-FLOTATION.
5. THROUGHOUT GRADING OPERATION, TEMPORARY SKIMMER SHALL BE IN PLACE AND DRAIN VALVE OPEN. INSTALL TEMPORARY PLUG IN DETENTION DRAWDOWN AND WQ DRAWDOWN.
6. AT END OF PROJECT, AFTER SITE IS STABLE, REMOVED TEMPORARY PLUGS AND SKIMMER AND CLOSE VALVE.

OUTLET CONTROL STRUCTURE
N.T.S.



STANDARD DROP INLET
N.T.S.



HEADWALL
N.T.S.
STRM-26

MAINTENANCE

- INSPECTION ACTIVITIES - (FREQUENCY)**
- WHERE MAINTENANCE REQUIRES DEWATERING, DO SO BY MEANS OF DEWATERING PUMP.
- AFTER CONSTRUCTION**
- INSPECT AFTER SEVERAL STORM EVENTS FOR BANK STABILITY, VEGETATION GROWTH, DRAINAGE SYSTEM FUNCTIONING, AND STRUCTURAL DAMAGE.
- SEMI-ANNUAL INSPECTION**
- INSPECT FOR INVASIVE VEGETATION, DIFFERENTIAL SETTLEMENT, CRACKING, EROSION, LEAKAGE, OR TREE GROWTH ON THE EMBANKMENT; THE CONDITION OF THE RIPRAP IN THE INLET, OUTLET, AND PILOT CHANNELS; SEDIMENT ACCUMULATION IN THE BASIN; CLOGGING OF OUTLET; AND THE VIGOR AND DENSITY OF THE VEGETATION ON THE BASIN SIDE SLOPES AND FLOOR. CORRECT OBSERVED PROBLEMS AS NECESSARY.
- NOTE:** SIGNS OF HYDROCARBON BUILDUP SUCH AS FLOATING OIL ON WATER SURFACE - INSPECT FOR DAMAGE TO THE EMBANKMENT AND INLET/OUTLET STRUCTURES. REPAIR AS NECESSARY. MONITOR FOR SEDIMENT ACCUMULATION IN THE FACILITY AND FOREBAY. EXAMINE INLET AND OUTLET DEVICES TO ENSURE THEY ARE FREE OF DEBRIS AND ARE OPERATIONAL.
- MAINTENANCE ACTIVITIES - (FREQUENCY)**
- ONE TIME**
- REPLACE WET POND VEGETATION TO MAINTAIN AT LEAST 50% OF SURFACE AREA COVERAGE IN WET POND PLANTS AFTER THE SECOND GROWING SEASON.
- AS NEEDED**
- REPAIR UNDERCUT AREAS, EROSION TO BANKS, AND BOTTOM AS REQUIRED. WHERE PERMITTED BY THE DEPARTMENT OF FISH AND GAME OR OTHER AGENCY REGULATIONS, STOCK CONSTRUCTED WET PONDS REGULARLY WITH MOSQUITO FISH (GAMBUSIA SPP.) TO ENHANCE NATURAL MOSQUITO AND MIDGE CONTROL.
- 3 TO 4 TIMES PER YEAR**
- CLEAN AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES.
 - MOW SIDE SLOPES AND REMOVE GRASS CLIPPINGS. REMOVE LITTER AND DEBRIS FROM BANKS, BASIN BOTTOM, TRASH RACKS, OUTLET STRUCTURES, AND VALVES AS REQUIRED.
- ANNUAL (IF NEEDED)**
- SUPPLEMENT WET POND PLANTS IF A SIGNIFICANT PORTION HAVE NOT ESTABLISHED (AT LEAST 50% OF THE SURFACE AREA).
 - REMOVE NUISANCE PLANT SPECIES.
 - CLEAN FOREBAY TO AVOID ACCUMULATION IN MAIN WET POND AREA TO MINIMIZE WHEN THE MAIN WET POND AREA NEEDS TO BE CLEANED.
 - HARVEST PLANT SPECIES IF VEGETATION BECOMES TOO THICK CAUSING FLOW BACKUP AND FLOODING. MORE FREQUENT PLANT HARVESTING MAY BE REQUIRED BY LOCAL VECTOR CONTROL AGENCIES.
 - FERTILIZE NEW VEGETATION ONE TIME ONLY. THE OWNER SHALL NOT FERTILIZE VEGETATION AFTER THE INITIAL OCCURRENCE.
 - MONITOR SEDIMENT ACCUMULATIONS, AND REMOVE SEDIMENT WHEN THE ACCUMULATED SEDIMENT VOLUME EXCEEDS 10-20% OF THE BASIN VOLUME. PLANTS ARE "CHOKED" WITH SEDIMENT, OR THE WET POND BECOMES EUTROPHIC. IT IS SUGGESTED THAT THE MAIN AREA BE CLEANED ONE HALF AT A TIME WITH AT LEAST ONE GROWING SEASON IN BETWEEN CLEANINGS. THIS WILL HELP TO PRESERVE THE VEGETATION AND ENABLE THE WET POND TO RECOVER MORE QUICKLY FROM THE CLEANING.



REVISIONS:	
NO.	DESCRIPTION
1	IMASTER PLAN - FIRST SUBMITTAL

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
STORMWATER DETAILS

DATE:	MAY 22, 2024
DESIGNED BY:	MJP
DRAWN BY:	EDN
CHECKED BY:	JSJ
PROJECT No.	2023008
DRAWING No.	W-4073-MP
SCALE:	1" = 20'
SHEET No.	

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: _____ Date: _____
Town Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: _____
Administrator



EROSION CONTROL LEGEND

- LIMITS OF DISTURBANCE — LOD — LOD —
- SILT FENCE — SF —
- DIVERSION DITCH — TD —
- WATTLE —
- SILT FENCE OUTLET —
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT PIT
- EXISTING MINOR CONTOURS — 70 —
- EXISTING MAJOR CONTOURS — 70 —
- PROPOSED CONTOURS — 70 —
- PROJECT IDENTIFICATION SIGN & RAIN GAGE

DEMOLITION LEGEND

- CURB/DRIVEWAY TO BE REMOVED

CONSTRUCTION SCHEDULE

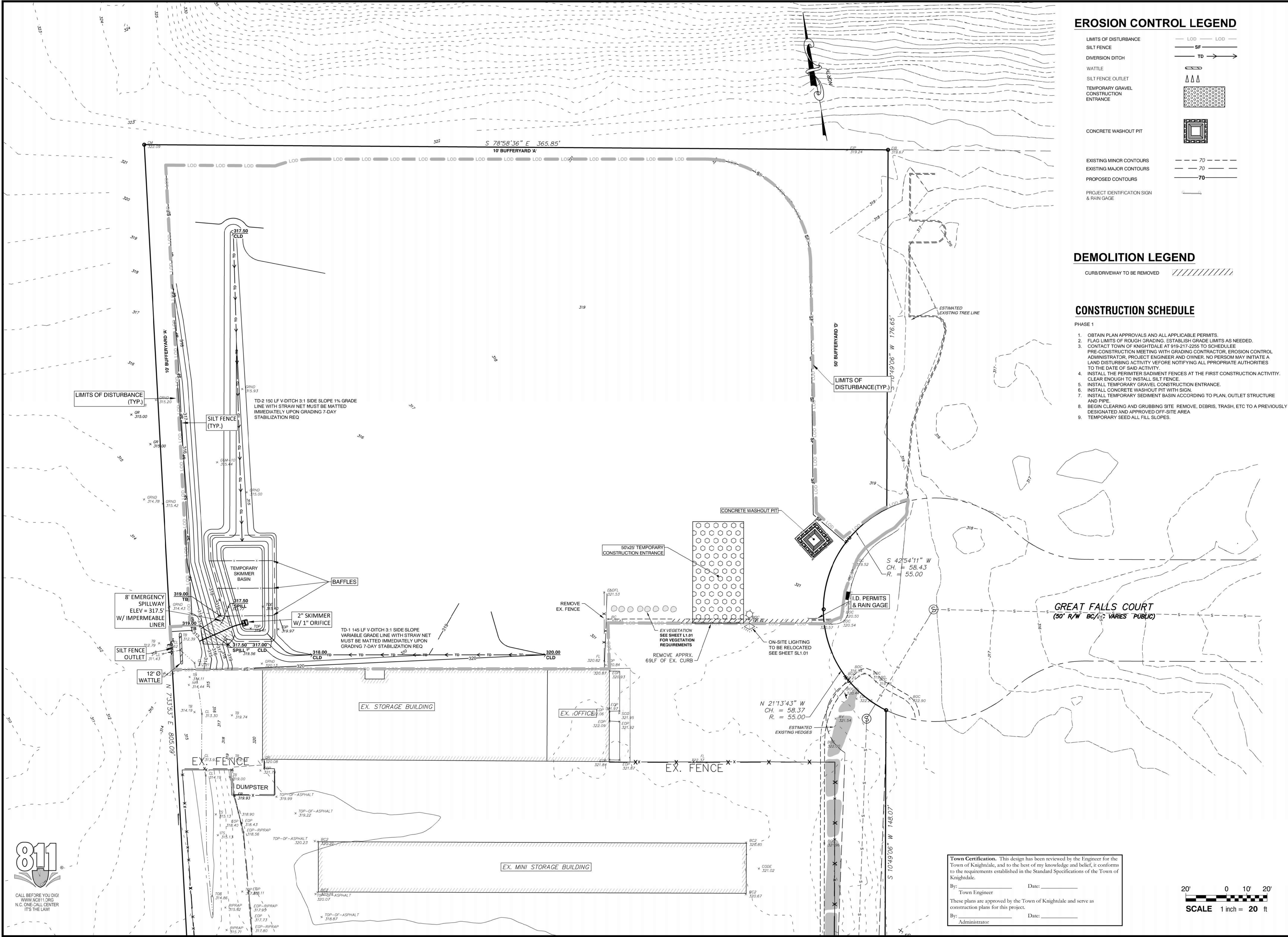
- PHASE 1
1. OBTAIN PLAN APPROVALS AND ALL APPLICABLE PERMITS.
 2. FLAG LIMITS OF ROUGH GRADING. ESTABLISH GRADE LIMITS AS NEEDED.
 3. CONTACT TOWN OF KNIGHTDALE AT 919-217-2255 TO SCHEDULE PRE-CONSTRUCTION MEETING WITH GRADING CONTRACTOR, EROSION CONTROL ADMINISTRATOR, PROJECT ENGINEER AND OWNER. NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING ALL APPROPRIATE AUTHORITIES TO THE DATE OF SAID ACTIVITY.
 4. INSTALL THE PERIMETER SEDIMENT FENCES AT THE FIRST CONSTRUCTION ACTIVITY. CLEAR ENOUGH TO INSTALL SILT FENCE.
 5. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE.
 6. INSTALL CONCRETE WASHOUT PIT WITH SIGN.
 7. INSTALL TEMPORARY SEDIMENT BASIN ACCORDING TO PLAN, OUTLET STRUCTURE AND PIPE.
 8. BEGIN CLEARING AND GRUBBING SITE. REMOVE, DEBRIS, TRASH, ETC TO A PREVIOUSLY DESIGNATED AND APPROVED OFF-SITE AREA.
 9. TEMPORARY SEED ALL FILL SLOPES.

REVISIONS:

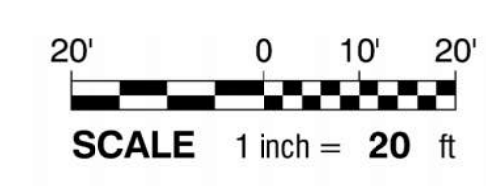
NO.	DESCRIPTION	DATE	BY
1	IMASTER PLAN - FIRST SUBMITTAL	05/21/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
SEDIMENTATION & EROSION CONTROL PLAN

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT NO. 2023008
 DRAWING NO. W-4073-MP
 SCALE: 1" = 20'
 SHEET NO. **C5.01**



Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator



DATE:

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG-1 CONSTRUCTION GENERAL PERMIT

SECTION E: GROUND STABILIZATION

Table with 3 columns: Site Area Description, Stabilize within this many calendar days after ceasing land disturbance, Timeframe variations

GROUND STABILIZATION SPECIFICATION
Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS
1. Select flocculants that are appropriate for the soils being exposed during construction...

EQUIPMENT AND VEHICLE MAINTENANCE
1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.

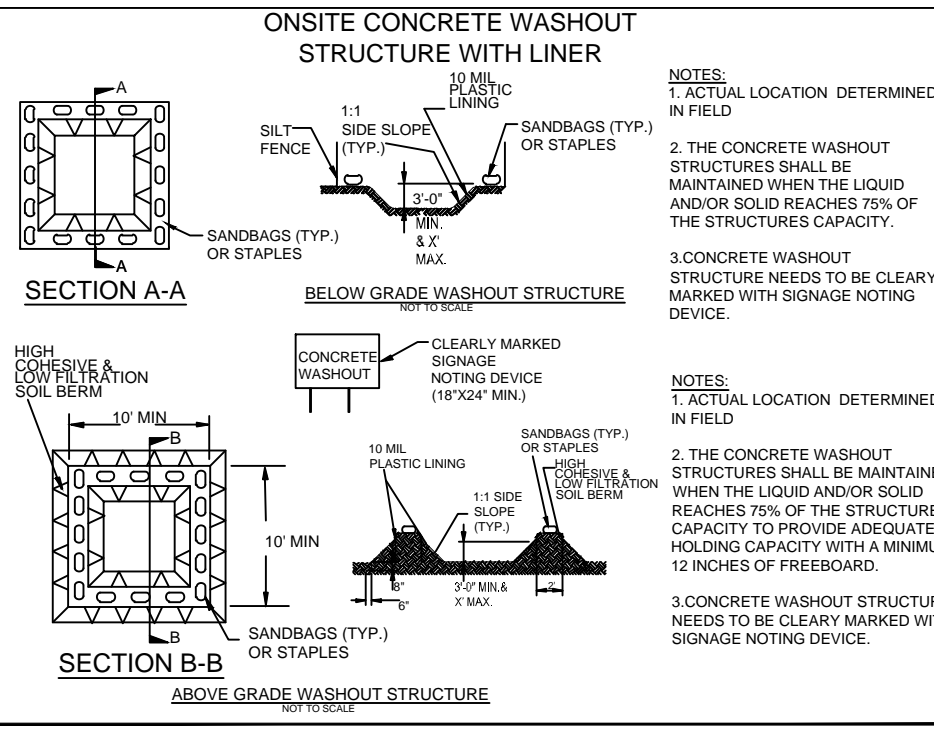
LITTER, BUILDING MATERIAL, AND LAND CLEARING WASTE
1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers...

PAINT AND OTHER LIQUID WASTE
1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters...

PORTABLE TOILETS
1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative temporarily available...

EARTHEN STOCKPILE MANAGEMENT
1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters...

HAZARDOUS AND TOXIC WASTE
1. Create designated hazardous waste collection areas on-site.
2. Place hazardous waste containers under cover or in secondary containment.



CONCRETE WASHOUTS
1. Do not discharge concrete or cement slurry from the site.
2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations...

HERBICIDES, PESTICIDES AND RODENTICIDES
1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
2. Store herbicides, pesticides and rodenticides in their original containers with the label...

PAGE:

Table with 3 columns: SITE AREA DESCRIPTION, STABILIZATION, TIMEFRAME EXCEPTIONS

CONSTRUCTION SCHEDULE

- PHASE 1
1. OBTAIN PLAN APPROVALS AND ALL APPROVALS AND ALL APPLICABLE PERMITS.
2. FLAG LIMITS OF ROUGH GRADING.
3. HOLD PRE-CONSTRUCTION MEETING WITH GRADING CONTRACTOR, EROSION CONTROL ADMINISTRATOR...

EROSION CONTROL NOTES:

- 1. ALL WORK WILL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES. NO LAND DISTURBING ACTIVITY BEYOND THAT REQUIRED TO INSTALL THE APPROPRIATE EROSION CONTROL MEASURES MAY PROCEED UNTIL MEASURES ARE INSPECTED AND APPROVED.

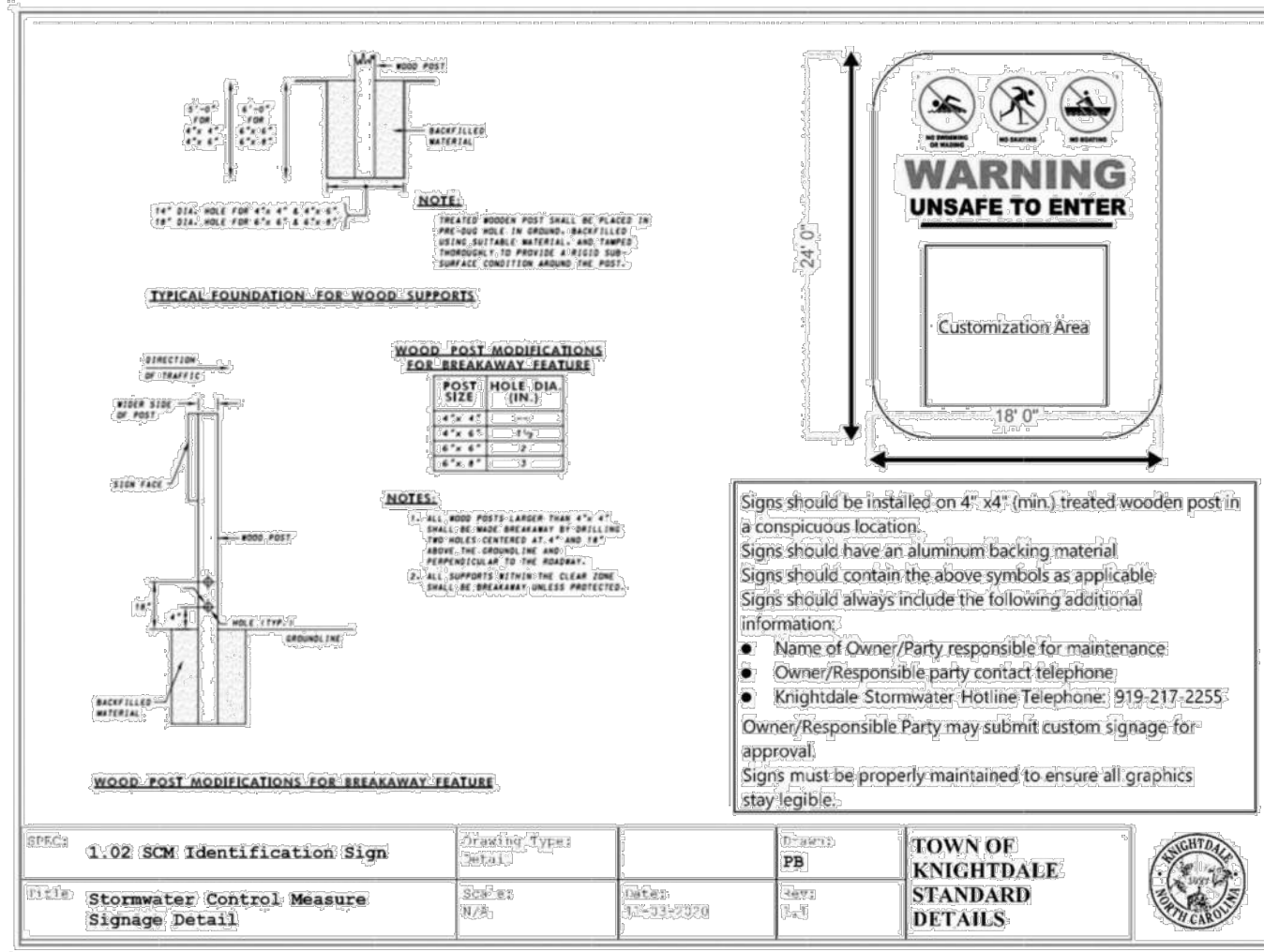


Table with 4 columns: ITEM, QUANTITY, UNIT, PRICE

Table with 3 columns: SEEDING PERIOD, SEEDING TYPE, APPLICATION RATE (LBS/ACRE)

Table with 2 columns: REVISIONS, DATE

Table with 2 columns: TOWN OF KNIGHTDALE STANDARD DETAILS, SEEDING SCHEDULE

Table with 2 columns: TOWN OF KNIGHTDALE STANDARD DETAILS, SEEDING SCHEDULE

Table with 2 columns: TOWN OF KNIGHTDALE STANDARD DETAILS, SEEDING SCHEDULE

Table with 2 columns: TOWN OF KNIGHTDALE STANDARD DETAILS, SEEDING SCHEDULE

Table with 2 columns: TOWN OF KNIGHTDALE STANDARD DETAILS, SEEDING SCHEDULE

Table with 2 columns: TOWN OF KNIGHTDALE STANDARD DETAILS, SEEDING SCHEDULE

Table with 2 columns: TOWN OF KNIGHTDALE STANDARD DETAILS, SEEDING SCHEDULE

Table with 2 columns: TOWN OF KNIGHTDALE STANDARD DETAILS, SEEDING SCHEDULE

Table with 2 columns: TOWN OF KNIGHTDALE STANDARD DETAILS, SEEDING SCHEDULE



NCG-01 GROUND COVER & MATERIALS HANDLING

DATE:

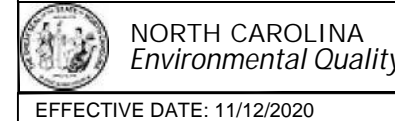
PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT
Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible...

PAGE:

Table with 3 columns: PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING, SECTION A: SELF-INSPECTION

Table with 3 columns: PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING, SECTION B: RECORDKEEPING

Table with 3 columns: PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING, SECTION C: REPORTING



NCG01- SELF INSPECTION



REVISIONS:

Table with 3 columns: NO., DATE, DESCRIPTION

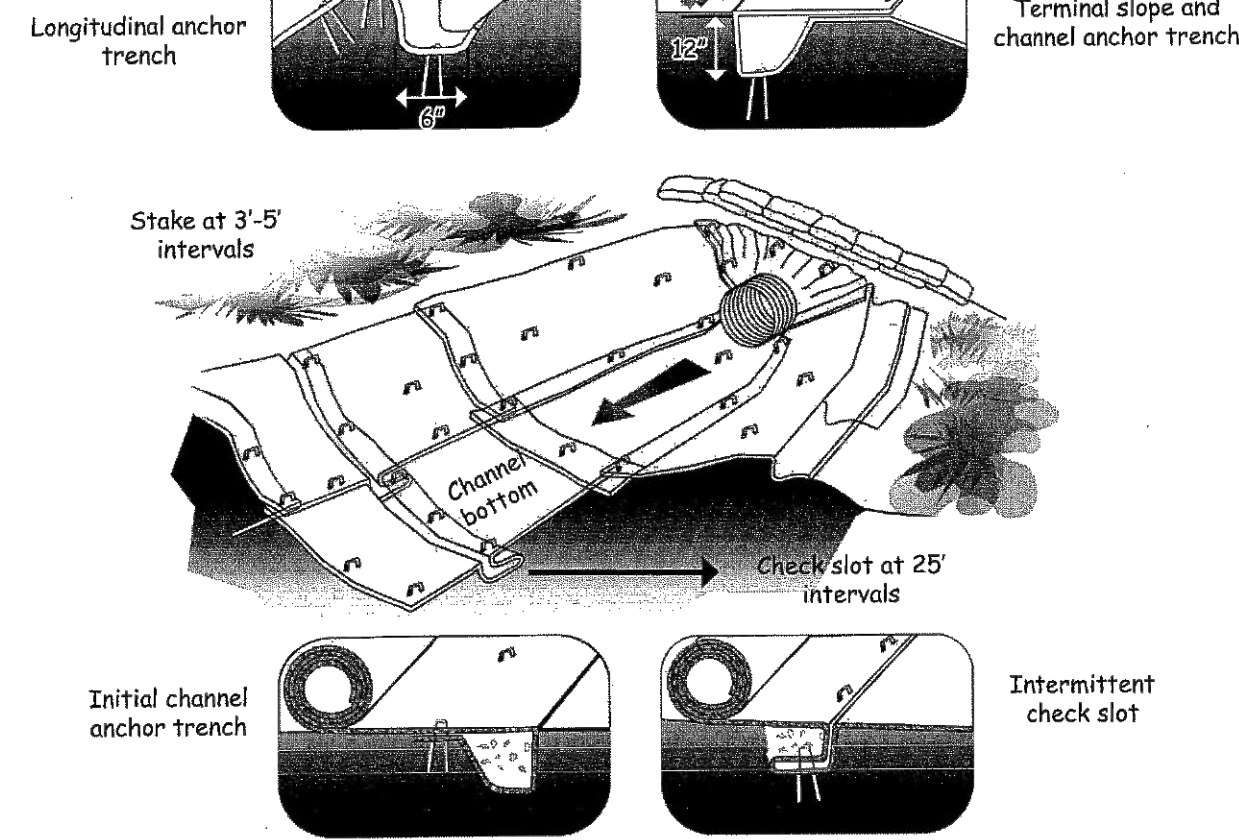
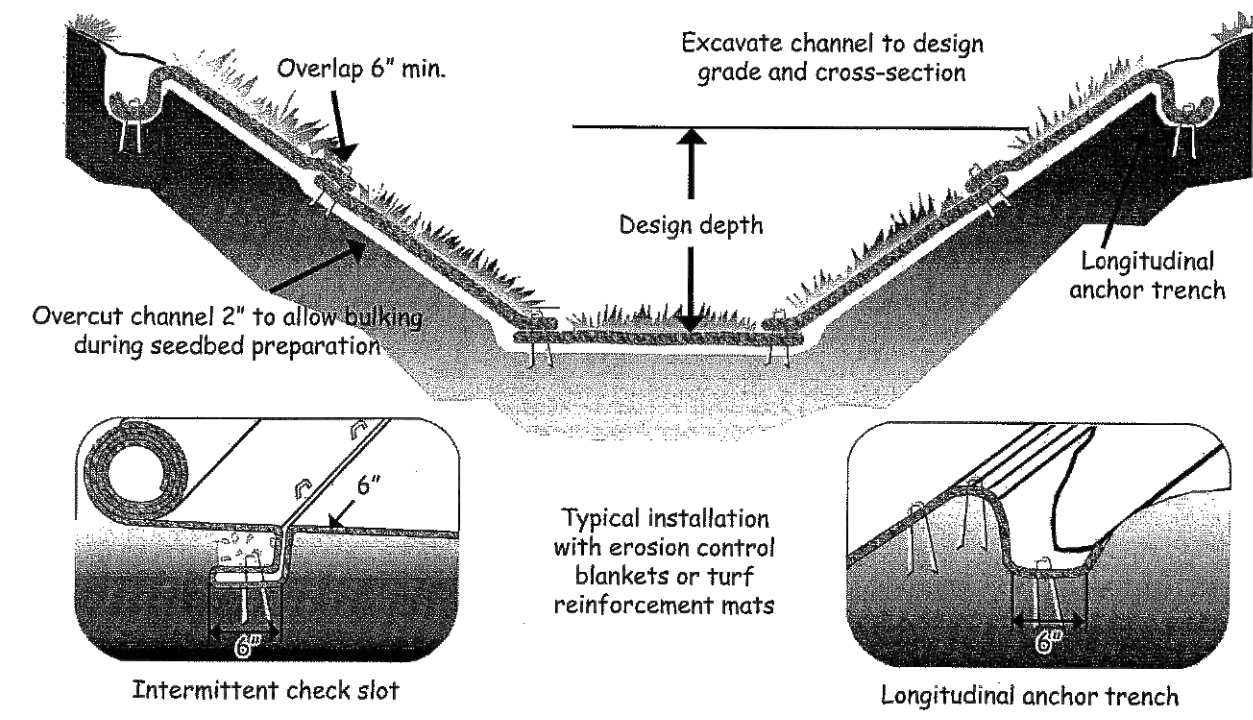
GROUND COVER - WHEREVER LAND DISTURBING ACTIVITY IS UNDERTAKEN ON A TRACT COMPRISING MORE THAN ONE (1) ACRE, A GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE PLANTED OR PROVIDED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS.

Table with 2 columns: DATE, DESIGNED BY, DRAWN BY, CHECKED BY, PROJECT No., DRAWING No., SCALE, SHEET No.

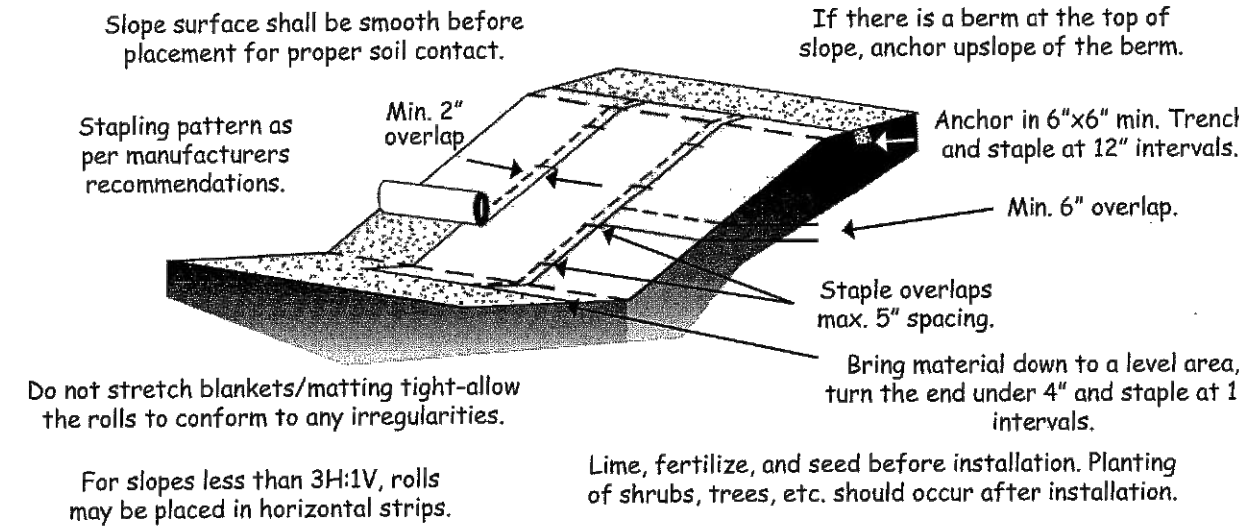
C5.11

RECP DETAIL

N.T.S.



NOTE:
1. Check slots to be constructed per manufacturers specifications.
2. Staking or stapling layout per manufacturers specifications.



NOTES:
1. Design velocities exceeding 2 ft/sec require temporary blankets, mats or similar liners to protect seed and soil until vegetation becomes established.
2. Grass-lined channels with design velocities exceeding 6 ft/sec should include turf reinforcement mats

LINER
CONSTRUCTION SPECIFICATIONS

EVEN IF PROPERLY DESIGNED, IF NOT PROPERLY INSTALLED, RECP'S WILL PROBABLY NOT FUNCTION AS DESIRED. PROPER INSTALLATION IS IMPERATIVE. EVEN IF PROPERLY TIMED AND NOURISHED, VEGETATION WILL PROBABLY NOT GROW AS DESIRED. PROPER SEED/VEGETATION SELECTION IS ALSO IMPERATIVE.

GRADE THE SURFACE OF INSTALLATION AREAS SO THAT THE GROUND IS SMOOTH AND LOOSE. WHEN SEEDING PRIOR TO INSTALLATION, FOLLOW THE STEPS FOR SEED BED PREPARATION, SOIL AMENDMENTS, AND SEEDING IN SURFACE STABILIZATION 6.1. ALL GULLIES, RILLS, AND ANY OTHER DISTURBED AREAS MUST BE FINE GRADED PRIOR TO INSTALLATION. SPREAD SEED BEFORE RECP INSTALLATION. (IMPORTANT: REMOVE ALL LARGE ROCKS, DIRT CLOUDS, STUMPS, ROOTS, GRASS CLUMPS, TRASH, AND OTHER OBSTRUCTIONS FROM THE SOIL SURFACE TO ALLOW FOR DIRECT CONTACT BETWEEN THE SOIL SURFACE AND THE RECP.)

TERMINAL ANCHOR TRENCHES ARE REQUIRED AT RECP ENDS AND INTERMITTENT TRENCHES MUST BE CONSTRUCTED ACROSS CHANNELS AT 25-FOOT INTERVALS. TERMINAL ANCHOR TRENCHES SHOULD BE A MINIMUM OF 12 INCHES IN DEPTH AND 6 INCHES IN WIDTH, WHILE INTERMITTENT TRENCHES NEED BE ONLY 6 INCHES DEEP AND 6 INCHES WIDE.

INSTALLATION FOR SLOPES - PLACE THE RECP 2-3 FEET OVER THE TOP OF THE SLOPE AND INTO AN EXCAVATED END TRENCH MEASURING APPROXIMATELY 12 INCHES DEEP BY 6 INCHES WIDE. PIN THE RECP AT 1 FOOT INTERVALS ALONG THE BOTTOM OF THE TRENCH, BACKFILL, AND COMPACT. UNROLL THE RECP DOWN (OR ALONG) THE SLOPE, MAINTAINING DIRECT CONTACT BETWEEN THE SOIL AND THE RECP. OVERLAP ADJACENT ROLLS A MINIMUM OF 3 INCHES. PIN THE RECP TO THE GROUND USING STAPLES OR PINS IN A 3 FOOT CENTER-TO-CENTER PATTERN. LESS FREQUENT STAPLING/PINNING IS ACCEPTABLE ON MODERATE SLOPES.

INSTALLATION IN CHANNELS - EXCAVATE TERMINAL TRENCHES (12 INCHES DEEP AND 6 INCHES WIDE) ACROSS THE CHANNEL AT THE UPPER AND LOWER END OF THE LINED CHANNEL SECTIONS. AT 25 FOOT INTERVALS ALONG THE CHANNEL, ANCHOR THE RECP ACROSS THE CHANNEL EITHER IN 6 INCH BY 6 INCH TRENCHES OR BY INSTALLING TWO CLOSELY SPACED ROWS OF ANCHORS. EXCAVATE LONGITUDINAL TRENCHES 6 INCHES DEEP AND WIDE ALONG CHANNEL EDGES (ABOVE WATER LINE) IN WHICH TO BURY THE OUTSIDE RECP EDGES. PLACE THE FIRST RECP AT THE DOWNSTREAM END OF THE CHANNEL. PLACE THE END OF THE FIRST RECP IN THE TERMINAL TRENCH AND PIN IT AT 1 FOOT INTERVALS ALONG THE BOTTOM OF THE TRENCH.

NOTE: THE RECP SHOULD BE PLACED UPSIDE DOWN IN THE TRENCH WITH THE ROLL ON THE DOWNSTREAM SIDE OF THE BENCH.

ONCE PINNED AND BACKFILLED, THE RECP IS DEPLOYED BY WRAPPING OVER THE TOP OF THE TRENCH AND UNROLLING UPSTREAM. IF THE CHANNEL IS WIDER THAN THE PROVIDED ROLLS, PLACE ENDS OF ADJACENT ROLLS IN THE TERMINAL TRENCH, OVERLAPPING THE ADJACENT ROLLS A MINIMUM OF 3 INCHES. PIN AT 1 FOOT INTERVALS, BACKFILL, AND COMPACT. UNROLL THE RECP IN THE UPSTREAM DIRECTION UNTIL REACHING THE FIRST INTERMITTENT TRENCH. FOLD THE RECP BACK OVER ITSELF, POSITIONING THE ROLL ON THE DOWNSTREAM SIDE OF THE TRENCH, AND ALLOWING THE MAT TO CONFORM TO THE TRENCH.

THEN PIN THE RECP (TWO LAYERS) TO THE BOTTOM OF THE TRENCH, BACKFILL, AND COMPACT. CONTINUE UP THE CHANNEL (WRAPPING OVER THE TOP OF THE INTERMITTENT TRENCH) REPEATING THIS STEP AT OTHER INTERMITTENT TRENCHES, UNTIL REACHING THE UPPER TERMINAL TRENCH.

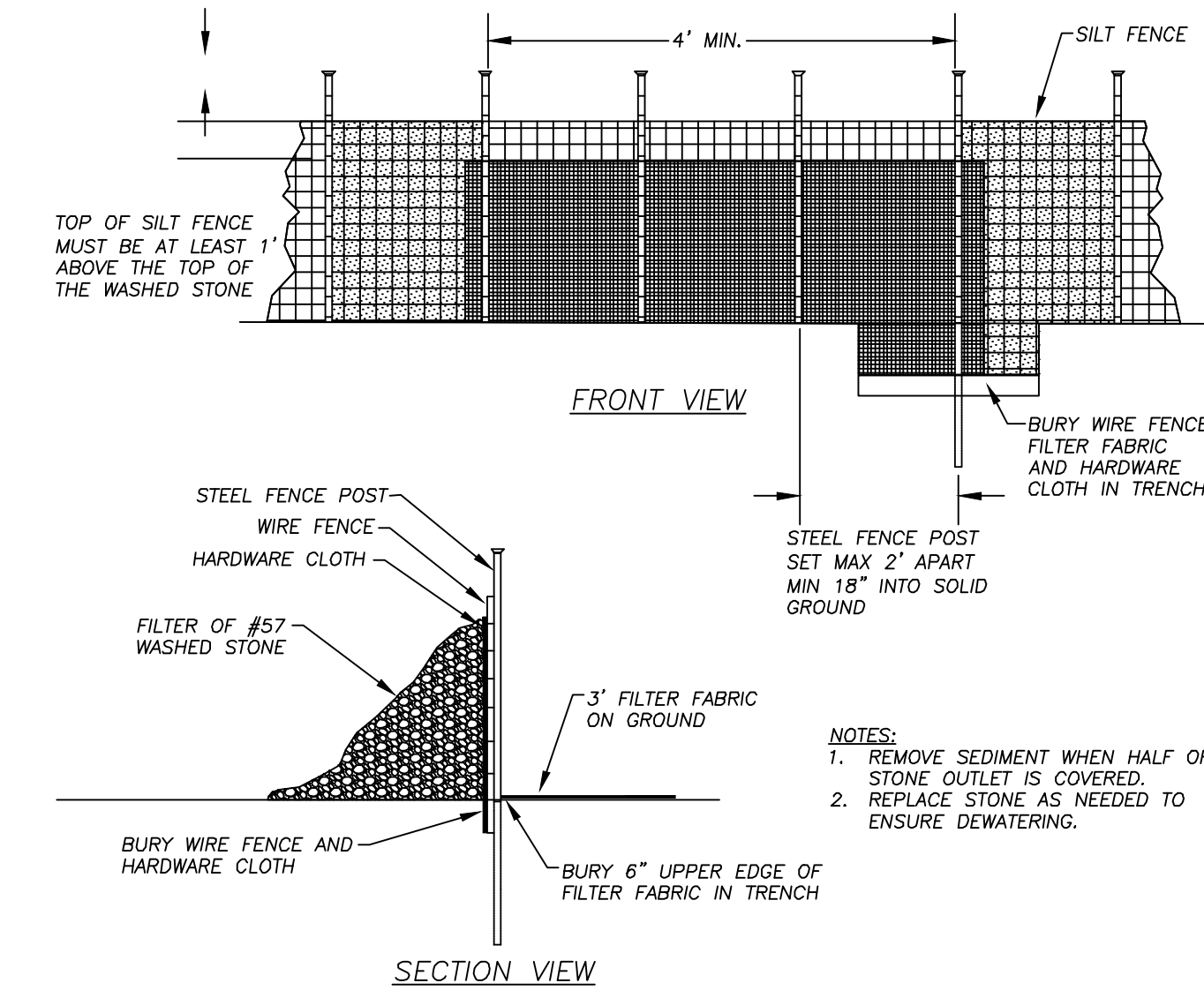
AT THE UPPER TERMINAL TRENCH, ALLOW THE RECP TO CONFORM TO THE TRENCH, SECURE WITH PINS OR STAPLES, BACKFILL, AND COMPACT AND THEN BRING THE MAT BACK OVER THE TOP OF THE TRENCH AND ONTO THE EXISTING MAT (2 TO 3 FEET OVERLAP IN THE DOWNSTREAM DIRECTION), AND PIN AT 1 FOOT INTERVALS ACROSS THE RECP. WHEN STARTING INSTALLATION OF A NEW ROLL, BEGIN IN A TRENCH OR SHINGLE-LAP ENDS OF ROLLS A MINIMUM OF 1 FOOT WITH UPSTREAM RECP ON TOP TO PREVENT UPLIFTING. PLACE THE OUTSIDE EDGES OF THE RECP(S) IN LONGITUDINAL TRENCHES, PIN, BACKFILL, AND COMPACT.

ANCHORING DEVICES - 11 GAUGE, AT LEAST 6 INCHES LENGTH BY 1 INCH WIDTH STAPLES OR 12 INCH MINIMUM LENGTH WOODEN STAKES ARE RECOMMENDED FOR ANCHORING THE RECP TO THE GROUND.

DRIVE STAPLES OR PINS SO THAT THE TOP OF THE STAPLE OR PIN IS FLUSH WITH THE GROUND SURFACE. ANCHOR EACH RECP EVERY 3 FEET ALONG ITS CENTER. LONGITUDINAL OVERLAPS MUST BE SUFFICIENT TO ACCOMMODATE A ROW OF ANCHORS AND UNIFORM ALONG THE ENTIRE LENGTH OF OVERLAP AND ANCHORED EVERY 3 FEET ALONG THE OVERLAP LENGTH. ROLL ENDS MAY BE SPLICED BY OVERLAPPING 1 FOOT IN THE DIRECTION OF WATER FLOW, WITH THE UPSTREAM/DOWNSLOPE MAT PLACED ON TOP OF THE DOWNSTREAM/DOWNSLOPE RECP. THIS OVERLAP SHOULD BE ANCHORED AT 1 FOOT SPACING ACROSS THE RECP. WHEN INSTALLING MULTIPLE WIDTH MATS HEAT SEALED IN THE FACTORY, ALL FACTORY STAPLES AND FIELD OVERLAPS SHOULD BE SIMILARLY ANCHORED.

MAINTENANCE

1. INSPECT ROLLED EROSION CONTROL PRODUCTS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAIN FALL EVENT REPAIR IMMEDIATELY.
2. GOOD CONTACT WITH THE GROUND MUST BE MAINTAINED AND EROSION MUST NOT OCCUR BENEATH THE RECP.
3. ANY AREAS OF THE RECP THAT ARE DAMAGED OR NOT IN CLOSE CONTACT WITH THE GROUND SHALL BE REPAIRED AND STAPLED.
4. IF EROSION OCCURS DUE TO POORLY CONTROLLED DRAINAGE, THE PROBLEM SHALL BE FIXED AND THE ERODED AREA PROTECTED.
5. MONITOR AND REPAIR THE RECP AS NECESSARY UNTIL GROUND COVER IS ESTABLISHED.



STANDARD SILT FENCE OUTLET
N.T.S.

SILT FENCE

MAINTENANCE

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL, MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

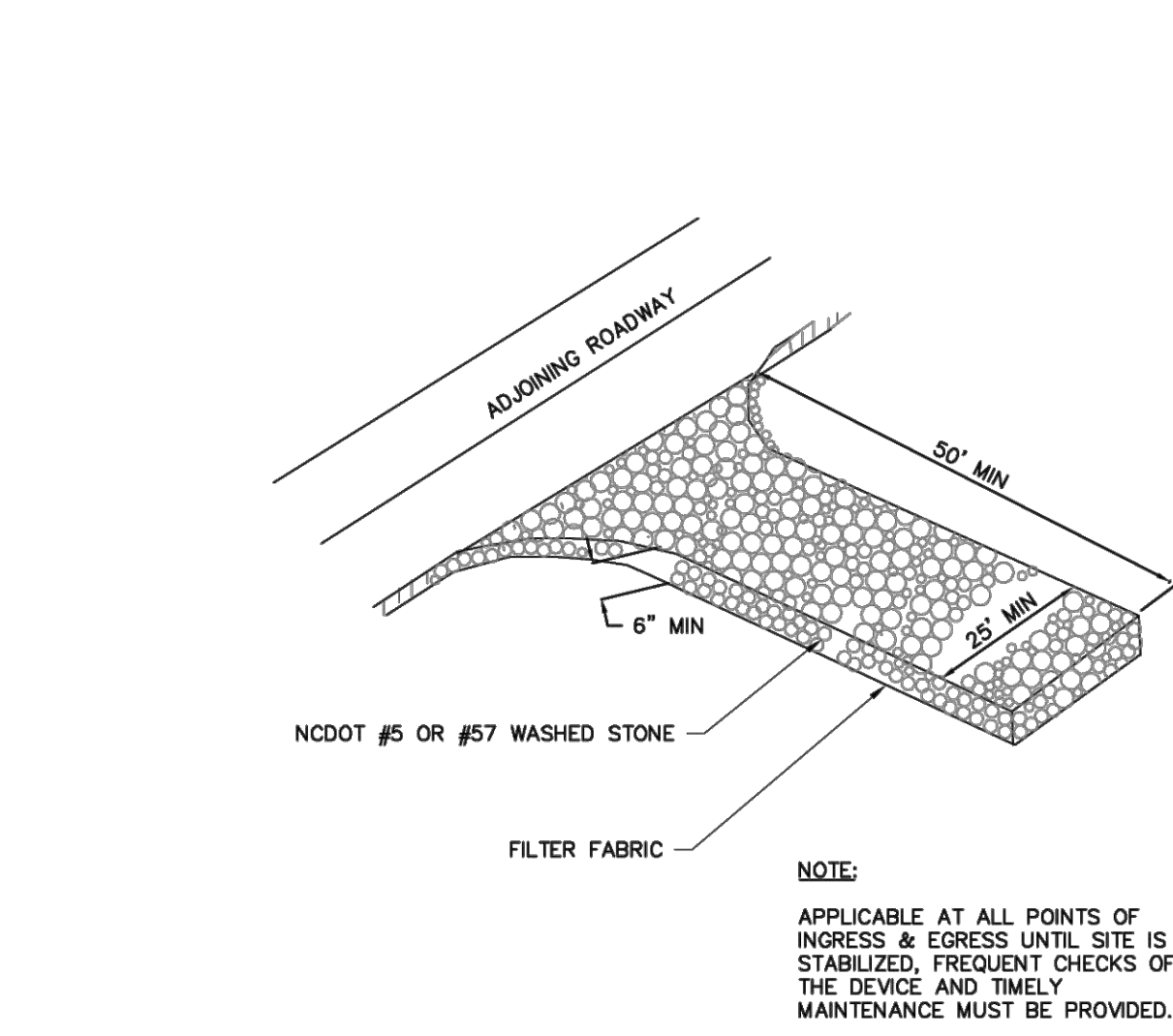
REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

DATE	REVISIONS	DESCRIPTION

TOWN OF KNIGHTDALE STANDARD DETAILS	TEMPORARY CONSTRUCTION ENTRANCE/EXIT	STD. NO. 2,04
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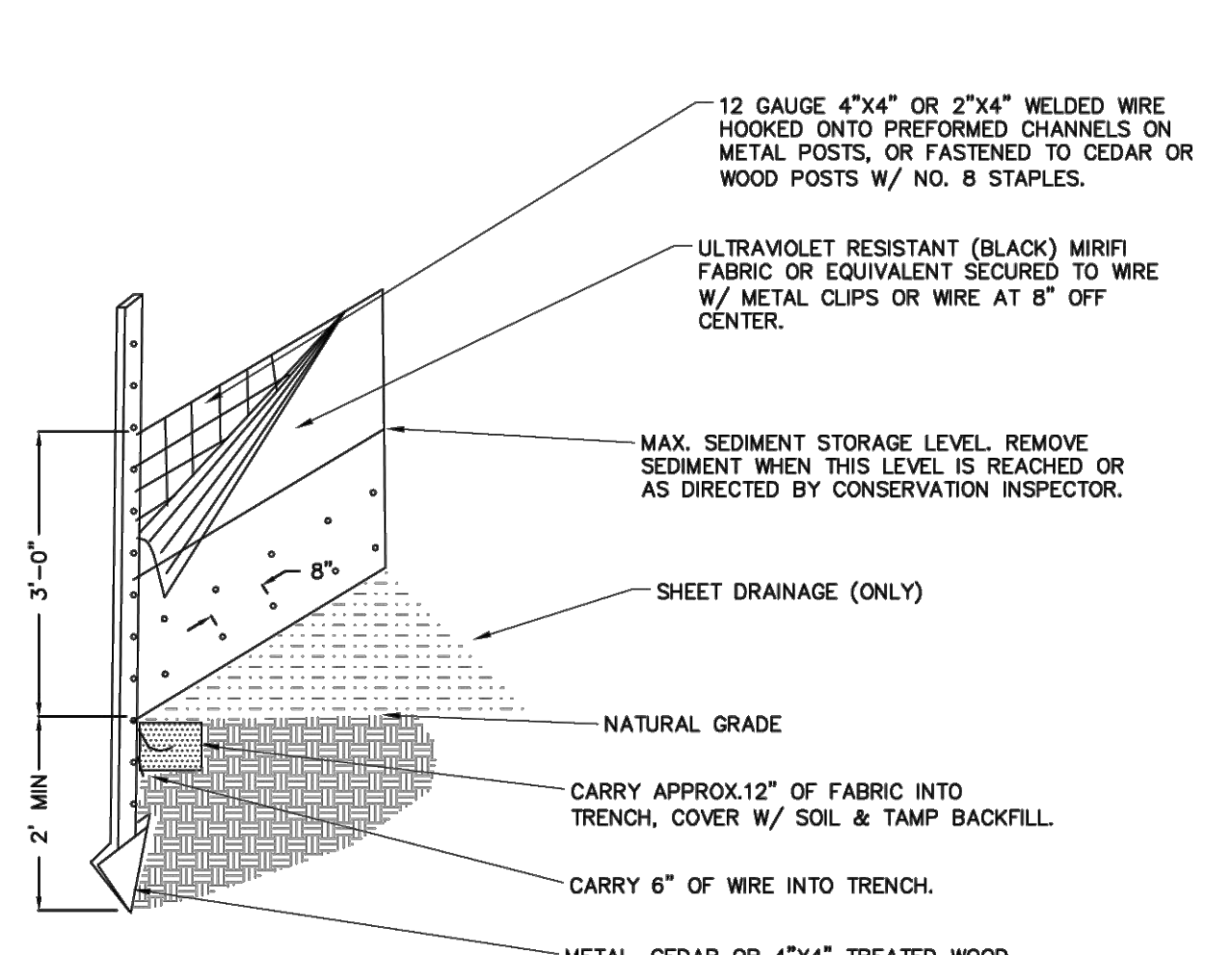
- NOTES:
1. NODOT # 5 OR #57 WASHED STONE SHALL BE USED. PAD TO BE 50'L X 20'W X 6" D AT A MINIMUM.
 2. TURNING RADIUS SUFFICIENT TO ACCOMMODATE LARGE TRUCKS IS TO BE PROVIDED.
 3. ENTRANCE(S) SHOULD BE LOCATED TO PROVIDE FOR MAXIMUM UTILITY BY ALL CONSTRUCTION VEHICLES.
 4. MUST BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR DIRECT FLOW OF MUD ONTO STREETS. PERIODIC TOPDRESSING WITH STONE WILL BE NECESSARY; KEEP SOME HANDY.
 5. ANY MATERIAL WHICH STILL MAKES IT ONTO THE ROAD MUST BE CLEANED UP IMMEDIATELY.



DATE	REVISIONS	DESCRIPTION

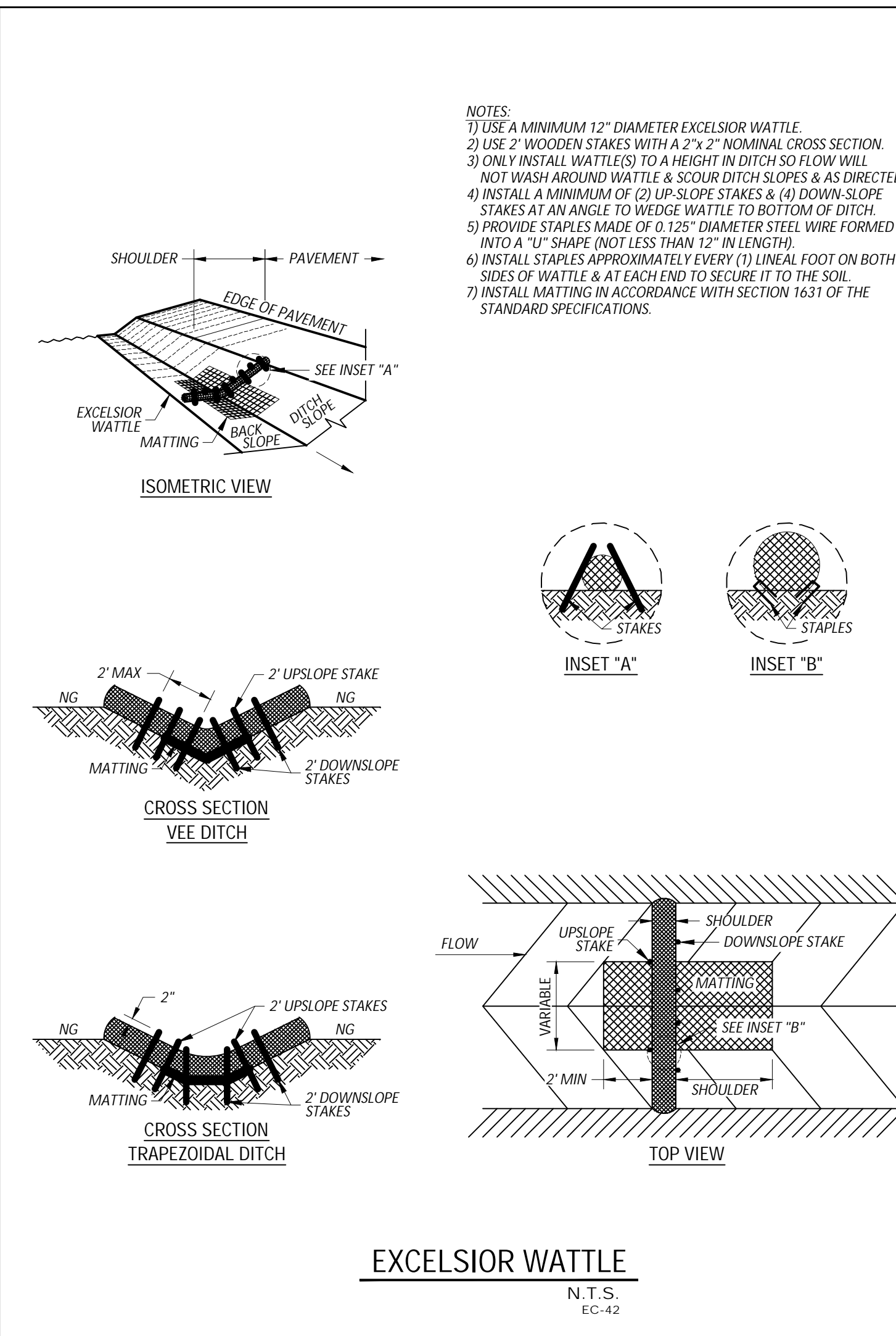
TOWN OF KNIGHTDALE STANDARD DETAILS	TEMPORARY SILT FENCE	STD. NO. 2,03
--	----------------------	------------------

- NOTES:
1. TOTAL DRAINAGE AREA FLOWING TO SILT FENCE MAY NOT EXCEED 1 ACRE.
 2. SILT FENCES SHOULD NOT BE USED AT PIPE OUTLETS OR IN AREAS OF CONCENTRATED FLOW (CREEKS, DITCHLINES, SWELLS ETC.).



DATE	REVISIONS	DESCRIPTION

TOWN OF KNIGHTDALE STANDARD DETAILS	TEMPORARY SILT FENCE	STD. NO. 2,03
--	----------------------	------------------



- NOTES:
- 1) USE A MINIMUM 12" DIAMETER EXCELSIOR WATTLE.
 - 2) USE 2" WOODEN STAKES WITH A 2"x2" NOMINAL CROSS SECTION.
 - 3) ONLY INSTALL WATTLE(S) TO A HEIGHT IN DITCH SO FLOW WILL NOT WASH AROUND WATTLE & SCOUR DITCH SLOPES & AS DIRECTED.
 - 4) INSTALL A MINIMUM OF (2) UPSLOPE STAKES & (4) DOWNSLOPE STAKES AT AN ANGLE TO WEDGE WATTLE TO BOTTOM OF DITCH.
 - 5) PROVIDE STAPLES MADE OF 0.125" DIAMETER STEEL WIRE FORMED INTO A "U" SHAPE (NOT LESS THAN 12" IN LENGTH).
 - 6) INSTALL STAPLES APPROXIMATELY EVERY (1) LINEAL FOOT ON BOTH SIDES OF WATTLE & AT EACH END TO SECURE IT TO THE SOIL.
 - 7) INSTALL MATTING IN ACCORDANCE WITH SECTION 1631 OF THE STANDARD SPECIFICATIONS.

EXCELSIOR WATTLE
N.T.S.
EC-42

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107 East Second Street
Greenville, NC 27658
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REVISIONS:

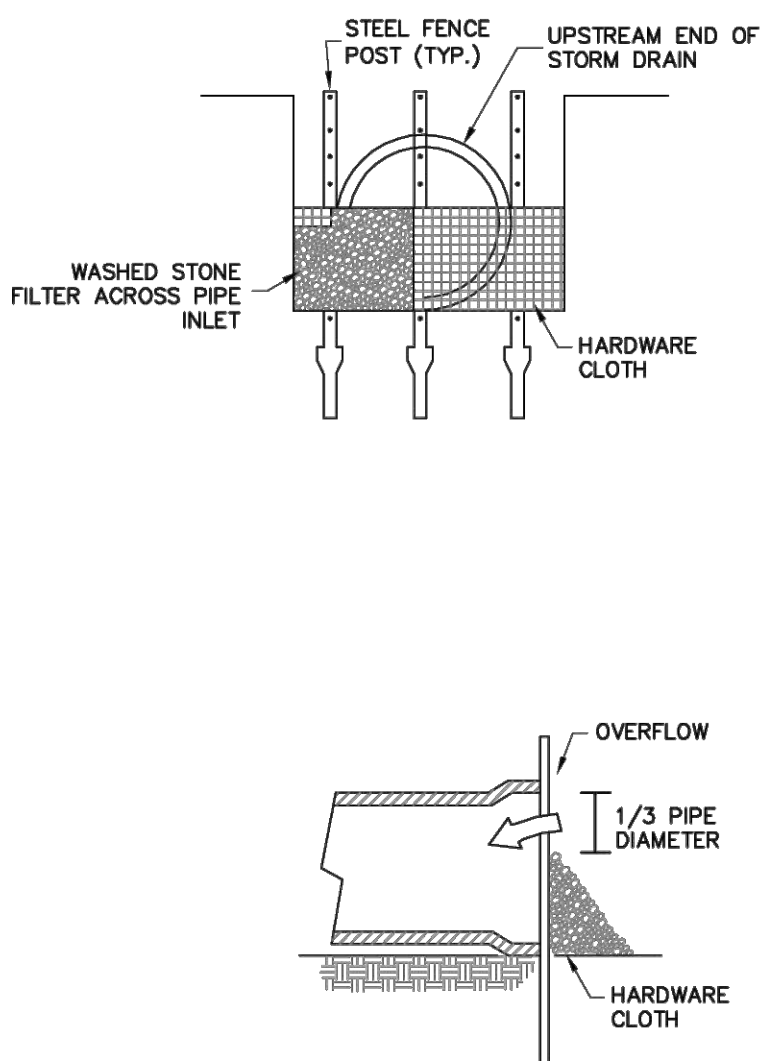
NO.	DESCRIPTION	DATE	BY
1	IMASTER PLAN - FIRST SUBMITTAL	05/21/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
SEDIMENTATION & EROSION CONTROL DETAILS

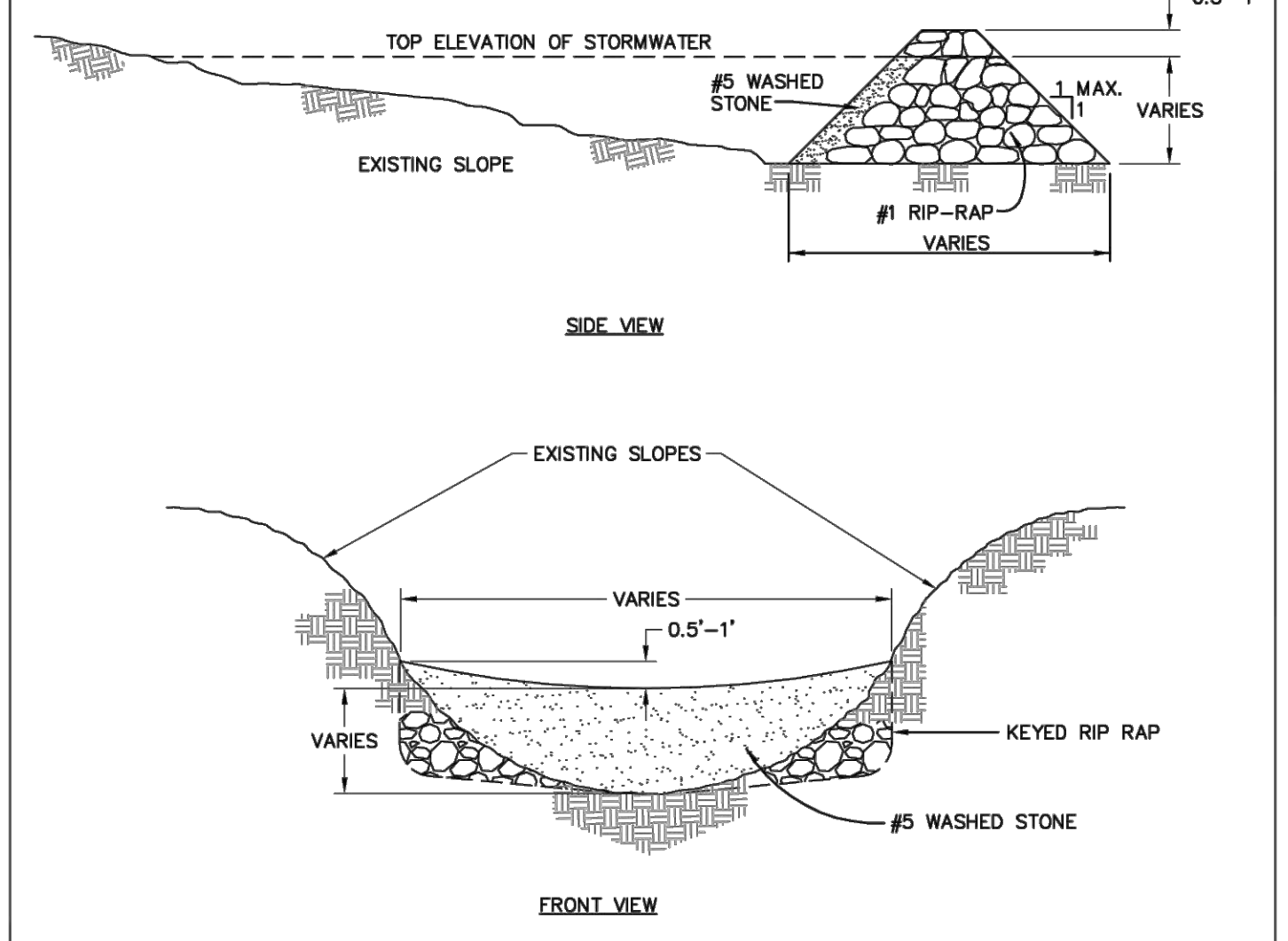
DATE: MAY 22, 2024
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DRAWN BY: EDN
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PROJECT No. 2023008
DRAWING No. W-4073-MP
SCALE: 1" = 20'
SHEET No.
C5.21

NOTE:

ALL PARTIALLY COMPLETED STORM DRAINS SHALL BE PROTECTED AT THE END OF EACH DAY IN ACCORDANCE WITH THESE DRAWINGS.



REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.09
TOWN OF KNIGHTDALE STANDARD DETAILS		PIPE INLET PROTECTION

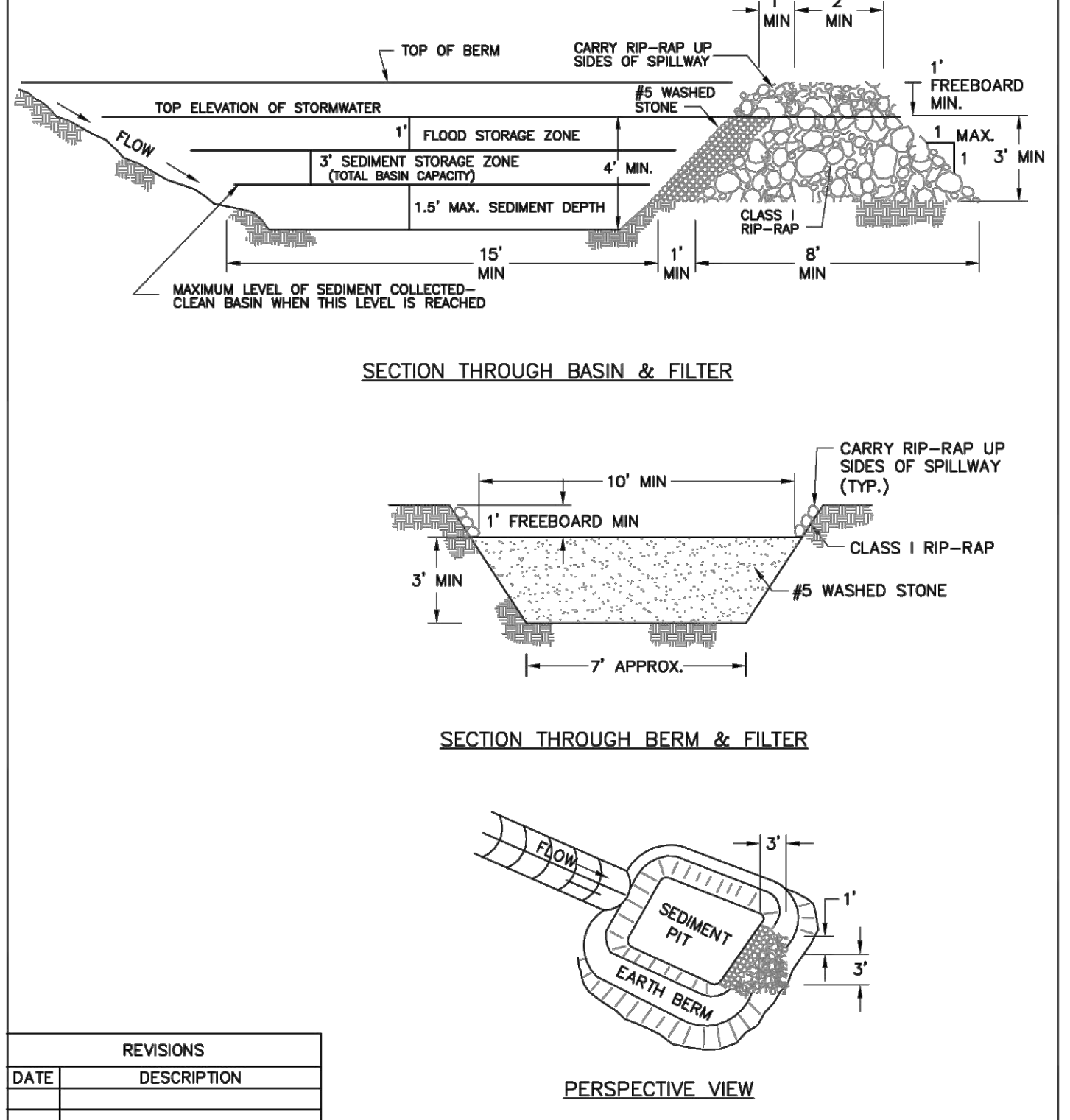


DESIGN OF SPILLWAYS

DRAINAGE AREA (ACRES)	MINIMUM WEIR LENGTH (FT)
1	4.0
2	6.0
3	8.0
4	10.0
5	12.0

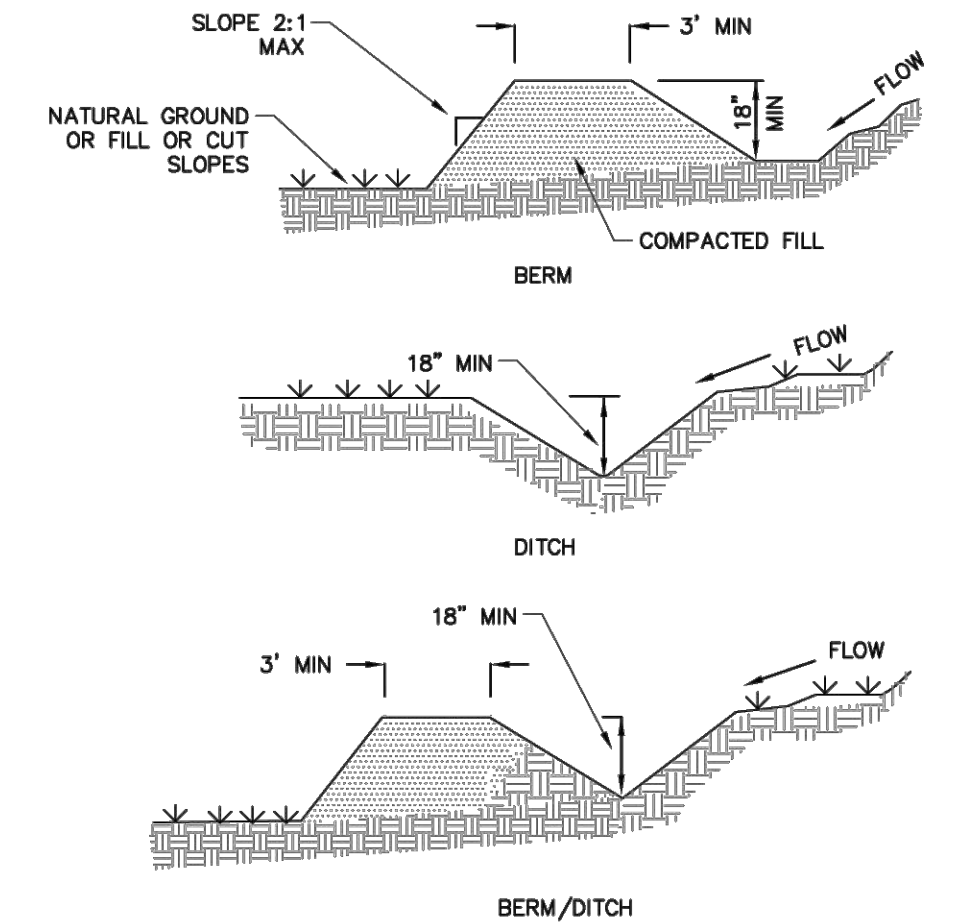
- NOTES:**
- HEIGHT & WIDTH DETERMINED BY EXISTING TOPOGRAPHY AND SEDIMENT STORAGE REQUIRED.
 - KEY RIP RAP INTO THE DAM FOR STABILIZATION.

REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.05
TOWN OF KNIGHTDALE STANDARD DETAILS		STANDARD CHECK DAM



REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.07
TOWN OF KNIGHTDALE STANDARD DETAILS		STANDARD SEDIMENT BASIN

- NOTES:**
- MACHINE COMPACTION OF ALL FILL IS REQUIRED. DIVERSIONS SUFFICIENT TO DIRECT ALL SEDIMENT-LADEN STORMWATER INTO A SEDIMENT CONTROL DEVICE MUST BE INSTALLED PRIOR TO CLEARING AND GRUBBING OF THE AREA (OR IN CONJUNCTION WITH THIS OPERATION IF SEDIMENT CONTROLS AND DIVERSIONS ARE INSTALLED AS EACH CRITICAL POINT IS REACHED).
 - DIVERSIONS SHOULD BE LOCATED TO MINIMIZE DAMAGES BY CONSTRUCTION OPERATIONS.
 - DIVERSIONS SHOULD BE SEEDED AND MULCHED IF THEY ARE TO REMAIN IN PLACE OVER 30 DAYS.
 - CHECK DEVICE AFTER EACH RAIN, BUT ONCE A WEEK REGARDLESS. REPAIR AS NECESSARY.



NOTE:
POSITIVE GRADE MUST BE PROVIDED TO ASSURE DRAINAGE. IF SLOPE EXCEEDS 2% SEED AND MULCH DIVERSION. TRY NOT TO EXCEED 2% (HIGH VELOCITIES RESULT).
MAXIMUM DRAINAGE AREA = 5 ACRES WITHOUT SUPPORTING CALCS. DIVERSIONS AT THE TOP OF SLOPES MUST BE EMPTY INTO AN APPROVED SLOPE DRAIN. BERM/DITCH IS MOST COMMONLY USED.

REVISIONS		STD. NO.
DATE	DESCRIPTION	
		2.02
TOWN OF KNIGHTDALE STANDARD DETAILS		TEMPORARY DIVERSION BERM/DITCH

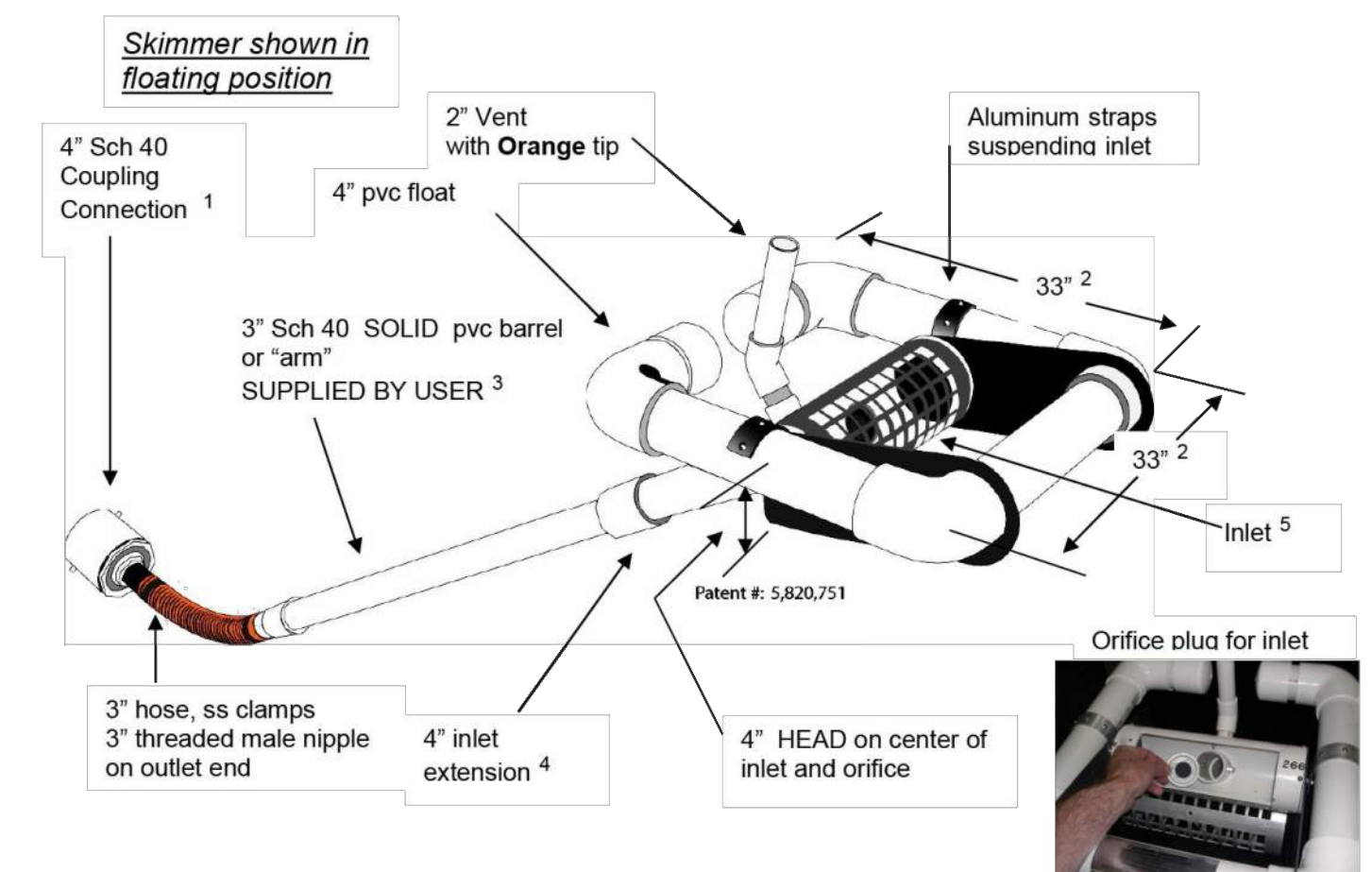
NC License # 20324
Rivers
 ENGINEERS, ARCHITECTS, & ASSOCIATES, INC.
 Since 1918
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 Greenville, NC 27658
 (252) 752-4135
 Engineers
 Planners
 Surveyors
 Landscape Architects

SEAL
 PROFESSIONAL ENGINEER
 W. J. DUKAKIS

REVISIONS:		DATE	BY
		05/21/24	
1 IMASTER PLAN - FIRST SUBMITTAL			

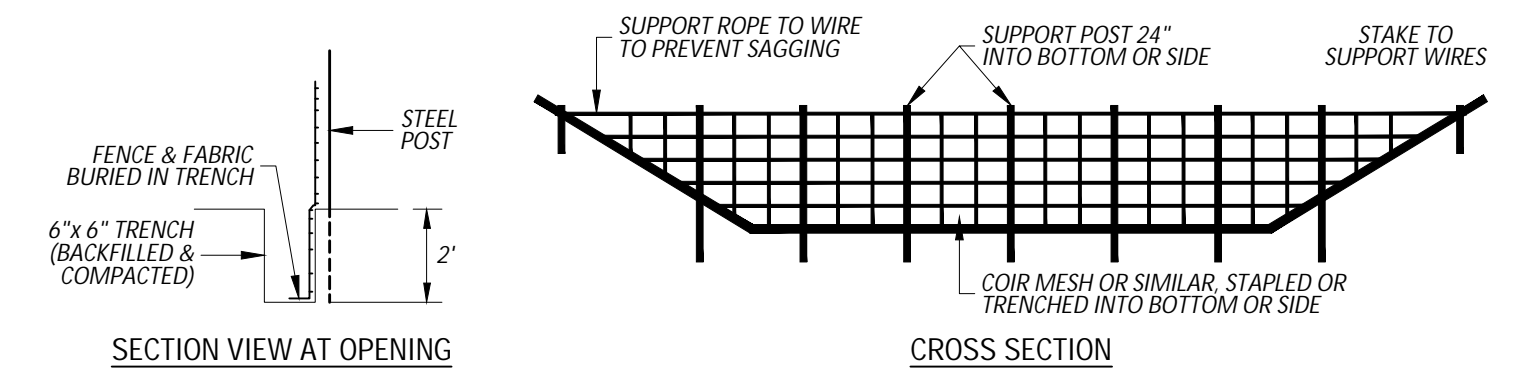
P:\LANDDEV\AMPE-AMPE_SIT-DIGITAL\202308\CADD_DRAWINGS\DETAILS\DWG-LAYOUT1-5/21/2024 10:08:41 AM - MAST PROXOP

4" Faircloth Skimmer® Surface Drain Cut Sheet
 J. W. Faircloth & Son, Inc.
www.FairclothSkimmer.com



- Coupling can be removed and hose attached to outlet using the threaded 3" nipple. Typical methods used: on a metal structure a steel stubout welded on the side at the bottom with a 3" threaded coupling or reducers; on a concrete structure with a hole or orifice at the bottom, use a steel plate with a hole cut in it and coupling welded to it that will fit over the hole in the concrete and bolted to the structure with sealant. It is possible to grout a 4" PVC pipe in a hole in the concrete to connect the skimmer but this is less secure than other methods.
- Dimensions are approximate, not intended as plans for construction.
- Barrel (solid, not foam core pipe) should be 1.4 times the depth of water with a minimum length of 8' so the inlet can be pulled to the side for maintenance. If more than 10' long weight may have to be added to inlet to counter the increased buoyancy.
- Inlet tapers down from 4" maximum inlet to a 3" barrel and hose. Barrel is smaller to reduce buoyancy and tendency to lift inlet but is sufficient for flow through inlet because of slope. The inlet orifice can be reduced using the plug and cutter provided to control the outflow rate.
- Inlet is 8" pipe between the straps with slots cut in the inlet and aluminum screen door (smaller than shown in illustration) for access to the 4" inlet and orifice inside.
- Capacity 20,109 cubic feet per day maximum with 4" inlet and 4" head. Inlet can be reduced by installing a smaller orifice using the plug and cutter provided to adjust flow rate for the particular basin volume and drawdown time required.
- Shipped assembled. User glues inlet extension and barrel, installs vent, cuts orifice in plug and attaches to outlet pipe or structure. Includes flexible hose, rope, orifice cutter, etc.

4inchCut TM 11-07 January 15, 2019



- NOTES:**
- BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM & SIDES USING STAPLES OR BY TRENCHING AS FOR SILT FENCE.
 - MOST OF THE SEDIMENT WILL ACCUMULATE IN THE FIRST BAY, WHICH SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE.
 - PROVIDE 3 BAFFLES (USE 2' IF LESS THAN 20' IN LENGTH) PROVIDE 5 BAFFLES FOR DRAINAGE AREAS GREATER THAN 10 ACRES.
 - BAFFLE SHALL BE 700 G/M2 COIR EROSION BLANKET.
 - TOPS OF BAFFLES SHALL BE 2" LOWER THAN THE TOP OF THE BERMS.
 - INSPECT BAFFLES FOR REPAIR ONCE A WEEK AND AFTER EACH RAINFALL.

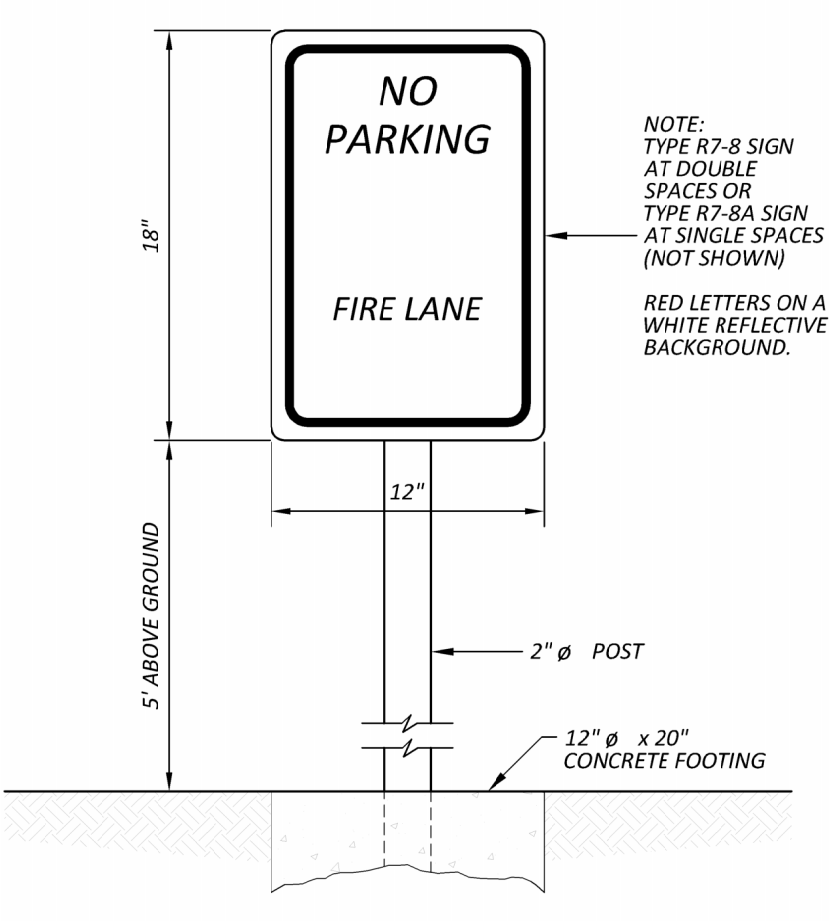
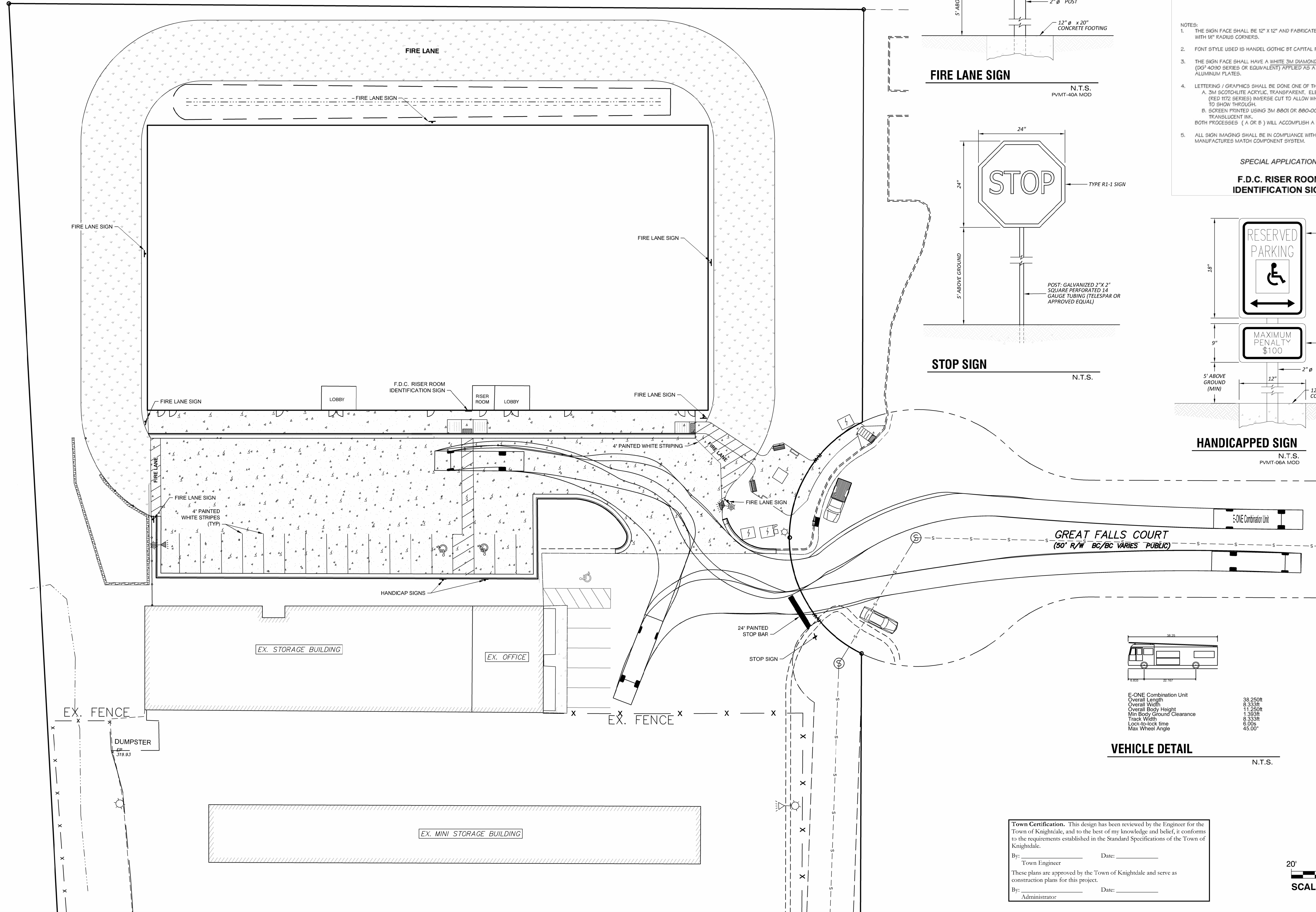
STANDARD BAFFLES
 N.T.S.

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator

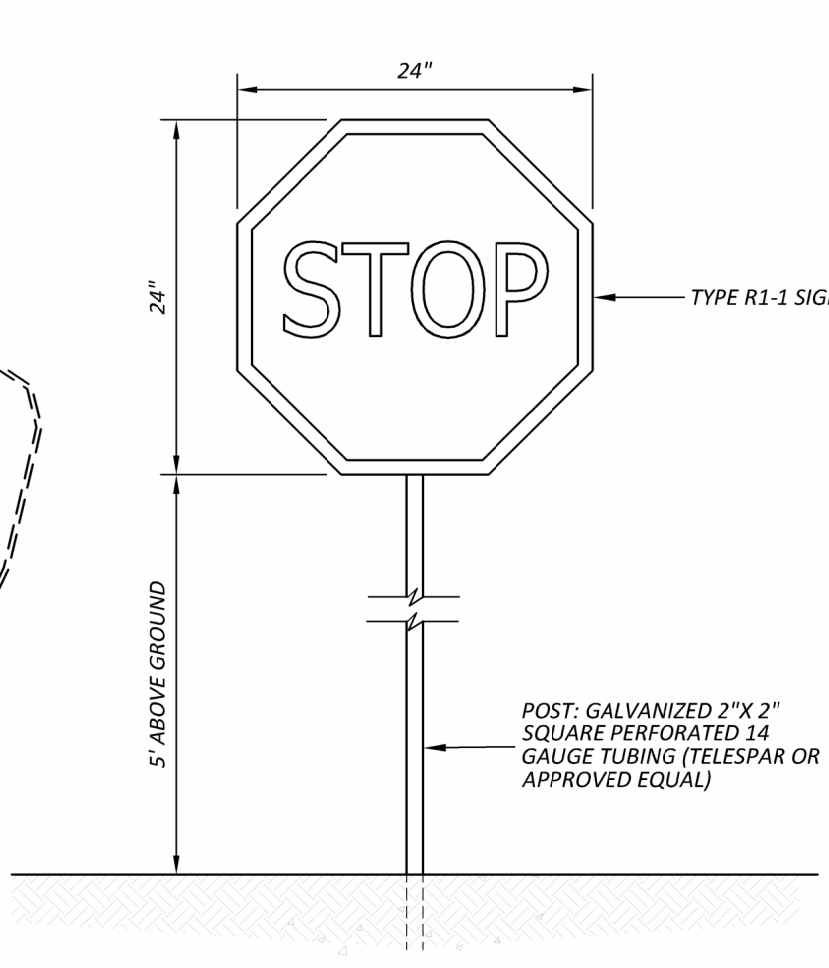
LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA
SEDIMENTATION & EROSION CONTROL DETAILS

DATE:	MAY 22, 2024
DESIGNED BY:	MJP
DRAWN BY:	EDN
CHECKED BY:	JSJ
PROJECT No.	2023008
DRAWING No.	W-4073-MP
SCALE:	1" = 20'
SHEET No.	C5.22

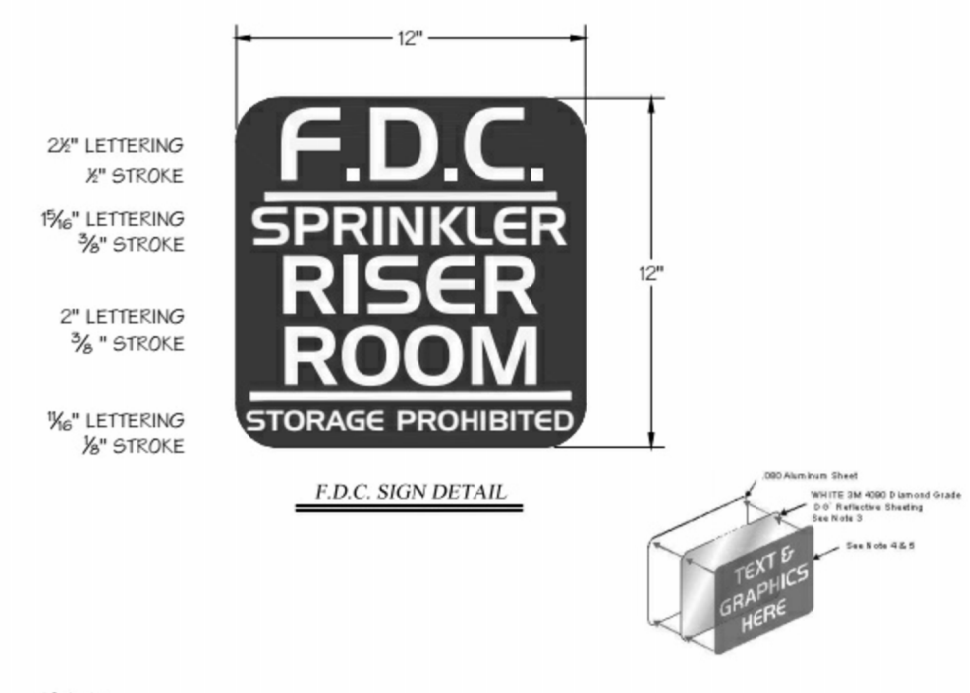
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FIRE LANE SIGN
N.T.S.
PVMT-40A MOD



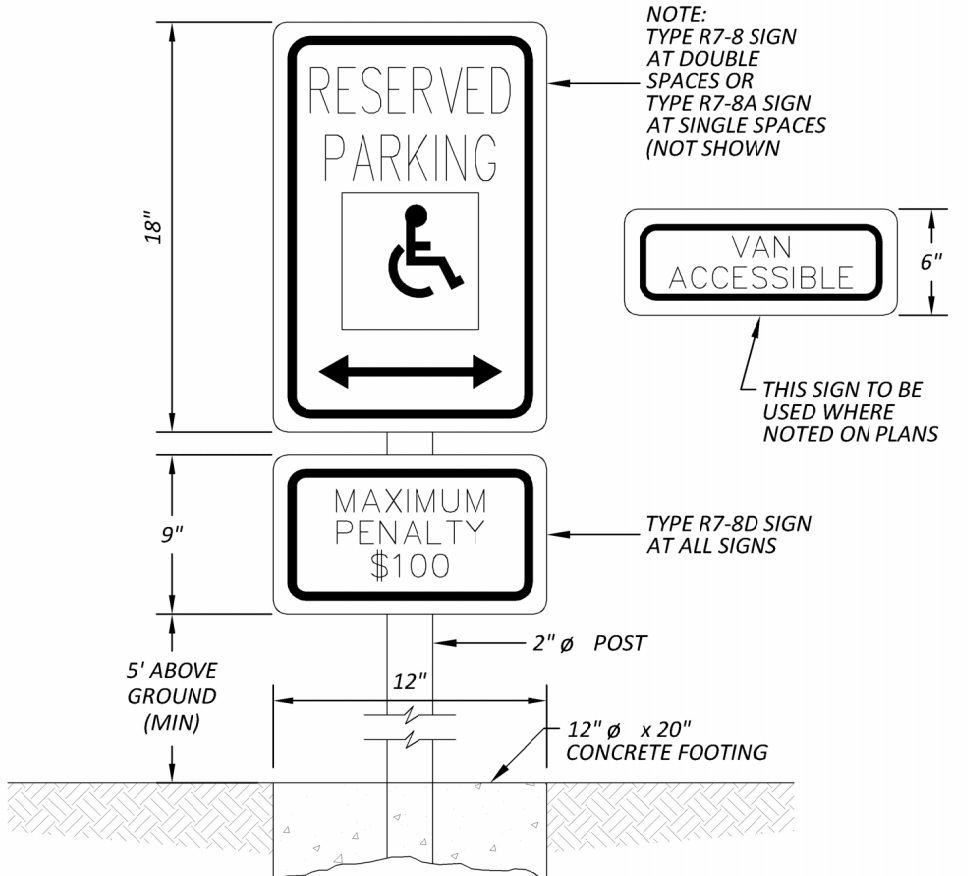
STOP SIGN
N.T.S.



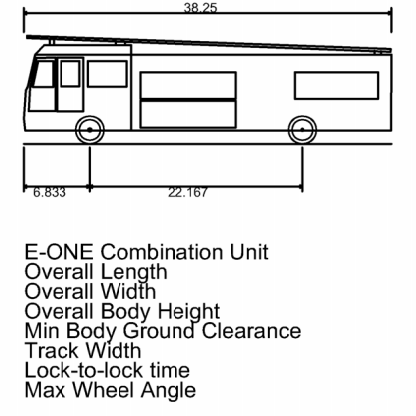
F.D.C. RISER ROOM IDENTIFICATION SIGN
N.T.S.

NOTES:

1. THE SIGN FACE SHALL BE 12" X 12" AND FABRICATED FROM .080 ALUMINUM SHEET WITH 1/2" RADIUS CORNERS.
2. FONT STYLE USED IS HANDEL GOTHIC BT CAPITAL FONTS
3. THE SIGN FACE SHALL HAVE A WHITE 3M DIAMOND GRADE REFLECTIVE SHEETING (3M 4090 SERIES OR EQUIVALENT) APPLIED AS A BACKGROUND TO THE ALUMINUM PLATES.
4. LETTERING / GRAPHICS SHALL BE DONE ONE OF THE FOLLOWING WAYS:
 - A. 3M SCOTCHLITE ACRYLIC, TRANSPARENT, ELECTRONIC CUTTABLE FILM, (RED 1172 SERIES) INVERSE CUT TO ALLOW WHITE REFLECTIVE BACKGROUND TO SHOW THROUGH.
 - B. SCREEN PRINTED USING 3M 8801 OR 880-00 SERIES TRAFFIC SIGN RED TRANSLUCENT INK. BOTH PROCESSES (A OR B) WILL ACCOMPLISH A RED FIELD WITH WHITE COPY.
5. ALL SIGN IMAGING SHALL BE IN COMPLIANCE WITH THE REFLECTIVE SHEETING MANUFACTURERS MATCH COMPONENT SYSTEM.



HANDICAPPED SIGN
N.T.S.
PVMT-05A MOD



VEHICLE DETAIL
N.T.S.

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
Administrator



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Greenville, NC 27658
(252) 752-4135
Engineers
Planners
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Landscape Architects



REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	1 MASTER PLAN - FIRST SUBMITTAL	05/21/24	

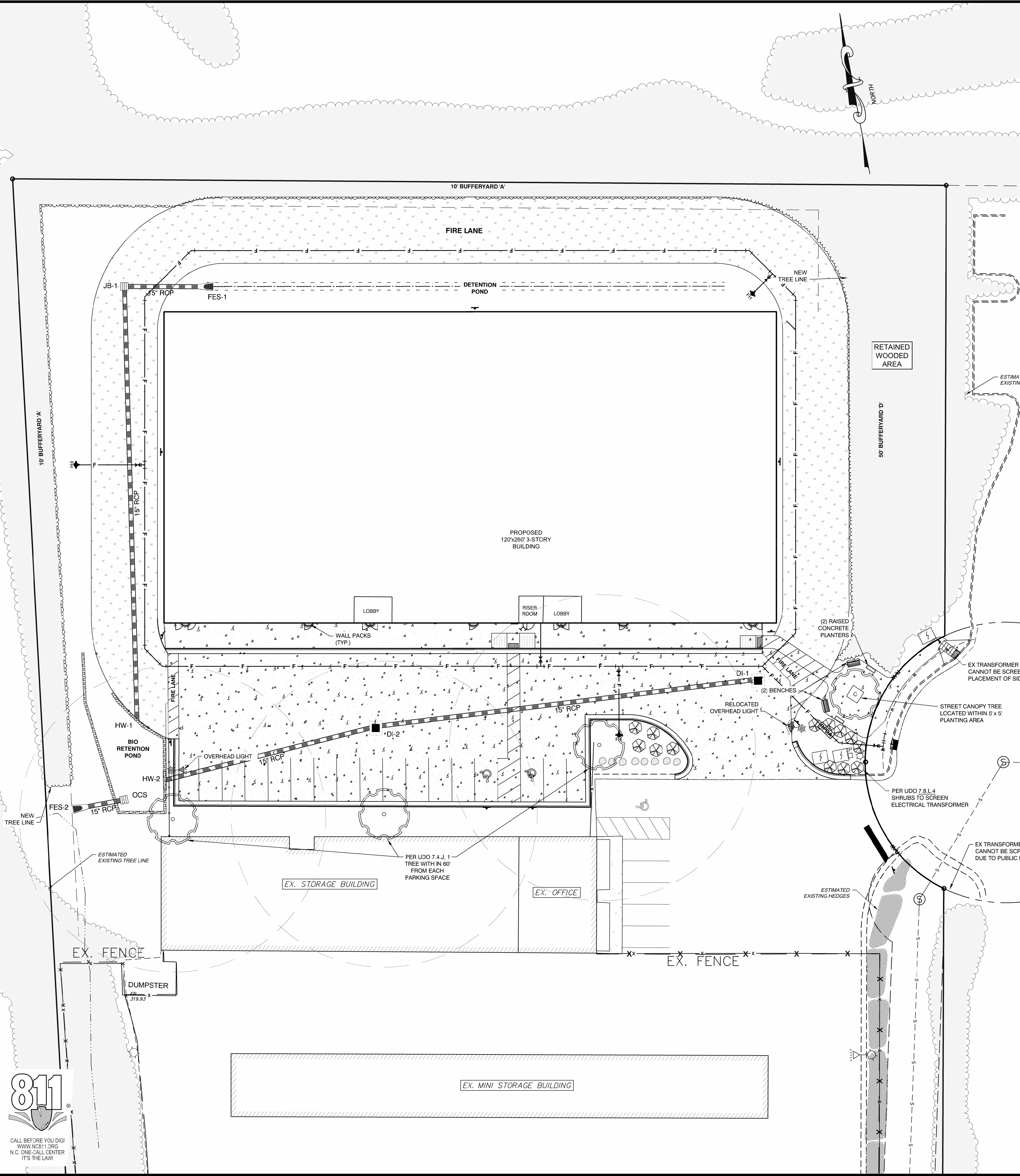
LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
PAVEMENT MARKING, SIGNAGE & TRAFFIC CONTROL PLAN

DATE: MAY 22, 2024
DESIGNED BY: MJP
DRAWN BY: EDN
CHECKED BY: JSJ
PROJECT No. 2023008
DRAWING No. W-4073-MP
SCALE: 1" = 20'
SHEET No. **C6.41**

P:\LANDDEV\LAMPE-AMPE-811-KNIGHTDALE-202308\CADD_DRAWINGS\MASTER PLAN\W-4073 LANDSCAPE.DWG - LAYOUT - 5/21/2024 12:41:34 PM - MAT PRODU



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N.C. ONE-CALL CENTER
IT'S THE LAW!



LANDSCAPING REQUIREMENTS

- 7.4.M.2 - TREE COVER AREA
 <10% REQ.
 ESTIMATED UNDISTURBED, TREE CANOPY 31,139 SF
 31,139 SF / 303,818 SF = .1024 OR 10.2%
- 7.4.J - PARKING LOT LANDSCAPING
 1 PER END OF PARKING ROW = 2
 60' FROM PARKING = 1
 3 REQ
 3 PROVIDED
- 7.8.L - STREET TREE PLANTING
 10' FROM LIGHT POLES
 12' FROM ELECTRICAL TRANSFORMERS
 1 REQ
 1 PROVIDED

SITE PLANTING INFO

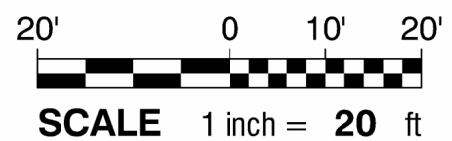
1. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE STANDARD SPECIFICATIONS & DETAIL MANUAL.
2. ANY EXISTING VEGETATION THAT IS TO BE USED FOR THE VEGETATION REQUIREMENTS SHOWN MUST BE APPROVED BY THE TOWN OF KNIGHTDALE.
17. VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN PLANT LIST AND ON THE PLAN SHALL BE THE RESPONSIBILITY OF CONTRACTOR. ANY DISCREPANCIES BETWEEN PLANT LIST AND PLANTING PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
18. DECIDUOUS CANOPY TREES SHALL BE A MINIMUM OF 2" CALIPER AND A MINIMUM OF 8' IN HEIGHT ABOVE GROUND AT THE TIME OF PLANTING.
19. DECIDUOUS UNDERSTORY TREES SHALL BE A MINIMUM 1 1/2" CALIPER AND HAVE A MINIMUM HEIGHT OF 6' IN HEIGHT ABOVE GROUND AT THE TIME OF PLANTING.
20. SHRUBS SHALL BE AT LEAST THREE 3 GALLONS IN CONTAINER SIZE, HAVE A MINIMUM HEIGHT OF 18" AND HAVE A MINIMUM SPREAD OF TWELVE 12" TO FIFTEEN 15".
21. GROUND COVER SHALL BE A MINIMUM OF 1 1/2" TO 2 1/2" POTS WITH A MINIMUM SPREAD OF FOUR 4" GROUND COVER.
22. GROUND COVER MUST BE PLANTED WITH ON-CENTER SPACING EQUIVALENT TO THE AVERAGE MATURE SPREAD FOR EACH PARTICULAR SPECIES.
23. AMERICAN STANDARD FOR NURSERY STOCK. ALL NEW PLANT MATERIAL SHALL BE OF GOOD QUALITY, FREE FROM DISEASE, INSTALLED IN A SOUND MANNER, MULCHED (3-4 INCH LAYER), AND MEET THE STANDARDS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA). THE SELECTION OF PLANTS, PLANTING METHODS, MINIMUM HEIGHT, ROOT BALL AND CONTAINER SIZE, NUMBER OF BRANCHES, AND WIDTH, SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE ANLA FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
24. GUYING AND STAKING. ALL NEW TREES SHALL BE PROPERLY GUYED AND STAKED AT THE TIME OF PLANTING.
25. MULCH AND DRAINAGE. ADEQUATE DRAINAGE AND MULCHING SHALL BE PROVIDED IN ALL CASES, PARTICULARLY FOR MEDIANS AND ISLANDS.
26. GROUND COVER LOCATED WITHIN 3 FT OF BUILDINGS SHALL COMPLY WITH NC FIRE CODE.
27. NO VEGETATION SHALL BE PLANTED WITHIN OVERHEAD POWER LINE EASEMENT NOR WITHIN 3 FT OF ANY FIRE APPARATUS.
28. GRASS IS THE ONLY VEGETATION TO BE PLANTED WITHIN FIRE LANE.
29. ALL PARKING SPACE SHALL WITHIN 60' FROM THE BASE OF CANOPY TREE.
30. CANOPY THE EACH END OF PARKING ROW.
31. MULCH SHALL BE 3" DEEP UNLESS OTHERWISE NOTED.
32. MULCH EDGES AND PROPOSED PLANTINGS SHALL NOT DISTURB ANY EXISTING GROUPS OF TREES TO REMAIN. EDGES ARE SHOWN FOR APPROXIMATION ONLY, BUT ARE TO INDICATE SMOOTH, CLEAN CURVES.
33. CONTRACTOR TO SCREEN ECLECTIC TRANSFORMERS.

NEW PLANT SCHEDULE

	LG Large Tree Thornless Honeylocust	4 EA.
	SH Shrubs Dwarf Yaupon	13 EA.
	SEEDED FIRE LANE	15,434 S.F.
	EX. UNDISTURBED PLANTED AREA	

GREAT FALLS COURT
(50' R/W BC/BC VARIES PUBLIC)

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator



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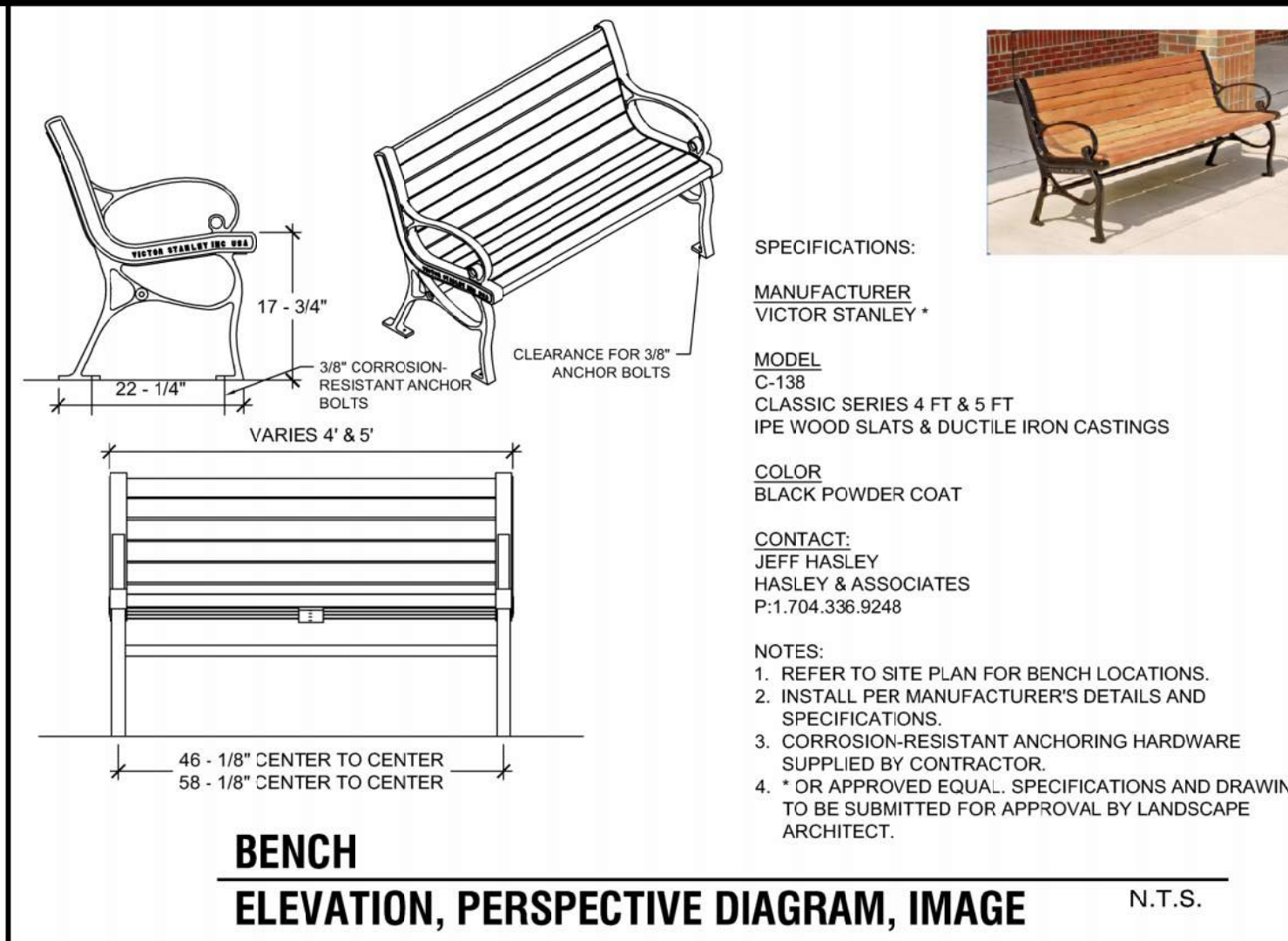
REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	IMASTER PLAN - FIRST SUBMITTAL	05/21/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
LANDSCAPING PLAN

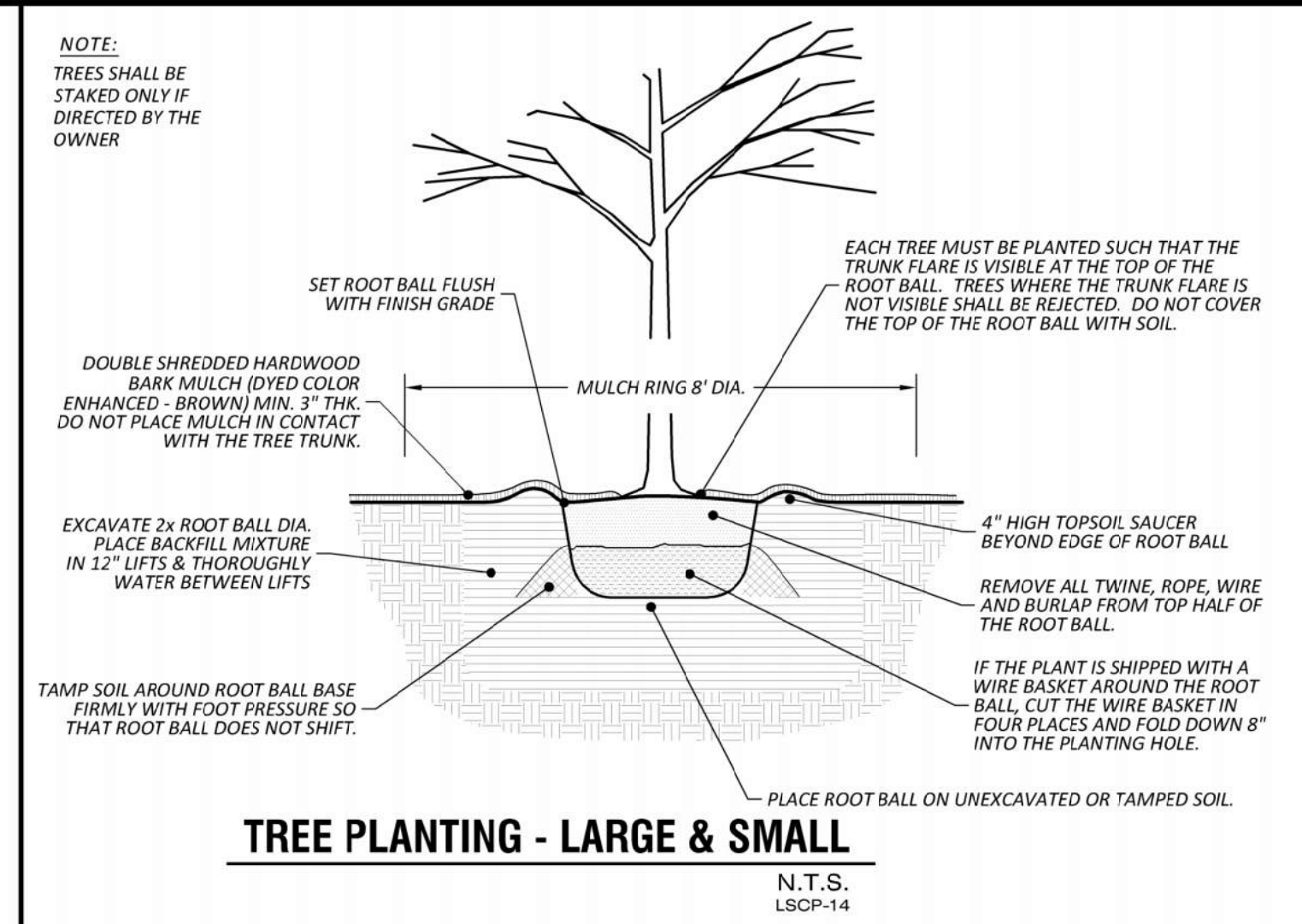
DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No.
L1.01

P:\LANDDEV\LAMPE\AMPE_C016\KIGHTDALE_202308\CADD_DWG\SHEETS\MASTER PLAN\W-4073 LANDSCAPE.DWG - LAYOUT 2 - 5/21/2024 12:47:34 PM - MATI PRINCP



SPECIFICATIONS:
MANUFACTURER: VICTOR STANLEY
MODEL: C-138 CLASSIC SERIES 4 FT & 5 FT IPE WOOD SLATS & DUCTILE IRON CASTINGS
COLOR: BLACK POWDER COAT
CONTACT: JEFF HASLEY HASLEY & ASSOCIATES P-1.704.336.9248
NOTES:
 1. REFER TO SITE PLAN FOR BENCH LOCATIONS.
 2. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
 3. CORROSION-RESISTANT ANCHORING HARDWARE SUPPLIED BY CONTRACTOR.
 4. * OR APPROVED EQUAL. SPECIFICATIONS AND DRAWINGS TO BE SUBMITTED FOR APPROVAL BY LANDSCAPE ARCHITECT.

BENCH
 ELEVATION, PERSPECTIVE DIAGRAM, IMAGE N.T.S.



NOTE: TREES SHALL BE STAKED ONLY IF DIRECTED BY THE OWNER

DOUBLE SHREDDED HARDWOOD BARK MULCH DYED COLOR ENHANCED - BROWN MIN. 3" THK. DO NOT PLACE MULCH IN CONTACT WITH THE TREE TRUNK.

SET ROOT BALL FLUSH WITH FINISH GRADE

MULCH RING 8" DIA.

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

EXCAVATE 2x ROOT BALL DIA. PLACE BACKFILL MIXTURE IN 12" LIFTS & THOROUGHLY WATER BETWEEN LIFTS

4" HIGH TOPSOIL SAUCER BEYOND EDGE OF ROOT BALL

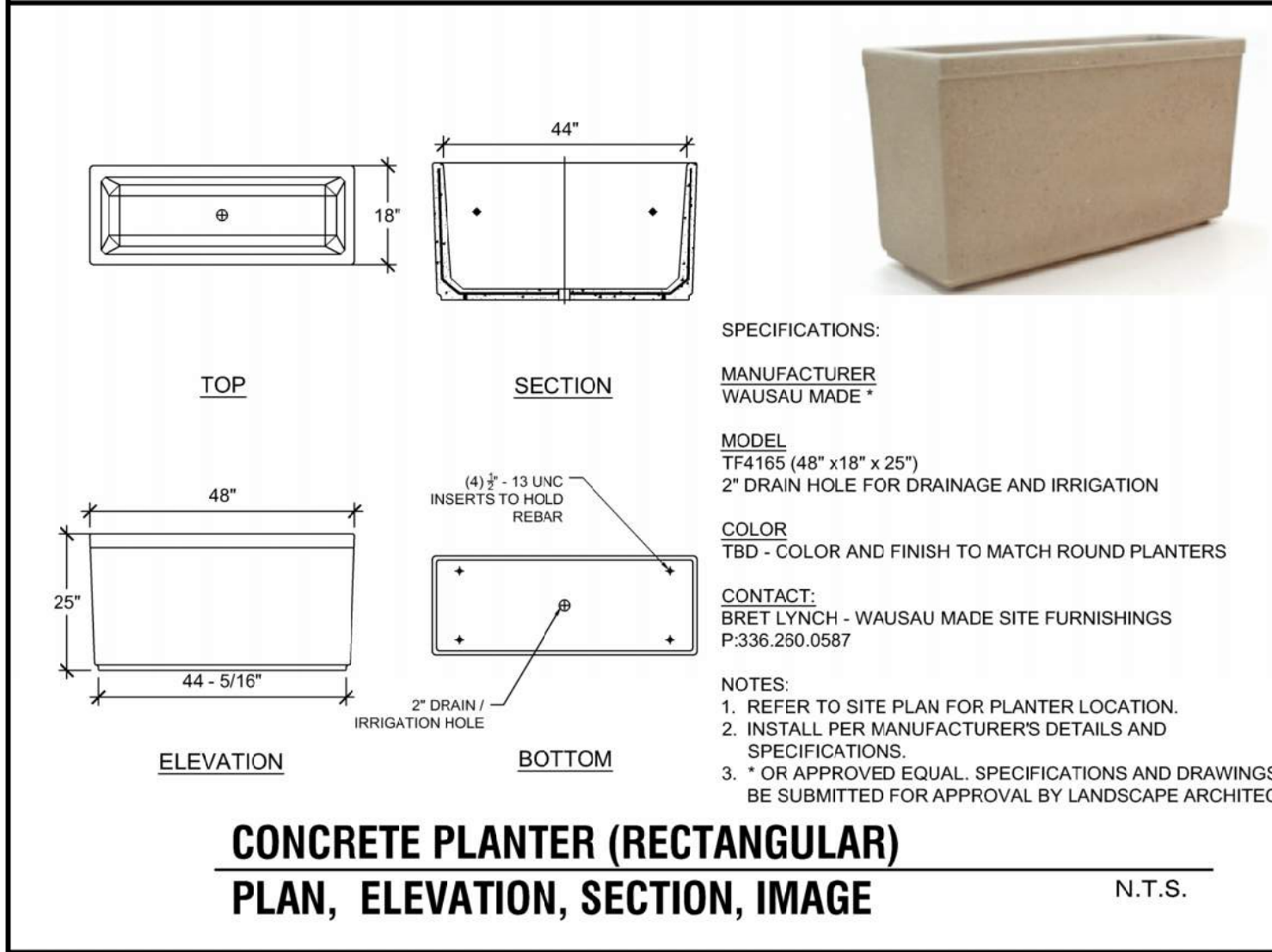
REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM TOP HALF OF THE ROOT BALL

IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 8" INTO THE PLANTING HOLE

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.

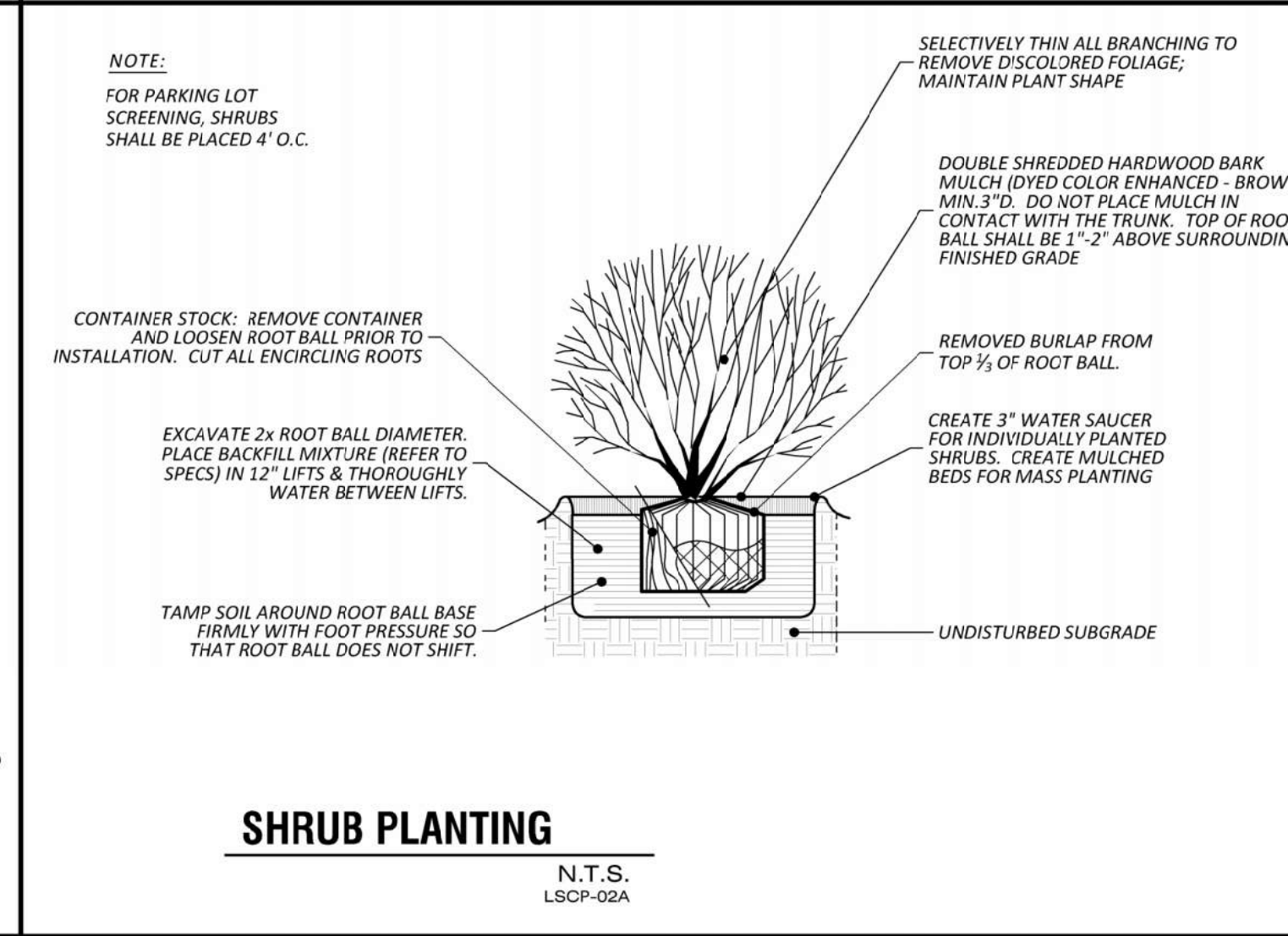
PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL

TREE PLANTING - LARGE & SMALL
 N.T.S.
 LSCP-14



SPECIFICATIONS:
MANUFACTURER: WAUSAU MADE
MODEL: TF4165 (48" x 18" x 25")
2" DRAIN HOLE FOR DRAINAGE AND IRRIGATION
COLOR: TBD - COLOR AND FINISH TO MATCH ROUND PLANTERS
CONTACT: BRET LYNCH - WAUSAU MADE SITE FURNISHINGS P-336.230.0587
NOTES:
 1. REFER TO SITE PLAN FOR PLANTER LOCATION.
 2. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
 3. * OR APPROVED EQUAL. SPECIFICATIONS AND DRAWINGS TO BE SUBMITTED FOR APPROVAL BY LANDSCAPE ARCHITECT.

CONCRETE PLANTER (RECTANGULAR)
 PLAN, ELEVATION, SECTION, IMAGE N.T.S.



NOTE: FOR PARKING LOT SCREENING, SHRUBS SHALL BE PLACED 4' O.C.

SELECTIVELY THIN ALL BRANCHING TO REMOVE DISCOLORED FOLIAGE; MAINTAIN PLANT SHAPE

DOUBLE SHREDDED HARDWOOD BARK MULCH (DYED COLOR ENHANCED - BROWN) MIN. 3". DO NOT PLACE MULCH IN CONTACT WITH THE TRUNK. TOP OF ROOT BALL SHALL BE 1"-2" ABOVE SURROUNDING FINISHED GRADE

EXCAVATE 2x ROOT BALL DIAMETER. PLACE BACKFILL MIXTURE (REFER TO SPECS) IN 12" LIFTS & THOROUGHLY WATER BETWEEN LIFTS.

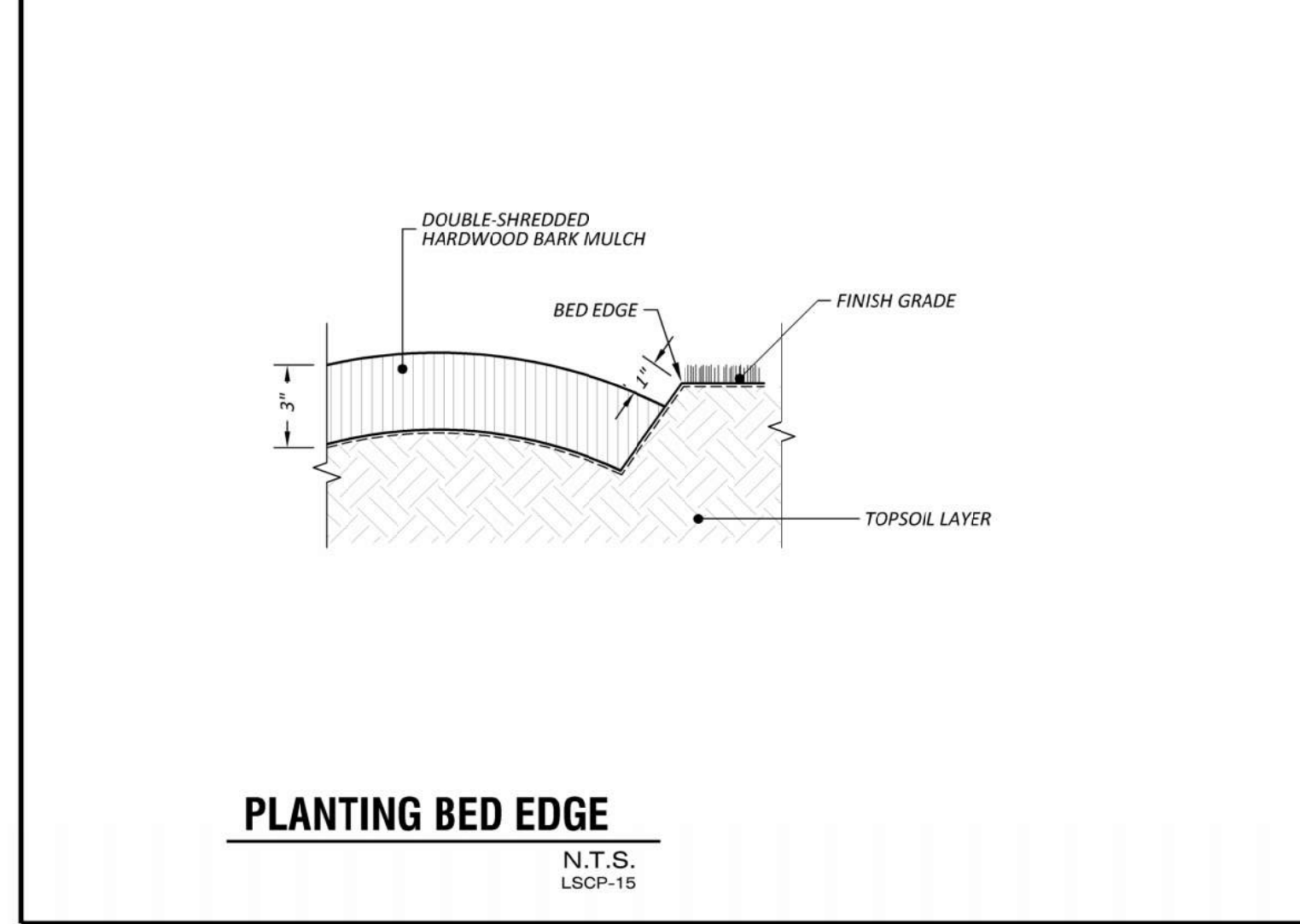
REMOVE BURLAP FROM TOP 1/2 OF ROOT BALL

CREATE 3" WATER SAUCER FOR INDIVIDUALLY PLANTED SHRUBS. CREATE MULCHED BEDS FOR MASS PLANTING

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.

UNDISTURBED SUBGRADE

SHRUB PLANTING
 N.T.S.
 LSCP-02A



DOUBLE SHREDDED HARDWOOD BARK MULCH

BED EDGE

FINISH GRADE

TOPSOIL LAYER

PLANTING BED EDGE
 N.T.S.
 LSCP-15

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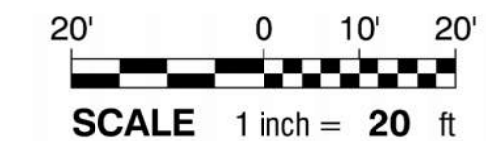


REVISIONS:		DATE	BY
1	IMASTER PLAN - FIRST SUBMITTAL	05/21/24	

LAMPE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
LANDSCAPING DETAILS

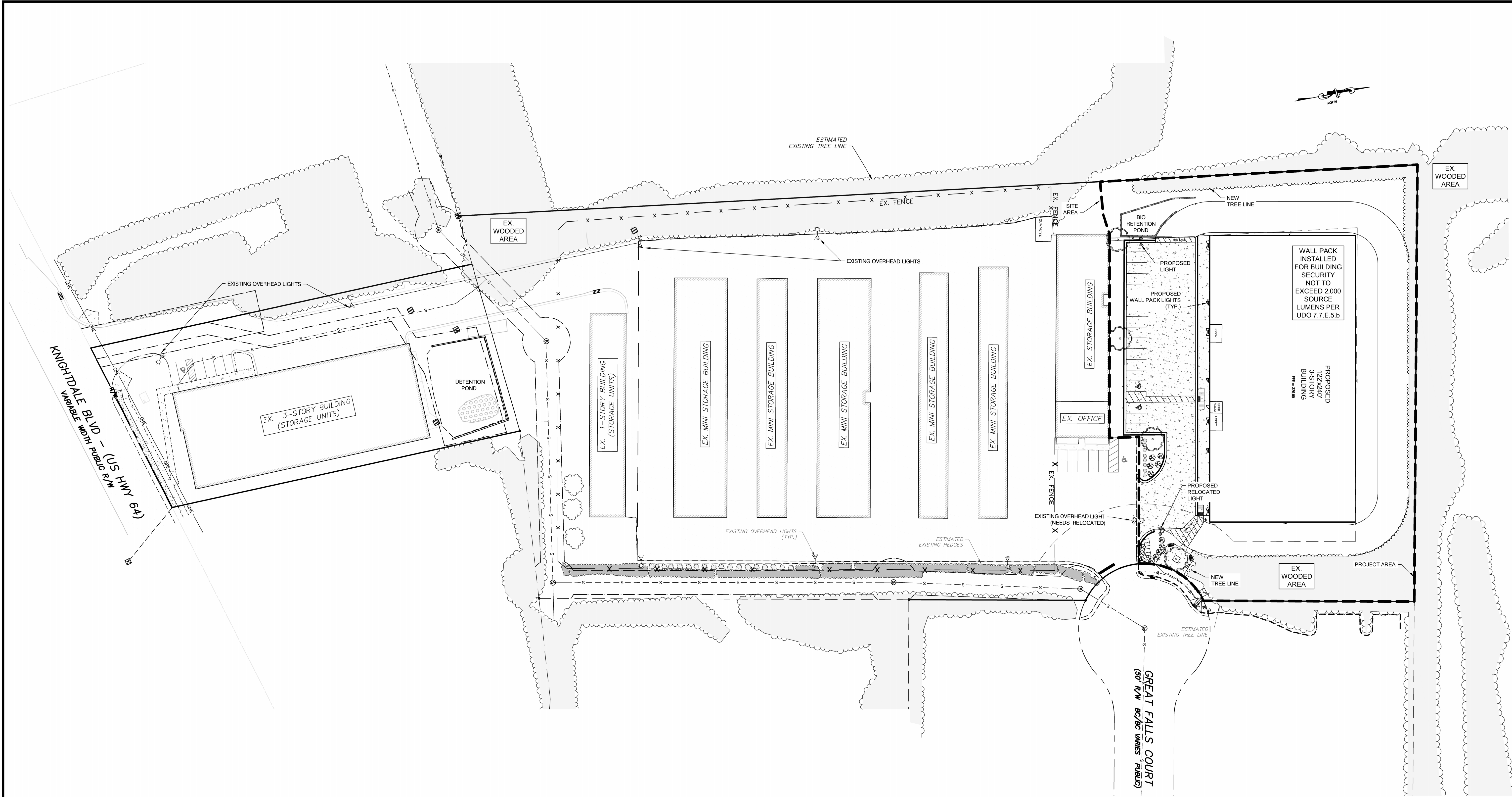
DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1" = 20'
 SHEET No.

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator



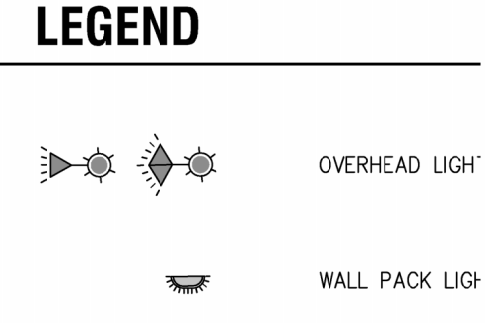
L2.01

P:\LANDDEV\AMPE-AMPE-016-KNIGHTDALE-2023008-0400-DWG-SHEETS-MASTER PLAN-W-4073-LIGHT-ALL DWGS - I:\DWG - 5/21/2024 11:05:20 AM - MAT PR000P

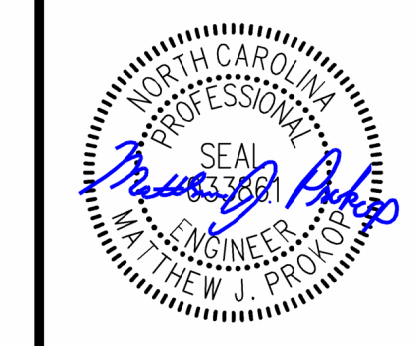


NOTES:
 FINAL SITE LIGHTING PLAN SHALL INCLUDE LOCATION OF ALL POLE-MOUNTED EXTERIOR LIGHTING FIXTURES. FINAL PLAN SHALL HAVE ONE OF THE FOLLOWING:
 FOOTCANDLE GRID
 A NUMERICAL POINT-BY-POINT FC GRID (PHOTOMETRIC REPORT) MAX 10' X 10' SHOWING THE MINIMUM, MAXIMUM AND AVERAGE FC LEVELS WITHIN THE LIGHTED AREA OF THE SITE AND THE AVERAGE TO MINIMUM RATIO FOR THE DETERMINATION OF UNIFORMITY.
 ISOLUX DIAGRAM
 ALSO PERMITTED PROVIDED THAT IT INDICATES FC MEASUREMENTS AT GRADE VIA CONTOUR DIAGRAM OR GRID POINTS THAT COVER SITE. MUST ALSO INDICATE THE MINIMUM, MAXIMUM AND AVERAGE FC LEVELS AND MINIMUM UNIFORMITY RATIO
 ALL LIGHTING DETAILS SHALL ALSO INCLUDE APPROPRIATE SPECIFICATIONS

Town Certification. This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Town Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator



NC License: F-0334
Rivers
 & ASSOCIATES, INC.
 ENGINEERS, ARCHITECTS, PLANNERS
 107 East Second Street
 Greenville, NC 27838
 (252) 752-4135



REVISIONS:

NO.	DESCRIPTION	DATE	BY
1	MASTER PLAN - FIRST SUBMITTAL	05/21/24	

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA
SITE LIGHTING PLAN - OVERALL

DATE: MAY 22, 2024
 DESIGNED BY: MJP
 DRAWN BY: EDN
 CHECKED BY: JSJ
 PROJECT No. 2023008
 DRAWING No. W-4073-MP
 SCALE: 1"=40'
 SHEET No.

SL1.01

Conditional Rezoning Neighborhood Meeting Ample Storage Expansion

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: May 21, 2024.

Attendees:

Gideon Smith – Town of Knightdale

Terry Wethington – Lampe Management (Owner / Applicant)

Jeff Inman - Lampe Management

Matt Prokop – Rivers & Associates (Engineer)

Neighborhood meeting was held at the site location 1107 Great Falls Ct. Attendees gathered at approximately 5:30 pm to await the arrival of any invited property owners. Applicant communicated that the most affected party (Wake Stone Corporation) had viewed the plans and gave verbal approval.

Various other aspects of the review process were discussed between the applicant and the Town, including requests for a variance on the building plan and the possibility of a traffic impact analysis. The potential long-term damage from the nearby blasting activities on any brick façade was discussed. Applicant stated they could provide previous studies indicating the lack of a need for any additional TIA.

Attendees waited at the meeting site until approximately 7:00 pm before concluding that no member of the public was going to attend. Meeting was adjourned at approximately 7:00 pm.



ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

RCP Investments IV, LLC
307 Berkley Woods Dr
Ashland, VA 23005-1253

Re: Ample Storage Expansion

Dear RCP Investments IV, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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ENGINEERS

PLANNERS

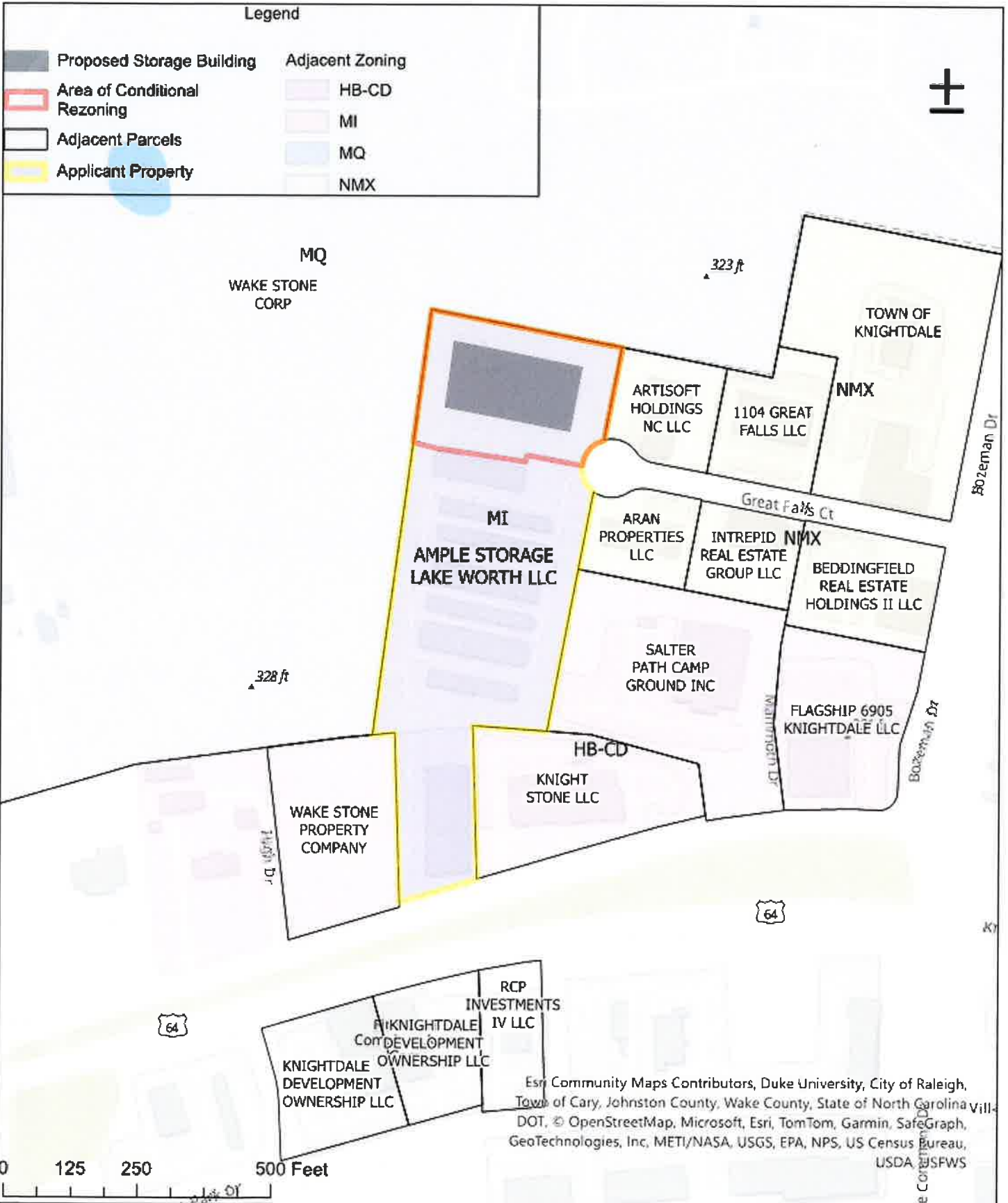
SURVEYORS

LANDSCAPE ARCHITECTS

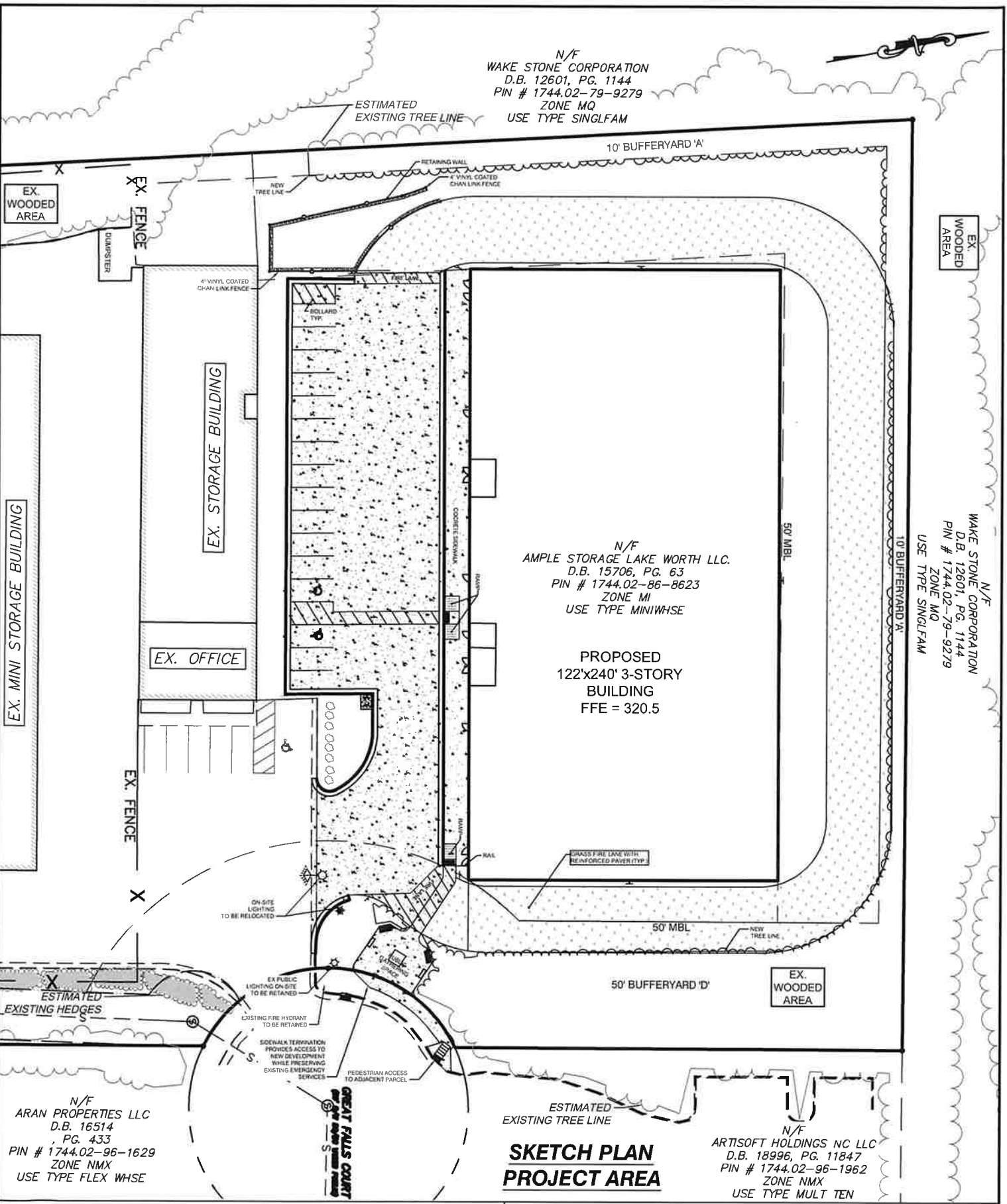
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Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
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City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 , PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

**SKETCH PLAN
 PROJECT AREA**

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 Planners
 Surveyors**

Rivers & ASSOCIATES, INC.
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 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

Landscape Architects riversandassociates.com

LAMPE MANAGEMENT COMPANY

AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWSP, - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
DRAWN BY:	EDN	DRAWING No.	W-4073-SK		
CHECKED BY:	JSJ	SCALE	1"=50'		
		DATE	APRIL 1, 2024		

P:\PROJECTS\AMPLE - SITE\SPRINTAL\2023008\DWG\2023008-01-01-01.dwg - 4/1/2024 2:13:51 PM - EDWIN HANZ

April 1, 2024

Beddingfield Real Estate Holdings II, LLC
114 W Main St
Durham, NC 27701-3604

Re: Ample Storage Expansion

Dear Beddingfield Real Estate Holdings:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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ENGINEERS

PLANNERS

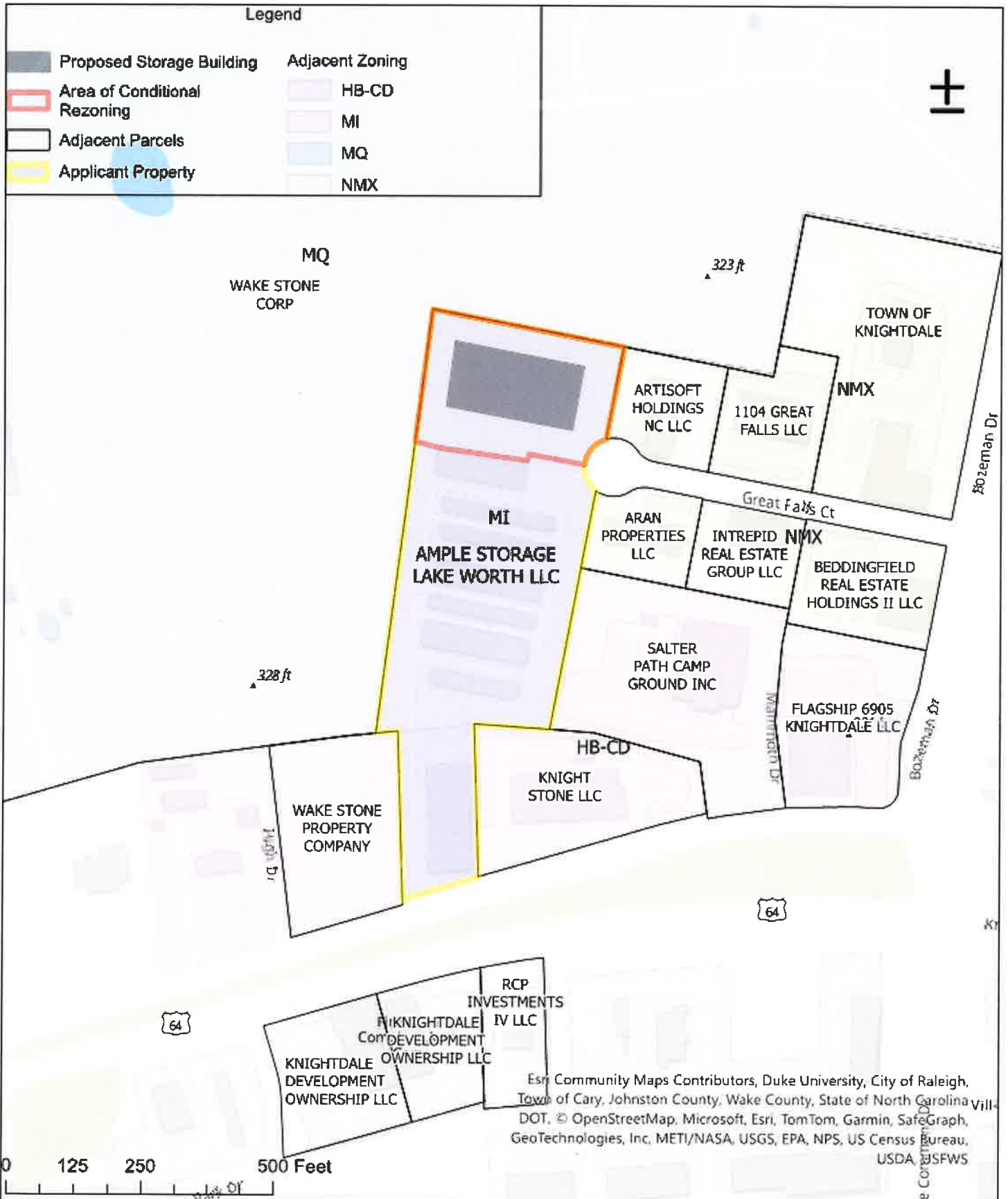
SURVEYORS

LANDSCAPE ARCHITECTS

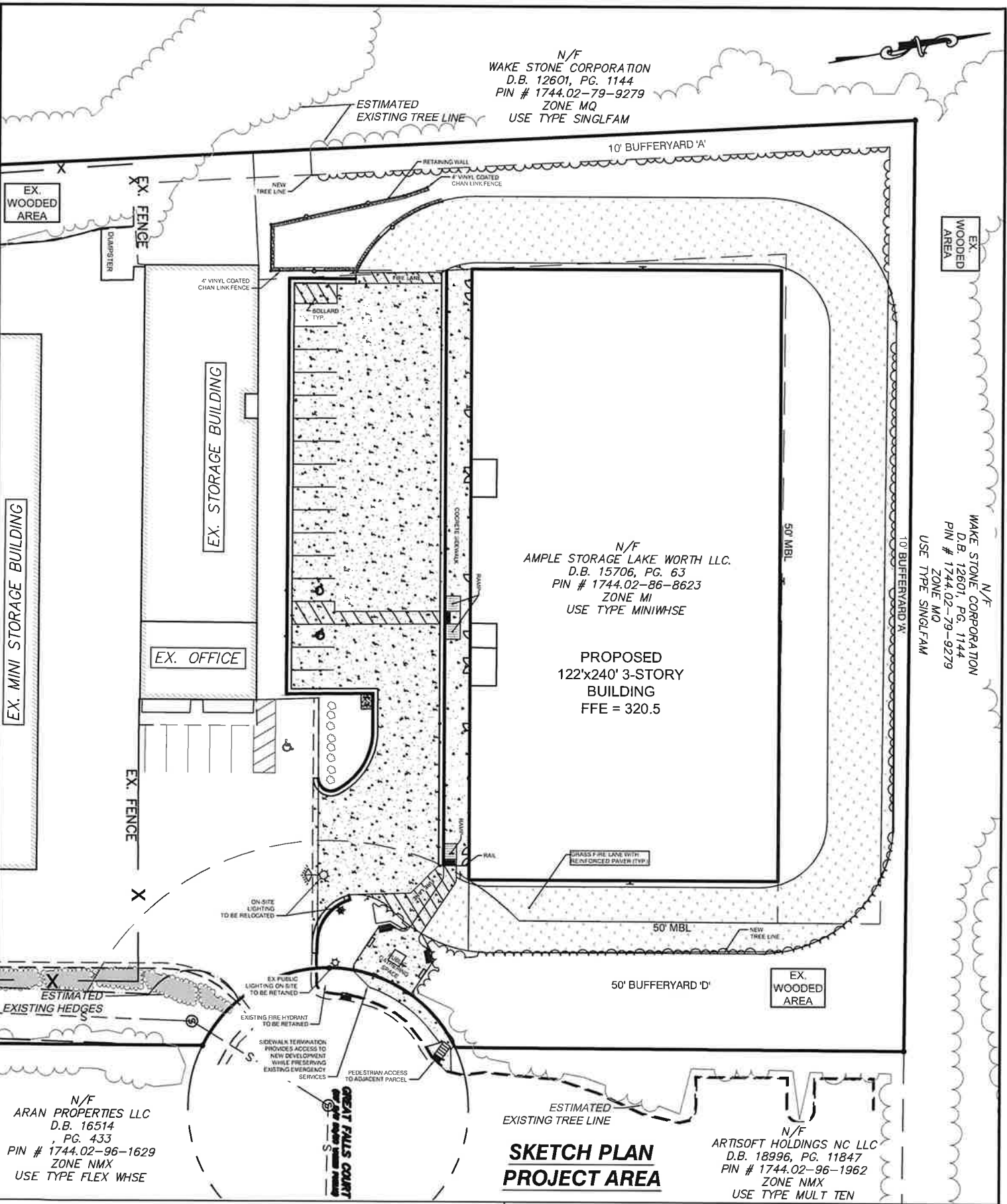
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Engineer: Rivers & Associates, Inc.
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City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
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City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
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 D.B. 18996, PG. 11847
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 ZONE NMX
 USE TYPE MULT TEN

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 TOWN OF KNIGHTDALE - ST. MATTHEWS TWSP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008
DRAWN BY:	EDN	DRAWING No.	W-4073-SK
CHECKED BY:	JSJ	SCALE	1"=50'
		DATE	APRIL 1, 2024

SHEET No.
1

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ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Intrepid Real Estate Group, LLC
200 Maplewood Dr
Knightdale, NC 27545-9659

Re: Ample Storage Expansion

Dear Intrepid Real Estate Group:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

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ENGINEERS

PLANNERS

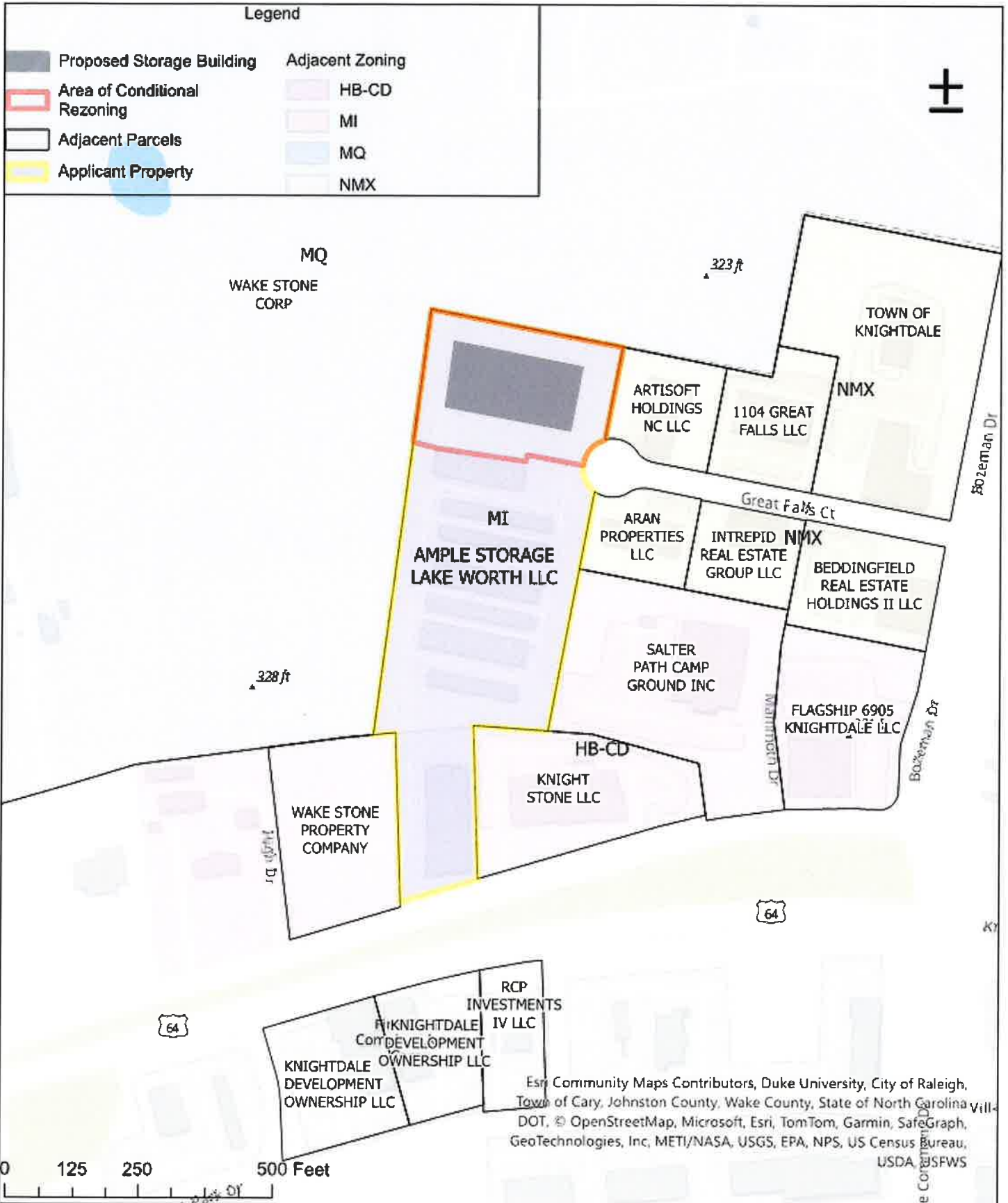
SURVEYORS

LANDSCAPE ARCHITECTS

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Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
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 BUILDING
 FFE = 320.5

EX. WOODED AREA

EX. WOODED AREA

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

EX. MINI STORAGE BUILDING

EX. STORAGE BUILDING

EX. OFFICE

50' MBL

10' BUFFERYARD 'A'

50' BUFFERYARD 'D'

EX. WOODED AREA

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

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LAMPE MANAGEMENT COMPANY
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 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008
DRAWN BY:	EDN	DRAWING No.	W-4073-SK
CHECKED BY:	JSJ	SCALE	1"=50'
		DATE	APRIL 1, 2024

SHEET No.
1

P:\PROJECTS\AMPLE - SITE\PROJECTS\2023\AMPLE - TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA - LAMPE MGMT. CO. - 4/1/2024 2:12:30 PM - LDWR.MAN.C



ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

1104 Great Falls, LLC
107 Fayetteville St, Ste 400
Raleigh, NC 27601-2916

Re: Ample Storage Expansion

Dear 1104 Great Falls LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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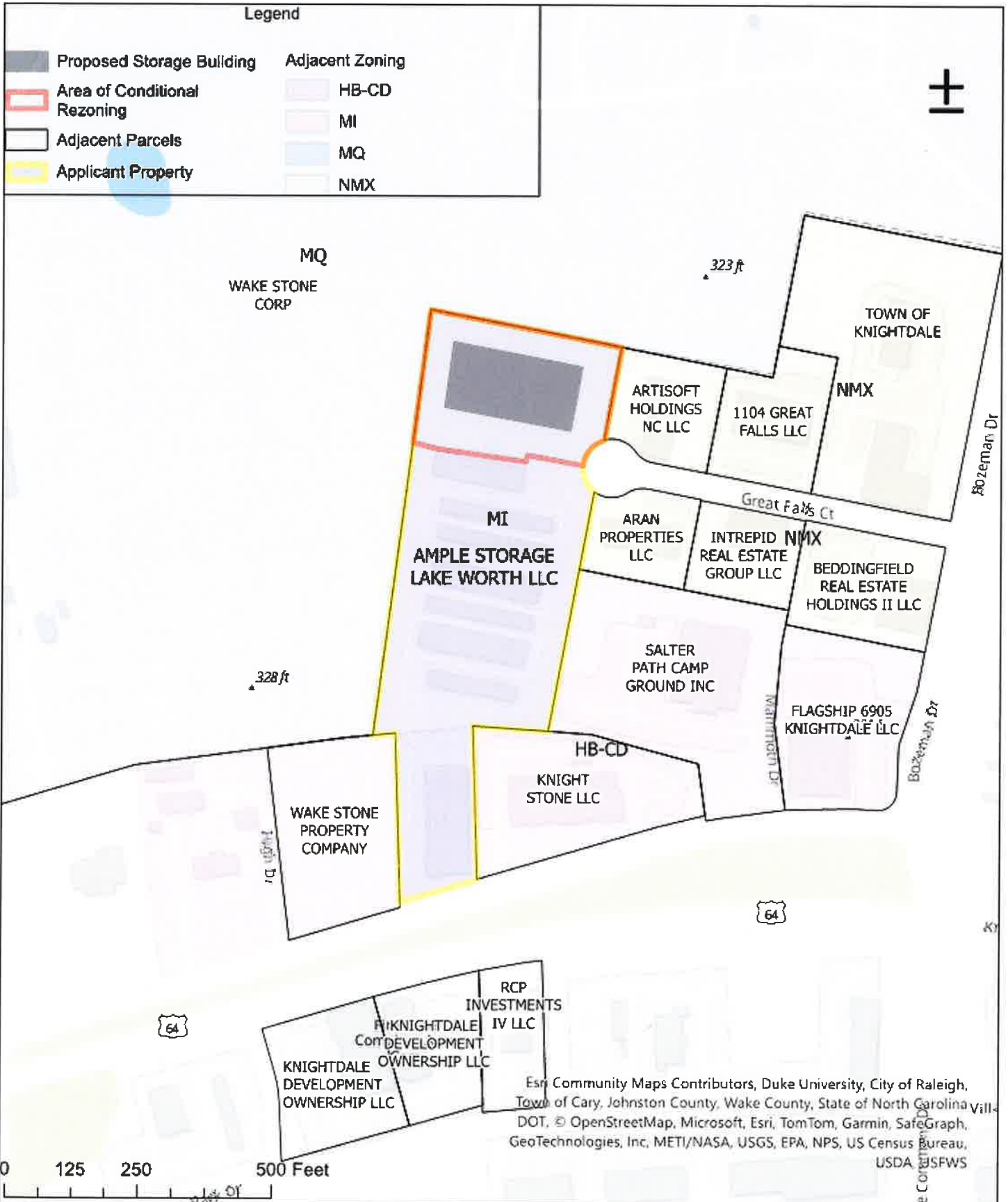
SURVEYORS

LANDSCAPE ARCHITECTS

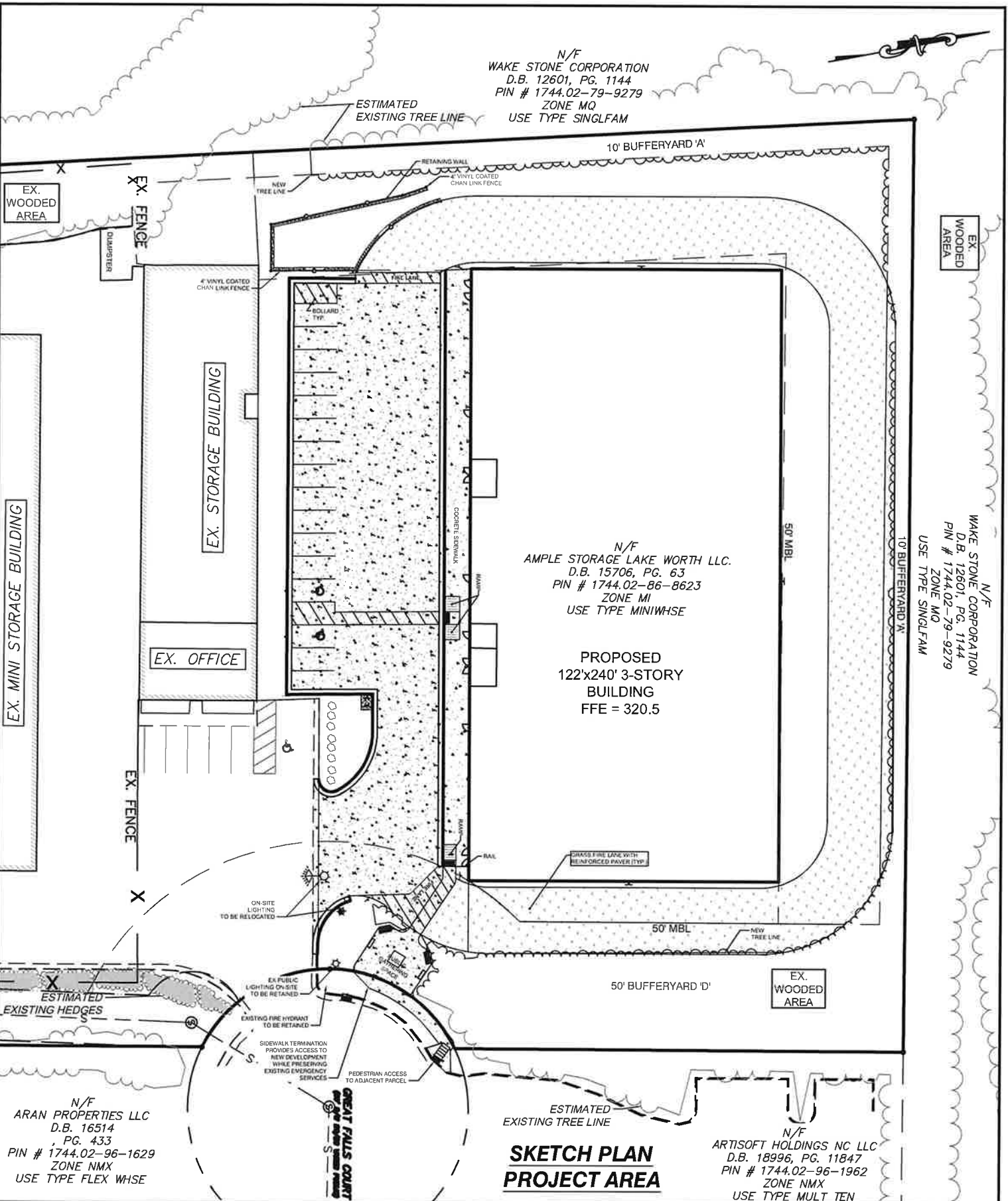
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City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
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 BUILDING
 FFE = 320.5

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 ZONE MQ
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 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
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DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.
DRAWN BY:	EDN	DRAWING No.	W-4073-SK	
CHECKED BY:	JSJ	SCALE	1"=50'	
		DATE	APRIL 1, 2024	

PIN: 1744.02-96-1629-ARAN; SITE: 1744.02-96-1629-ARAN; DATE: 04/01/2024; 8:12:50 PM - TOWN PLAN

April 1, 2024

Aran Properties, LLC
1621 Kirby Ln
Raleigh, NC 27614-7228

Re: Ample Storage Expansion

Dear Aran Properties:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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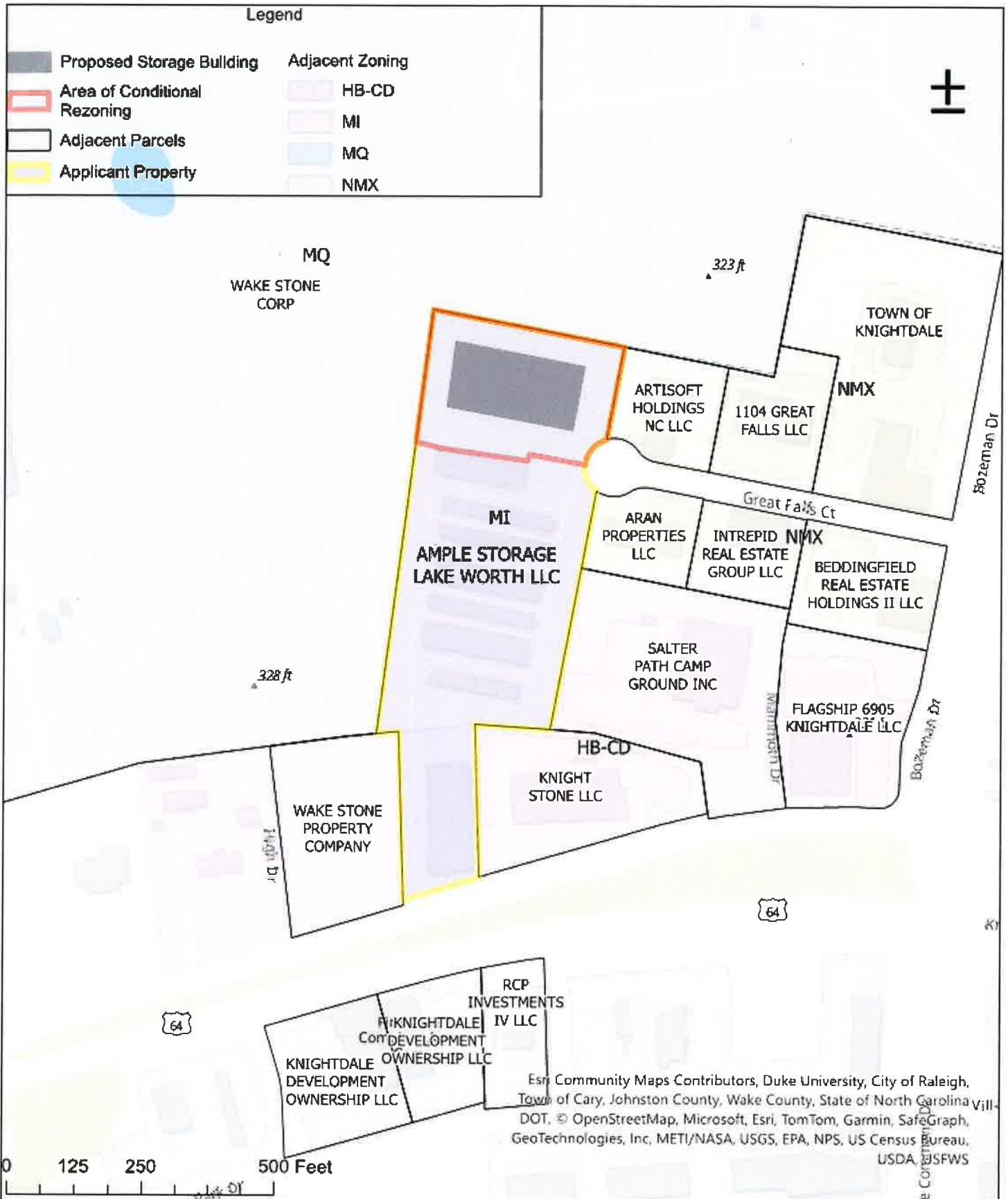
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Ample Storage Expansion



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 PIN # 1744.02-79-9279
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 USE TYPE SINGLFAM

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 AMPLE STORAGE LAKE WORTH LLC.
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EX. WOODED AREA

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EX. OFFICE

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P:\PROJECTS\AMPLE - MAPLE - STG\PROJECTS\AMPLE - STG\PROJECTS\DWG\DWG\PROJECT\DWG\APP\3 SITE E-SX11.DWG - LAYOUT1.DWG - 4/10/24 2:17:38 PM - EDWIN HANSE

April 1, 2024

Artisoft Holdings, LLC
1106 Great Falls Ct
Knightdale, NC 27545-5801

Re: Ample Storage Expansion

Dear Artisoft Holdings, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal.

Additional materials and information may be available at the meeting. *Please see the

Development Services 2022 Meeting & Submittal Schedule

(https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal_and_meeting_schedule_2022.pdf) for future public meetings dates.

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ENGINEERS

PLANNERS

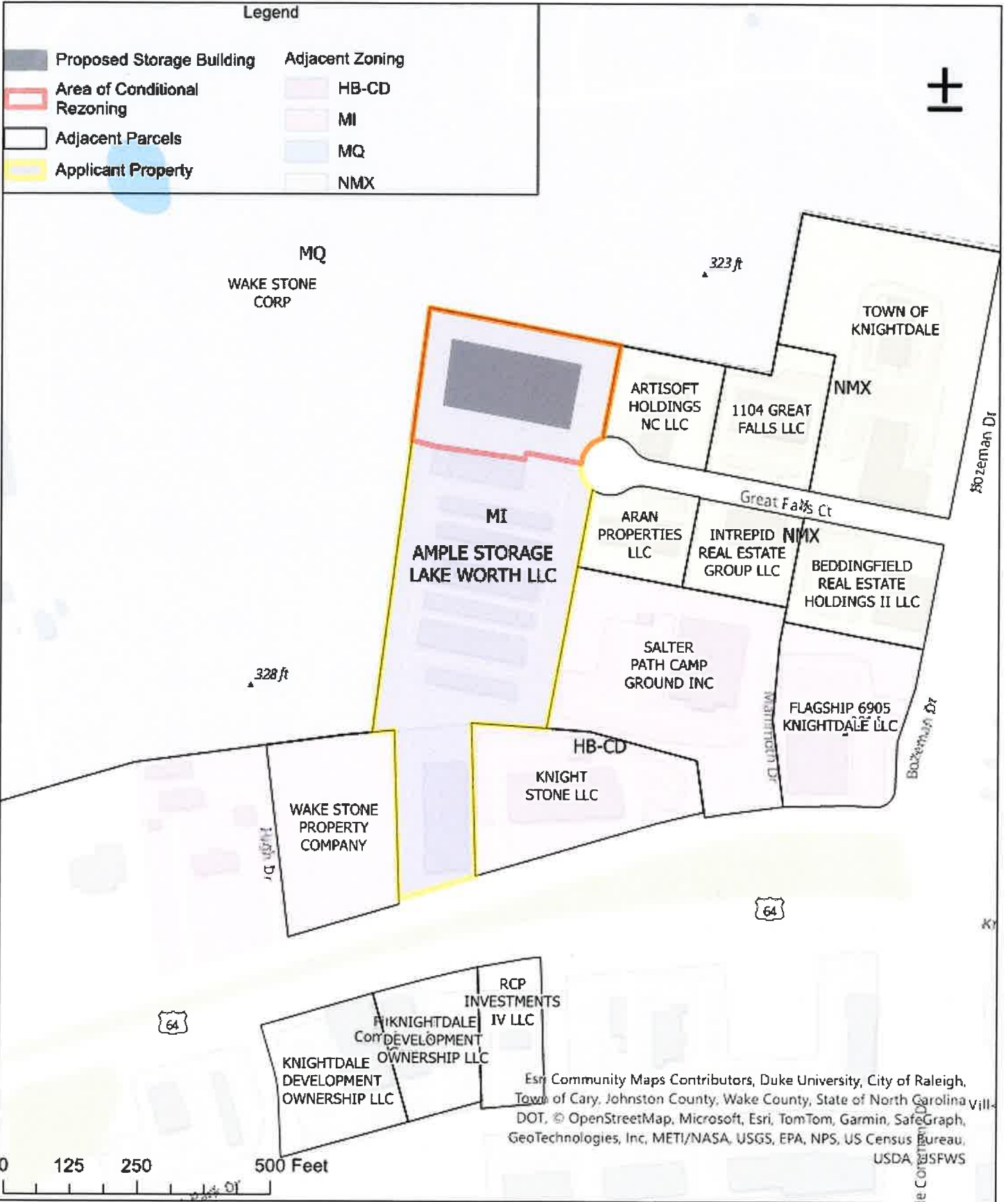
SURVEYORS

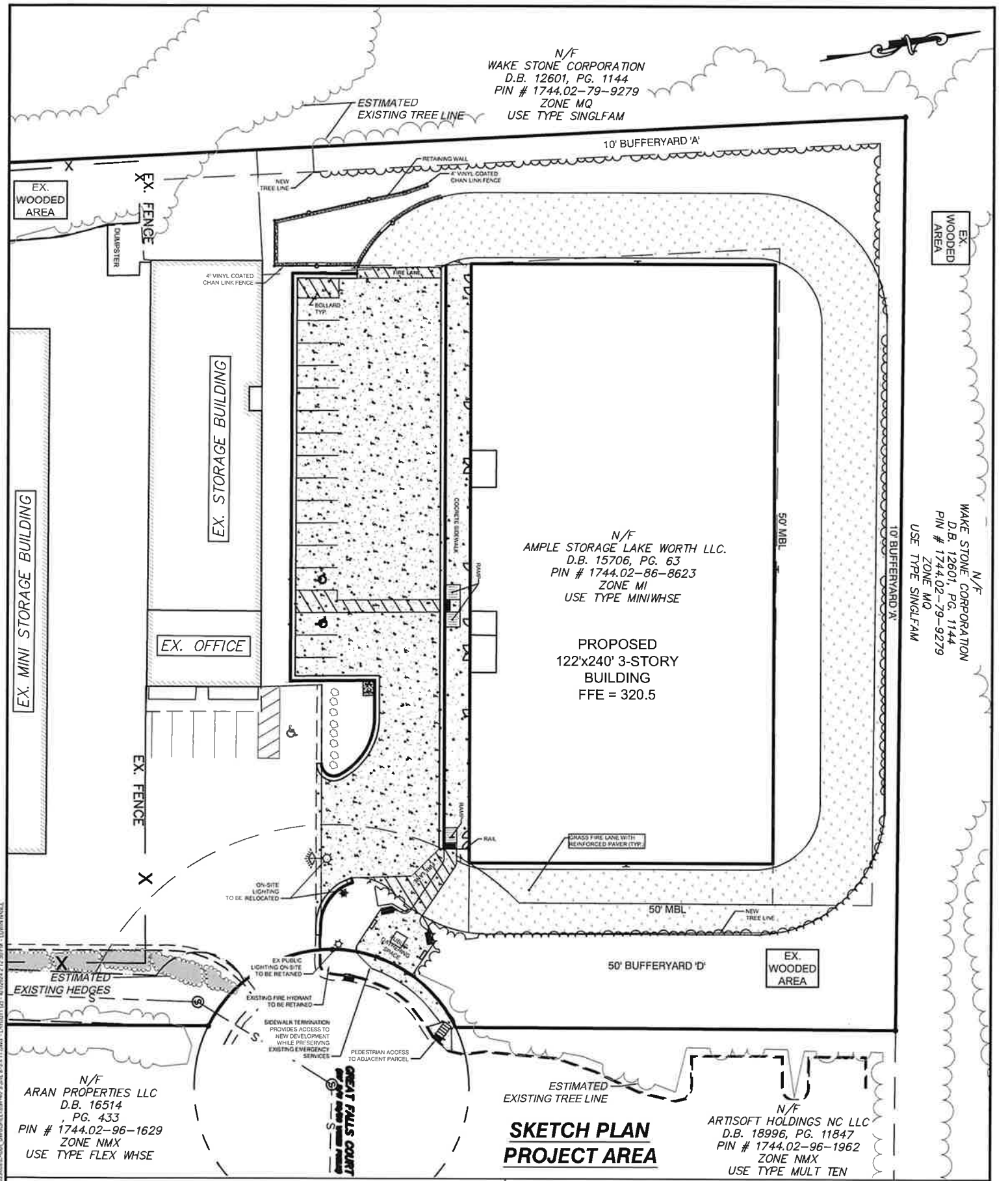
LANDSCAPE ARCHITECTS

Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion





N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

Rivers & Associates, Inc.
 Since 1918
 Six Forks Place III
 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

Engineers
 Planners
 Surveyors
 Landscape Architects

riversandassociates.com

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWP. ~ WAKE CO. ~ NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.
DRAWN BY:	EDN	DRAWING No.	W-4073-SK	
CHECKED BY:	JSJ	SCALE	1"=50'	
		DATE	APRIL 1, 2024	1

P:\PROJECTS\AMPLE - SITE\DWG\2023008\DRAWING\DWG\2023008-01.DWG - LAYOUT1 (1) - 4/1/2024 2:12:50 PM - LDWIN.HANZ

April 1, 2024

Ample Storage Lake Worth, LLC
PO Box 608
Smithfield, NC 27577-0608

Re: Ample Storage Expansion

Dear Ample Storage Lake Worth, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

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ENGINEERS

PLANNERS

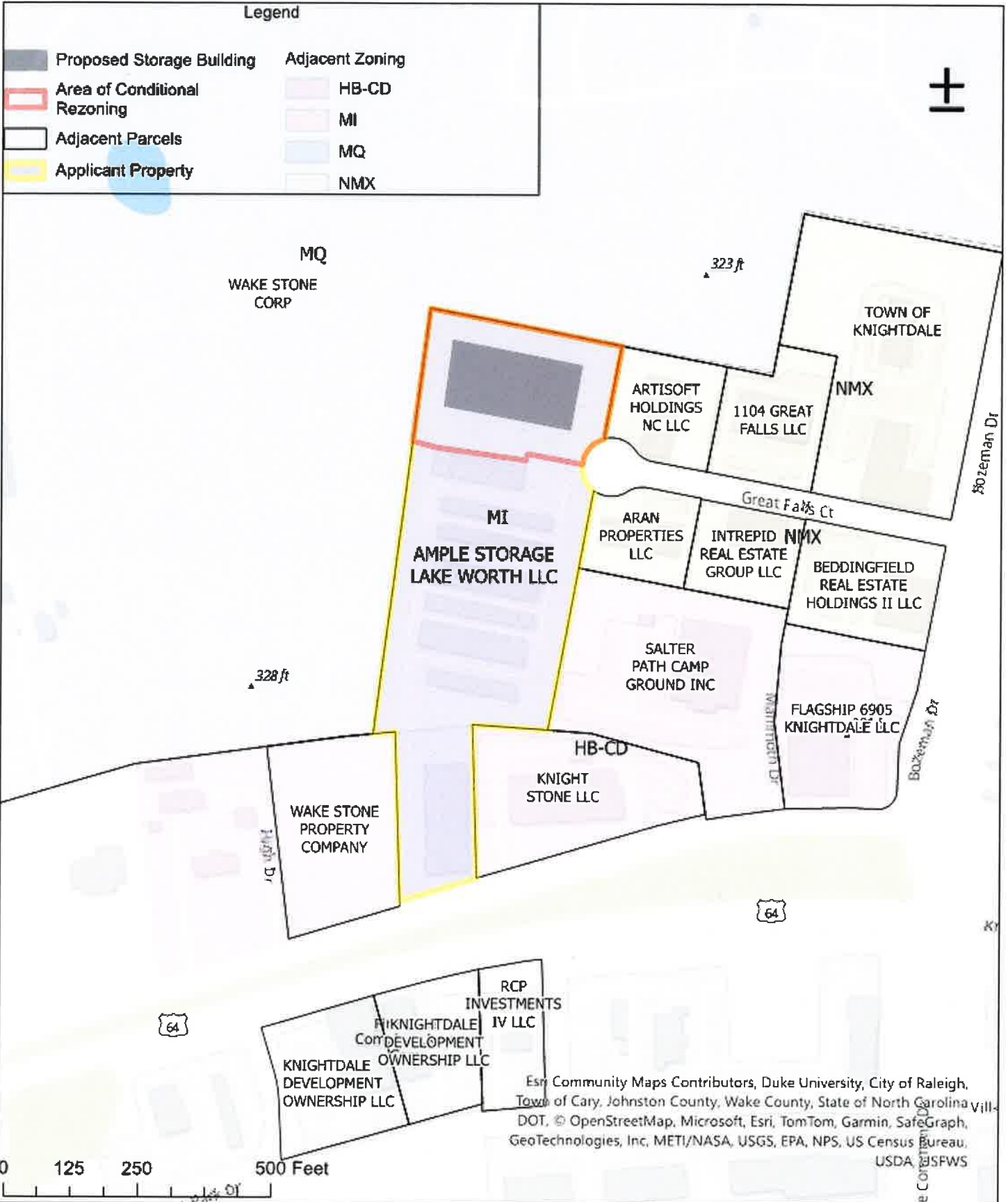
SURVEYORS

LANDSCAPE ARCHITECTS

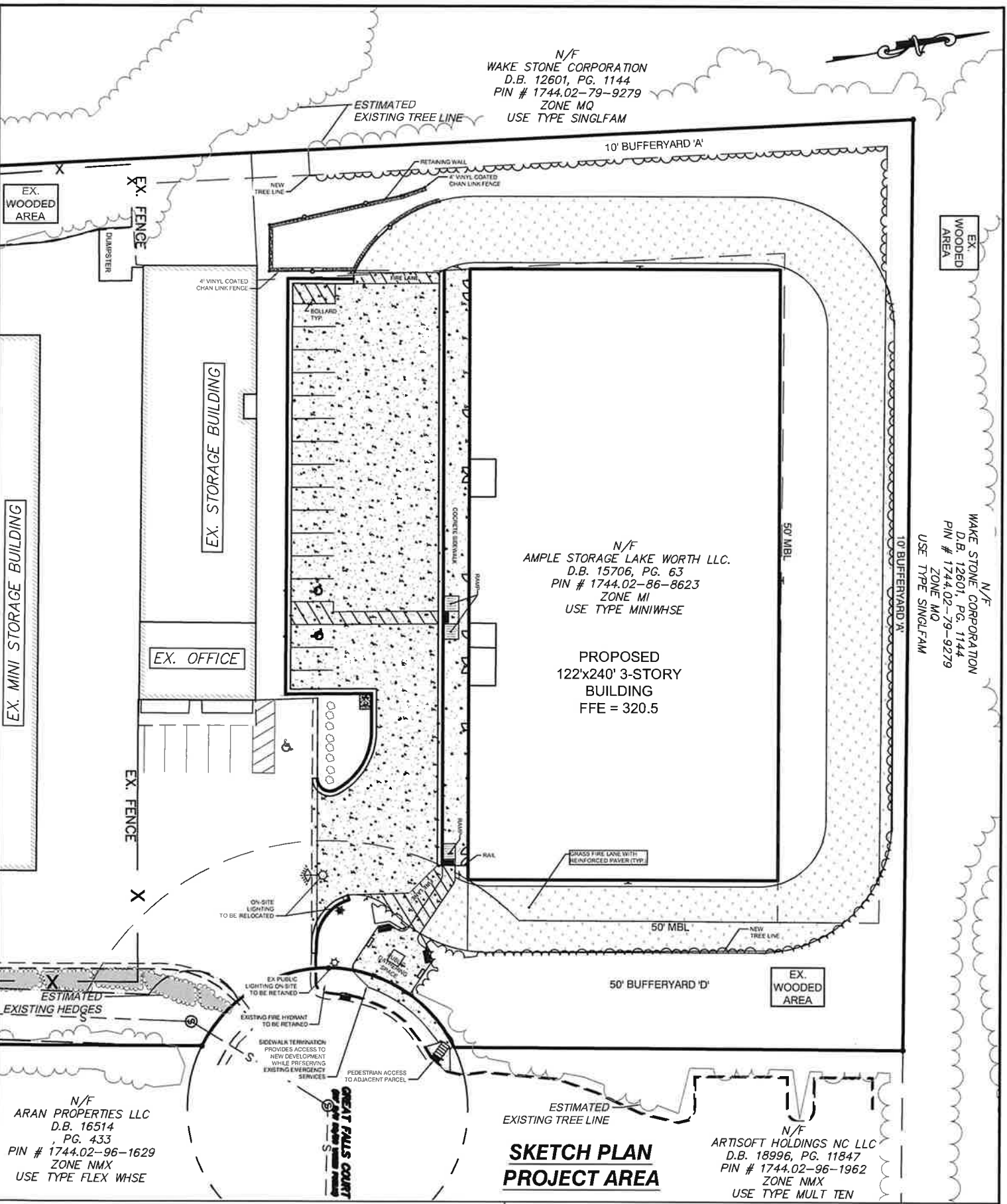
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Builder: Ample Storage Lake Worth, LLC
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Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM



N/F
 AMPLÉ STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE M1
 USE TYPE MINIWHSE

PROPOSED
 122x240' 3-STORY
 BUILDING
 FFE = 320.5

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

**SKETCH PLAN
 PROJECT AREA**

Engineers
 Planners
 Surveyors
 Landscape Architects

Rivers
 & ASSOCIATES, INC.
 Since 1918

Six Forks Place III
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 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

riversandassociates.com

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE ~ ST. MATTHEWS TWSP. ~ WAKE CO. ~ NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.
DRAWN BY:	EDN	DRAWING No.	W-4073-SK	1
CHECKED BY:	JSJ	SCALE	1" = 50'	
		DATE	APRIL 1, 2024	

P:\MANAGEMENT\AMPLE - SITE\PROJECT\2023008\DRAWINGS\DWG\SITEPLAN\DWG\1744.02-96-1629-PLAN-01.dwg - LAYOUT1 (1) - 4/17/2024 2:12:50 PM - LORIAN HANCOCK

April 1, 2024

Salter Path Camp Ground, LLC
PO Box 2323
Atlantic Beach, NC 28512-2323

Re: Ample Storage Expansion

Dear Salter Path Camp Ground:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal.

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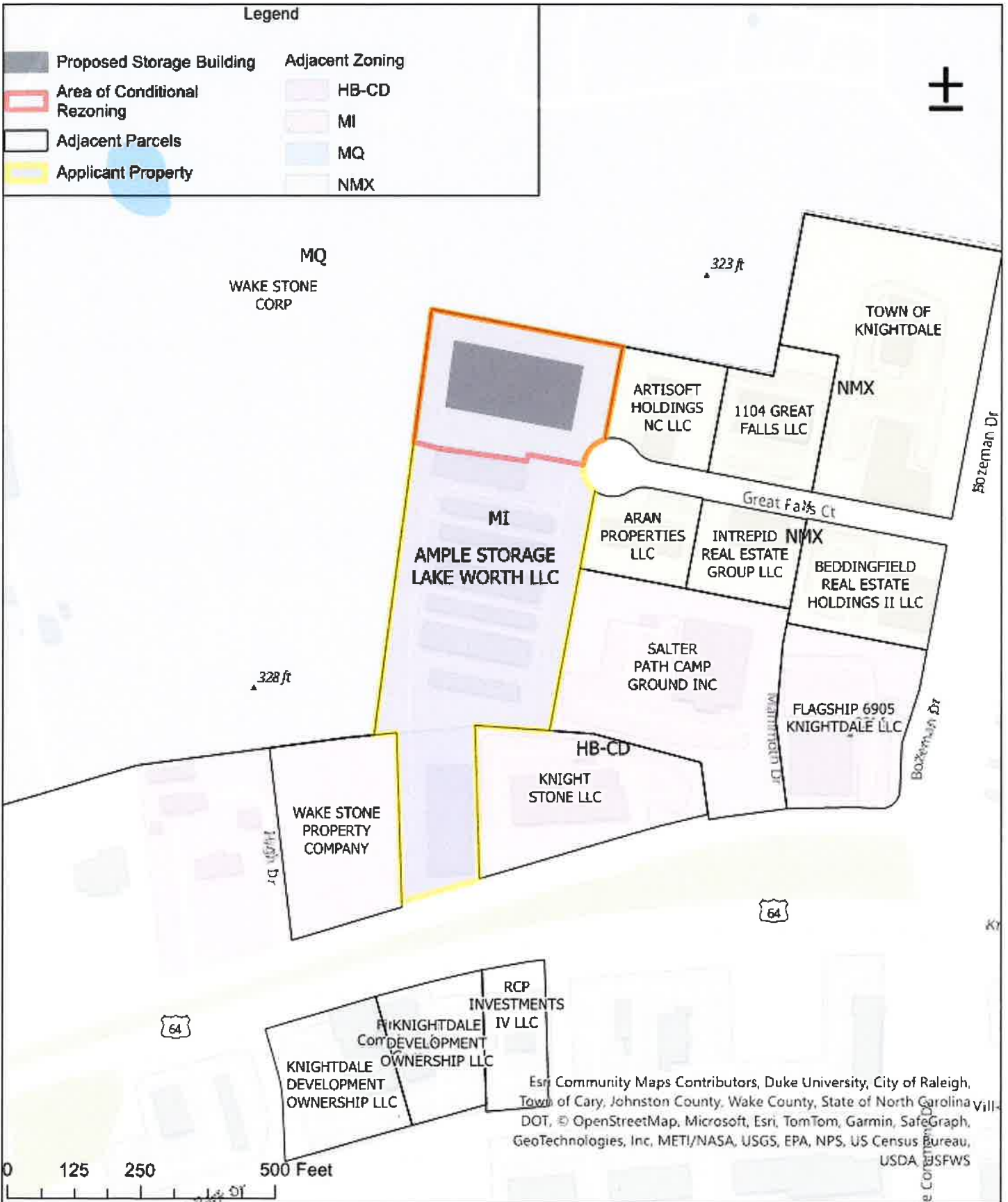
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Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
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City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

EX. WOODED AREA

EX. WOODED AREA

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

EX. MINI STORAGE BUILDING

EX. STORAGE BUILDING

EX. OFFICE

EX. WOODED AREA

**SKETCH PLAN
 PROJECT AREA**

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

Engineers
Planners
Surveyors
Landscape Architects

Rivers
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 353 E. Six Forks Road
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 (919) 594-1626

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
DRAWN BY:	EDN	DRAWING No.	W-4073-SK		
CHECKED BY:	JSJ	SCALE	1"=50'		
		DATE	APRIL 1, 2024		

PLANNING AND DESIGN SERVICES, INC. 10000 WOODHOLLOW DRIVE, SUITE 400, WOODBRIDGE, VA 22192 (703) 595-1111 FAX: (703) 595-1112

April 1, 2024

Knightdale Development Group, LLC
The Widewaters Group, Inc
5845 Widewaters Pkwy, Ste 100
East Syracuse, NY 13057-3078

Re: Ample Storage Expansion

Dear Knightdale Development Group, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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Meeting Date: April 11, 2024

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PLANNERS

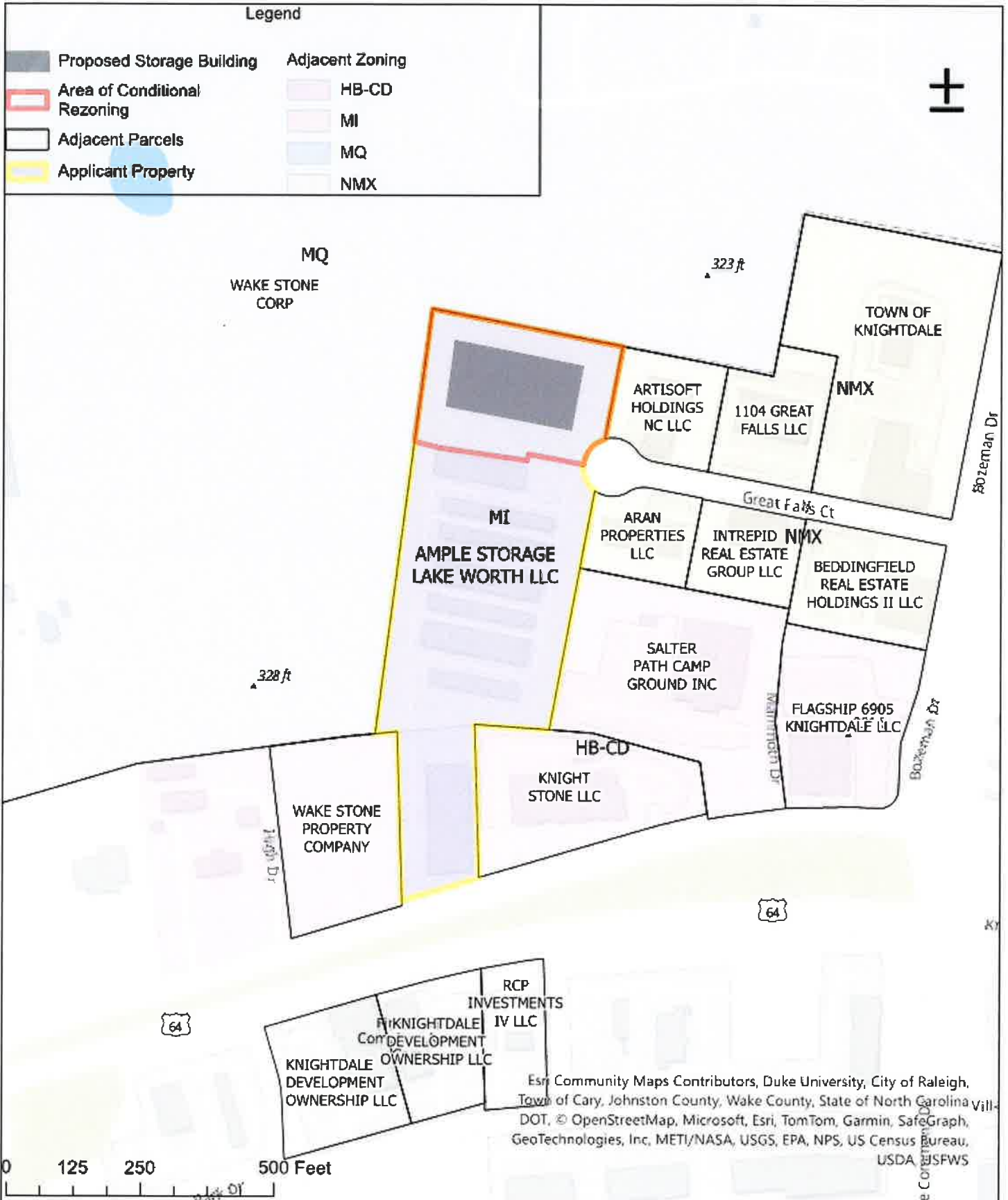
SURVEYORS

LANDSCAPE ARCHITECTS

Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
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Developer: Ample Storage Lake Worth, LLC
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Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

EX. WOODED AREA

EX. WOODED AREA

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE MI
 USE TYPE MINIWHSE

PROPOSED
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 BUILDING
 FFE = 320.5

EX. MINI STORAGE BUILDING

EX. STORAGE BUILDING

EX. OFFICE

EX. WOODED AREA

**SKETCH PLAN
 PROJECT AREA**

N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

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LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWSP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
DRAWN BY:	EDN	DRAWING No.	W-4073-SK		
CHECKED BY:	JSJ	SCALE	1"=50'		
		DATE	APRIL 1, 2024		

PLANNING AND DESIGN SERVICES, INC. 4073 STATE STREET, SUITE 100, RALEIGH, NC 27609-1111 (919) 594-1626 FAX: (919) 594-1627



ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS

April 1, 2024

Wake Stone Corporation
PO Box 190
Knightdale, NC 27545-0190

Re: Ample Storage Expansion

Dear Wake Stone Corporation:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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ENGINEERS

PLANNERS

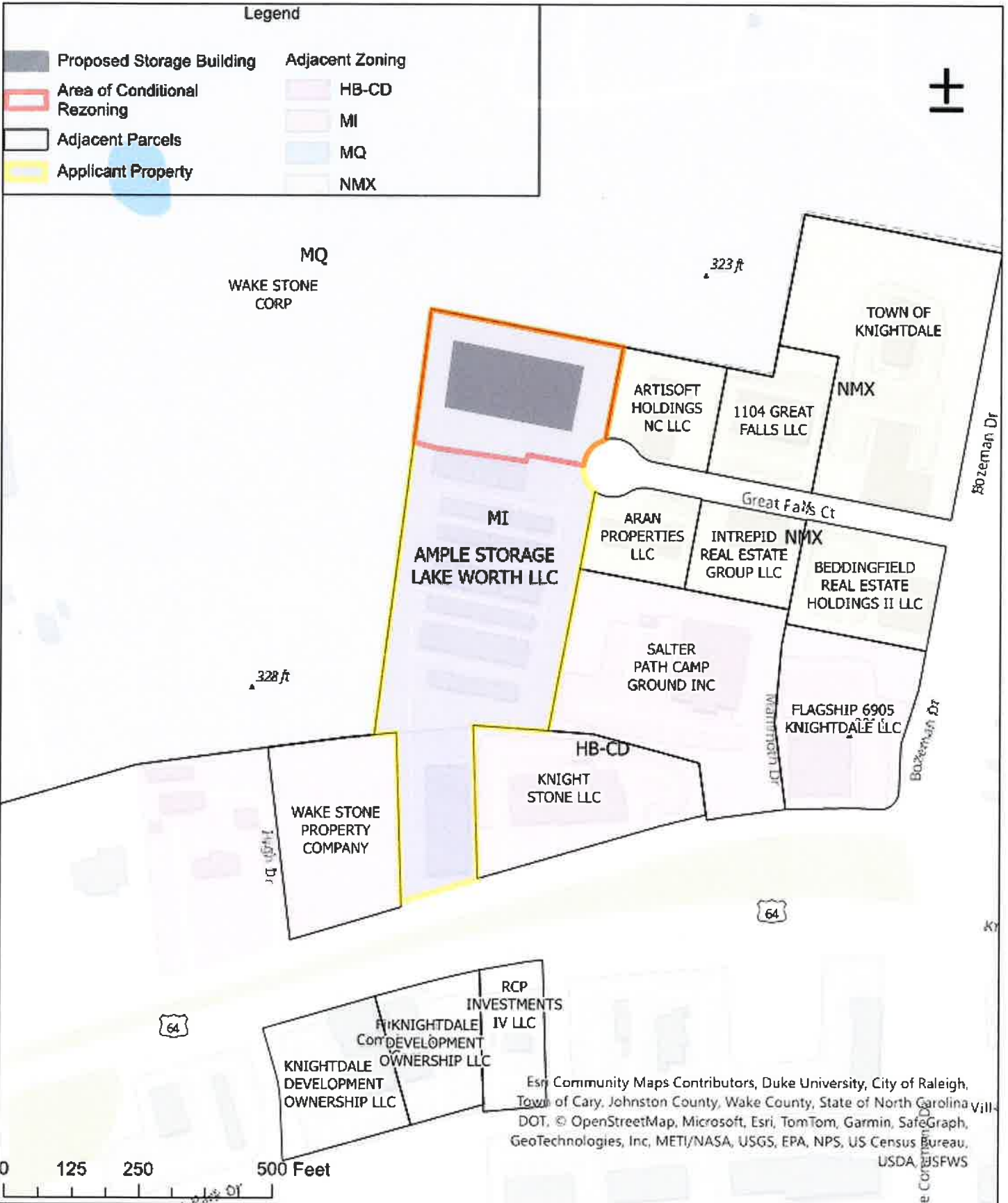
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Project Contact Information

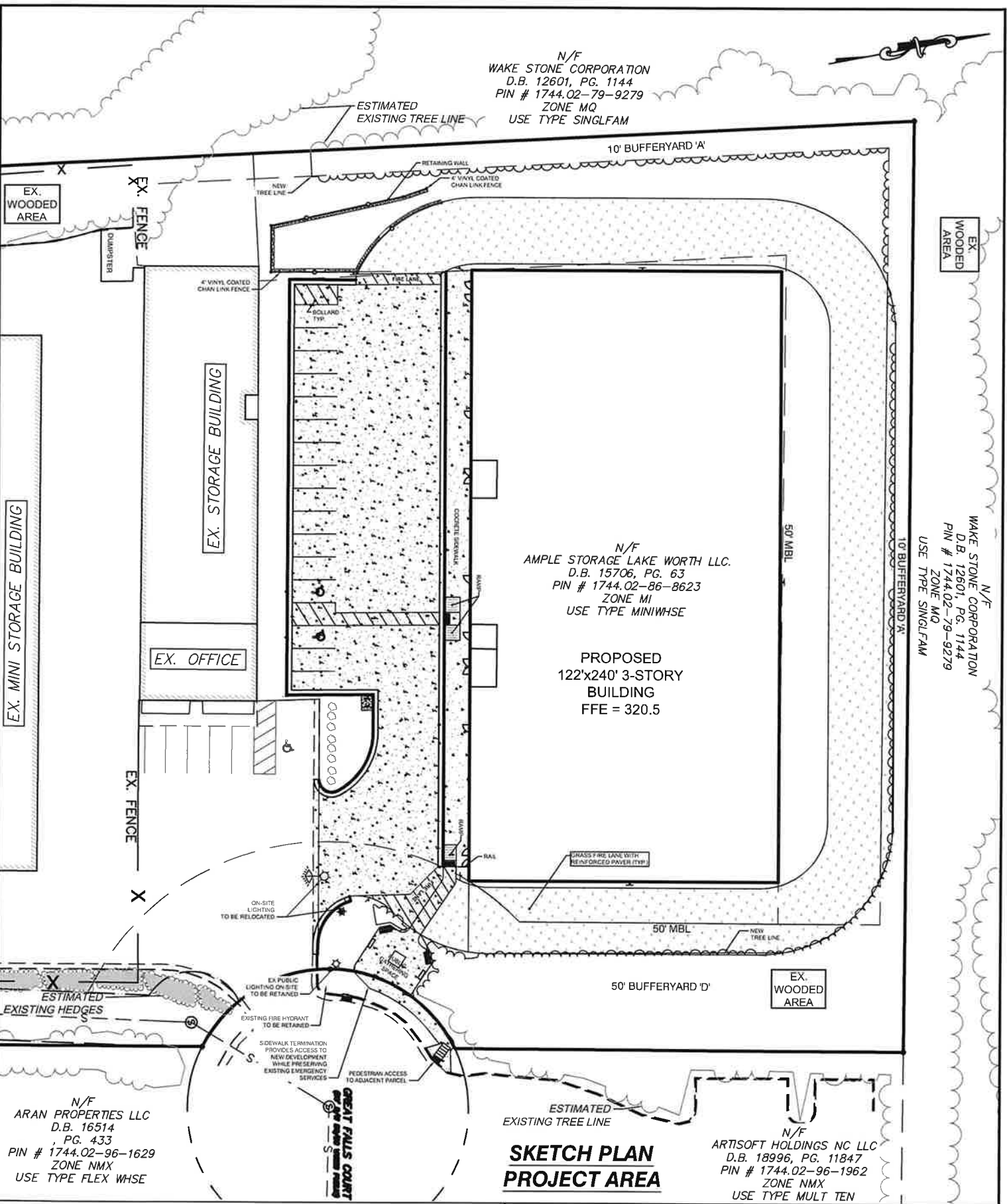
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Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
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Ample Storage Expansion



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N/F
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 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE MQ
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
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 PROJECT AREA**

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LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
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DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
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P:\PROJECTS\AMPLE - WAKE - ESTD\POSTAL\2023008 - AMPL - DWG\SETUP\4073-SK-1.DWG - 4/1/2024 2:12:50 PM - CONNOR WANCE

April 1, 2024

Ready Mixed Concrete Co
3015 Windward Plaza, Suite 300
Alpharetta, GA 30005-8713

Re: Ample Storage Expansion

Dear Ready Mixed Concrete Company:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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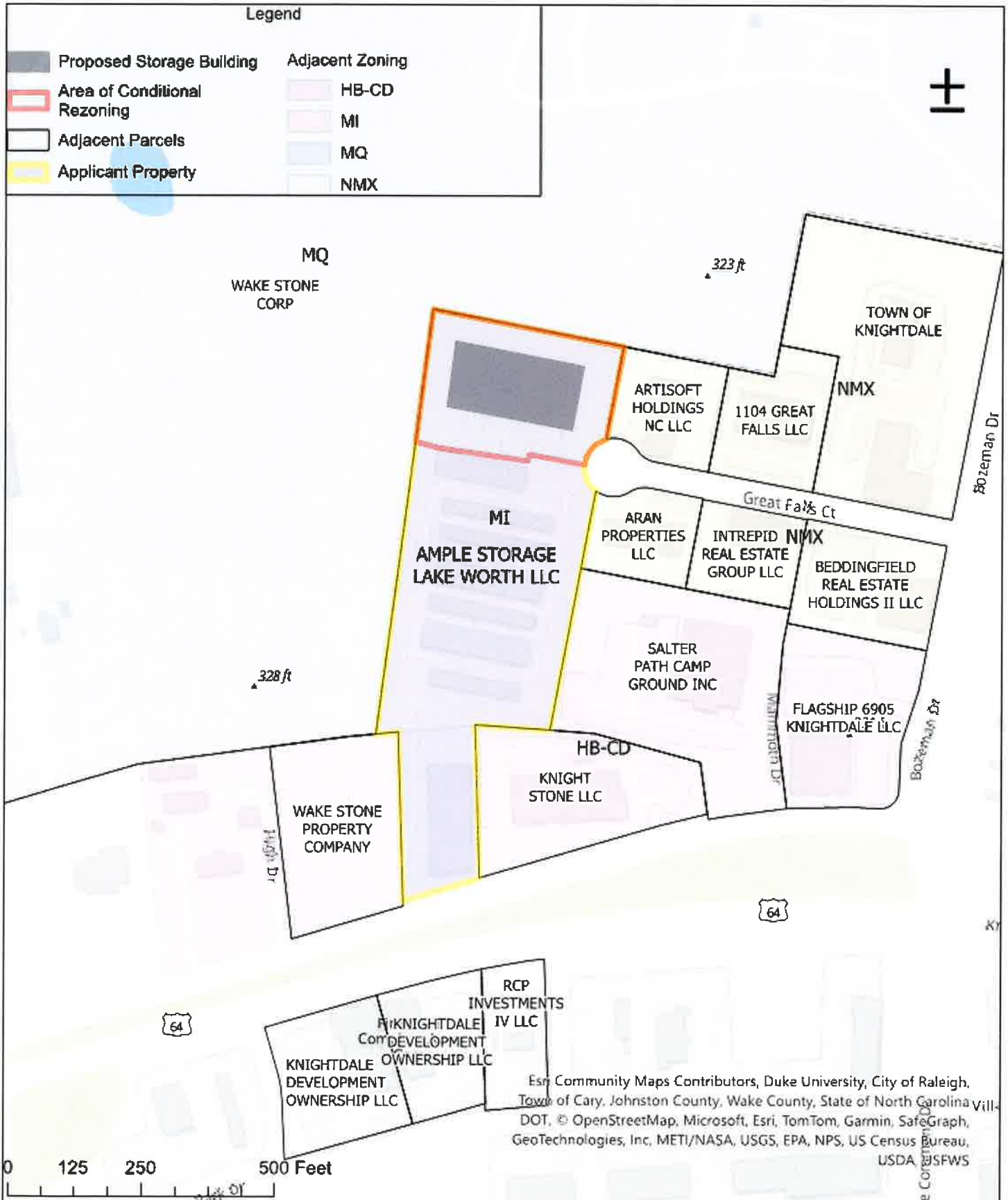
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Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

ESTIMATED
 EXISTING TREE LINE

10' BUFFERYARD 'A'

EX. WOODED AREA

EX. FENCE

EX. STORAGE BUILDING

EX. OFFICE

EX. MINI STORAGE BUILDING

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 O.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE M1
 USE TYPE MINIWHSE

PROPOSED
 122'x240' 3-STORY
 BUILDING
 FFE = 320.5

EX. WOODED AREA

N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

10' BUFFERYARD 'A'

4" VINYL COATED CHAIN LINK FENCE

RETAINING WALL
 4" VINYL COATED CHAIN LINK FENCE

NEW TREE LINE

BOLLARD TYP.

50' MBL

50' MBL

EX. FENCE

50' MBL

EX. WOODED AREA

50' BUFFERYARD 'D'

ON-SITE LIGHTING TO BE RELOCATED

EX PUBLIC LIGHTING ON-SITE TO BE RETAINED

EXISTING FIRE HYDRANT TO BE RETAINED

SIDEWALK TERMINATION PROVIDES ACCESS TO NEW DEVELOPMENT WHILE PRESERVING EXISTING EMERGENCY SERVICES

PEDESTRIAN ACCESS TO ADJACENT PARCEL

GRASS FIRE LANE WITH REINFORCED PAVEMENT TYP.

N/F
 ARAN PROPERTIES LLC
 O.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

ESTIMATED EXISTING TREE LINE

**SKETCH PLAN
 PROJECT AREA**

N/F
 ARTISOFT HOLOINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

Engineers
 Planners
 Surveyors
 Landscape Architects



Six Forks Place III
 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWSP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No:	2023008
DRAWN BY:	EDN	DRAWING No:	W-4073-SK
CHECKED BY:	JSJ	SCALE:	1"=50'
		DATE:	APRIL 1, 2024

SHEET No.
1

PIN # 1744.02-96-1629 ARAN PROPERTIES LLC O.B. 16514 PG. 433 ZONE NMX USE TYPE FLEX WHSE
 PIN # 1744.02-96-1962 ARTISOFT HOLOINGS NC LLC D.B. 18996 PG. 11847 ZONE NMX USE TYPE MULT TEN
 PIN # 1744.02-86-8623 AMPLE STORAGE LAKE WORTH LLC O.B. 15706 PG. 63 ZONE M1 USE TYPE MINIWHSE
 PIN # 1744.02-79-9279 WAKE STONE CORPORATION D.B. 12601 PG. 1144 ZONE M0 USE TYPE SINGLFAM

April 1, 2024

Knight Stone, LLC
1655 Wake Dr, Unit 101
Wake Forest, NC 27587-4746

Re: Ample Storage Expansion

Dear Knight Stone, LLC:

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

A Neighborhood Meeting is required by the Town of Knightdale Unified Development Ordinance and all property owners within 200 feet of the proposed development must receive notification of the meeting. The meeting will be an opportunity for residents and property owners to learn more about the project and provide feedback.

Meeting Date: April 11, 2024

Meeting Time: 6:00 PM

Meeting Location: 1107 Great Falls Ct, Knightdale, NC 27545

Application type: Conditional District Rezoning

Approving Authority: Town Council Legislative Approval

Property Request Address: 1107 Great Falls Ct

PIN: 1744868623

Description of proposal: Conditional District Rezoning – Mini-Warehouse

Estimated Submittal Date: April 22, 2024.

Enclosed is a map showing the location of the property being considered for this proposal. Additional materials and information may be available at the meeting. *Please see the Development Services 2022 Meeting & Submittal Schedule (https://www.knightdalenc.gov/sites/default/files/uploads/DevelopmentServices/submittal_and_meeting_schedule_2022.pdf) for future public meetings dates.

If you have any questions, comments, or concerns about the proposal prior to the meeting, you may contact the applicant via Matt Prokop, 107 E 2nd St, Greenville, NC 27858, (252) 752-4135 mprokop@riversandassociates.com

These will be recorded as part of the meeting summary, which is submitted to Town staff and elected officials. You may also contact Gideon Smit, Town of Knightdale Development Services Department, (919) 217-2245.



ENGINEERS

PLANNERS

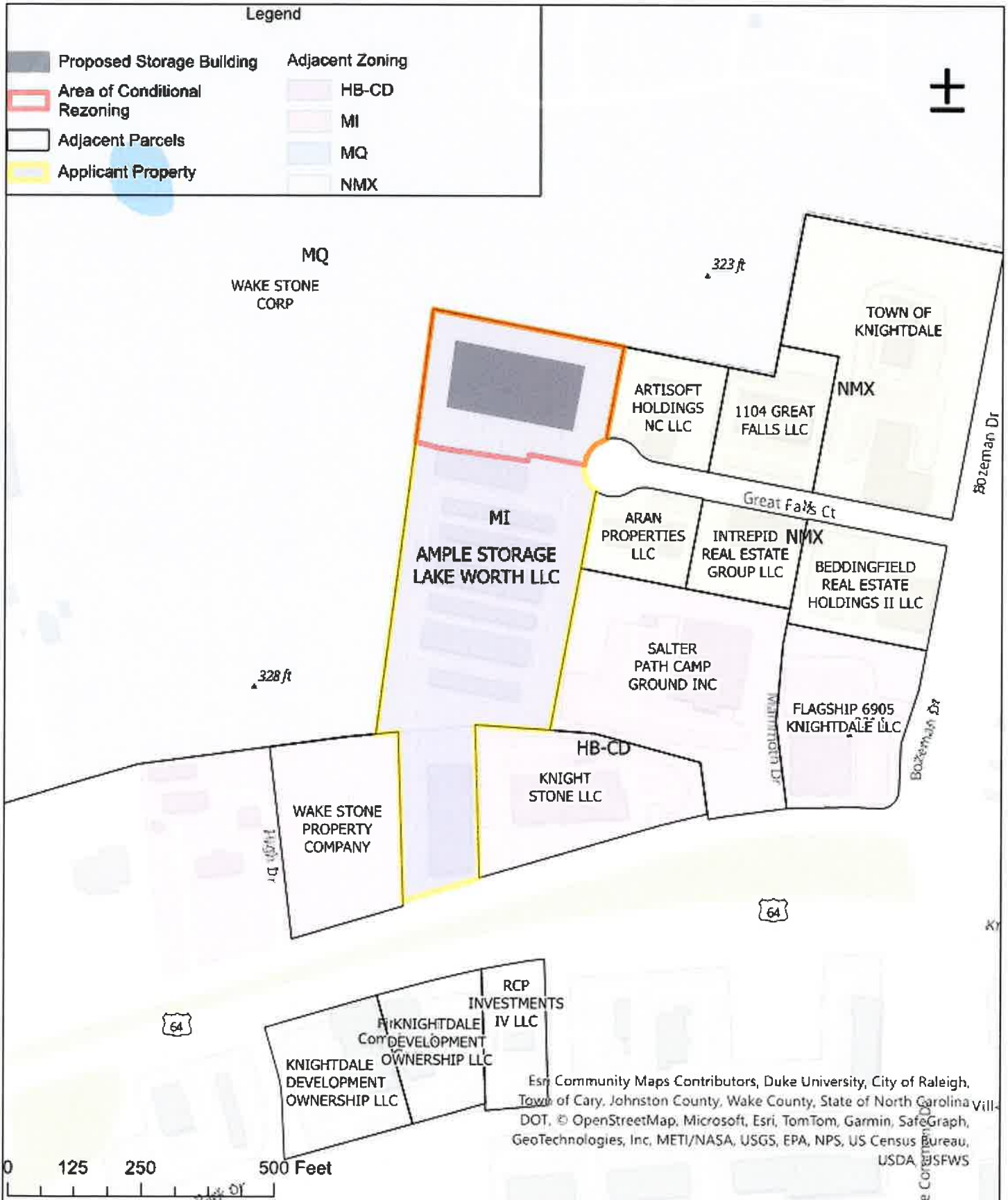
SURVEYORS

LANDSCAPE ARCHITECTS

Project Contact Information

Project Name: Ample Storage Expansion Proposed Zoning: MI - CD
Location: 1107 Great Falls Ct, Knighdale, NC 27545
Property PIN(s): 1744868623 Acreage/Square Feet: 29,280 sf
Property Owner: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

ESTIMATED
 EXISTING TREE LINE

10' BUFFERYARD 'A'

EX. WOODED AREA

EX. FENCE

EX. STORAGE BUILDING

EX. OFFICE

EX. MINI STORAGE BUILDING

EX. FENCE

N/F
 AMPLE STORAGE LAKE WORTH LLC.
 O.B. 15706, PG. 63
 PIN # 1744.02-86-8623
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 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM

10' BUFFERYARD 'A'

EX. WOODED AREA

50' BUFFERYARD 'D'

ESTIMATED
 EXISTING HEDGES

ON-SITE LIGHTING
 TO BE RELOCATED

EX PUBLIC LIGHTING
 ON-SITE TO BE RETAINED

EXISTING FIRE HYDRANT
 TO BE RETAINED

SIDEWALK TERMINATION
 PROVIDES ACCESS TO
 NEW DEVELOPMENT
 WHILE PRESERVING
 EXISTING EMERGENCY
 SERVICES

GREAT FALLS COURT
 4000 GREAT FALLS COURT
 WAKE FOREST, NC 27708

N/F
 ARAN PROPERTIES LLC
 O.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

ESTIMATED
 EXISTING TREE LINE

**SKETCH PLAN
 PROJECT AREA**

N/F
 ARTISOFT HOLOINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

Engineers
 Planners
 Surveyors
 Landscape Architects



Six Forks Place III
 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

LAMPE MANAGEMENT COMPANY
AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWSP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No:	2023008
DRAWN BY:	EDN	DRAWING No:	W-4073-SK
CHECKED BY:	JSJ	SCALE:	1"=50'
		DATE:	APRIL 1, 2024

SHEET No.
1

PLAN NUMBER: AMPLE - MAPLE - SITE: 4073008 - 2023008 - 0001 - DWG: 4073008 - 2023008 - 0001 - 14/01/24 (P) - 4073008 - 2023008 - 0001 - 14/01/24 (P) - 4073008 - 2023008 - 0001 - 14/01/24 (P)

April 1, 2024

Flagship 6905 Knightdale, LLC
2701 Coltsgate Rd, Ste 300
Charlotte, NC 25211-3596

Re: Ample Storage Expansion

Dear Flagship 6905 Knightdale, LLC

You are invited to a neighborhood meeting to learn more about the proposed Ample Storage Expansion, located at 1107 Great Falls Ct. This development will be an expansion of the existing Ample Storage located along Knightdale Blvd. You are receiving this letter as an adjacent property owner and are invited to provide input at a neighborhood meeting pertaining to the project.

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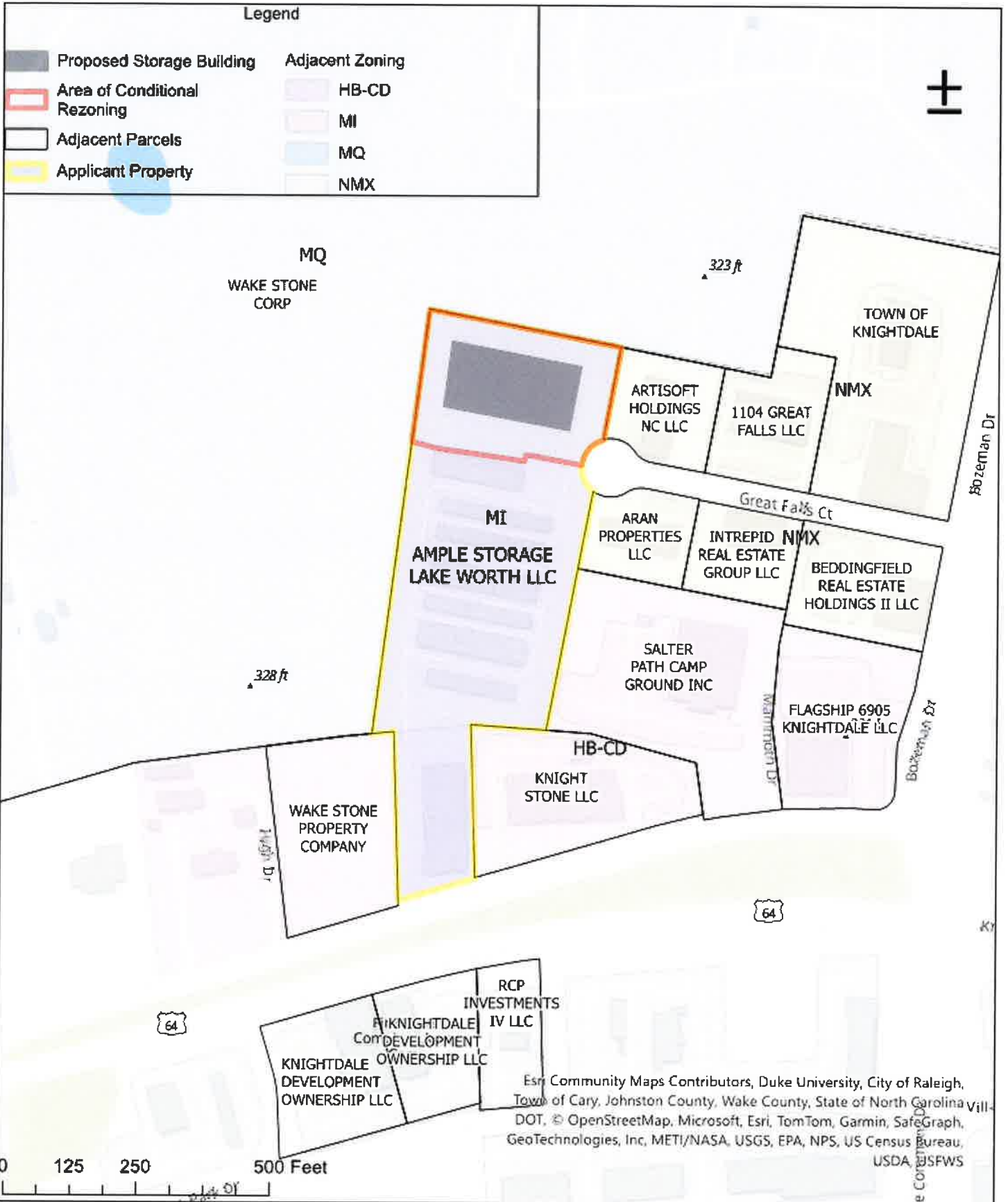
If you have any questions, comments, or concerns about the proposal prior to the meeting, you may contact the applicant via Matt Prokop, 107 E 2nd St, Greenville, NC 27858, (252) 752-4135 mprokop@riversandassociates.com

These will be recorded as part of the meeting summary, which is submitted to Town staff and elected officials. You may also contact Gideon Smit, Town of Knightdale Development Services Department, (919) 217-2245.

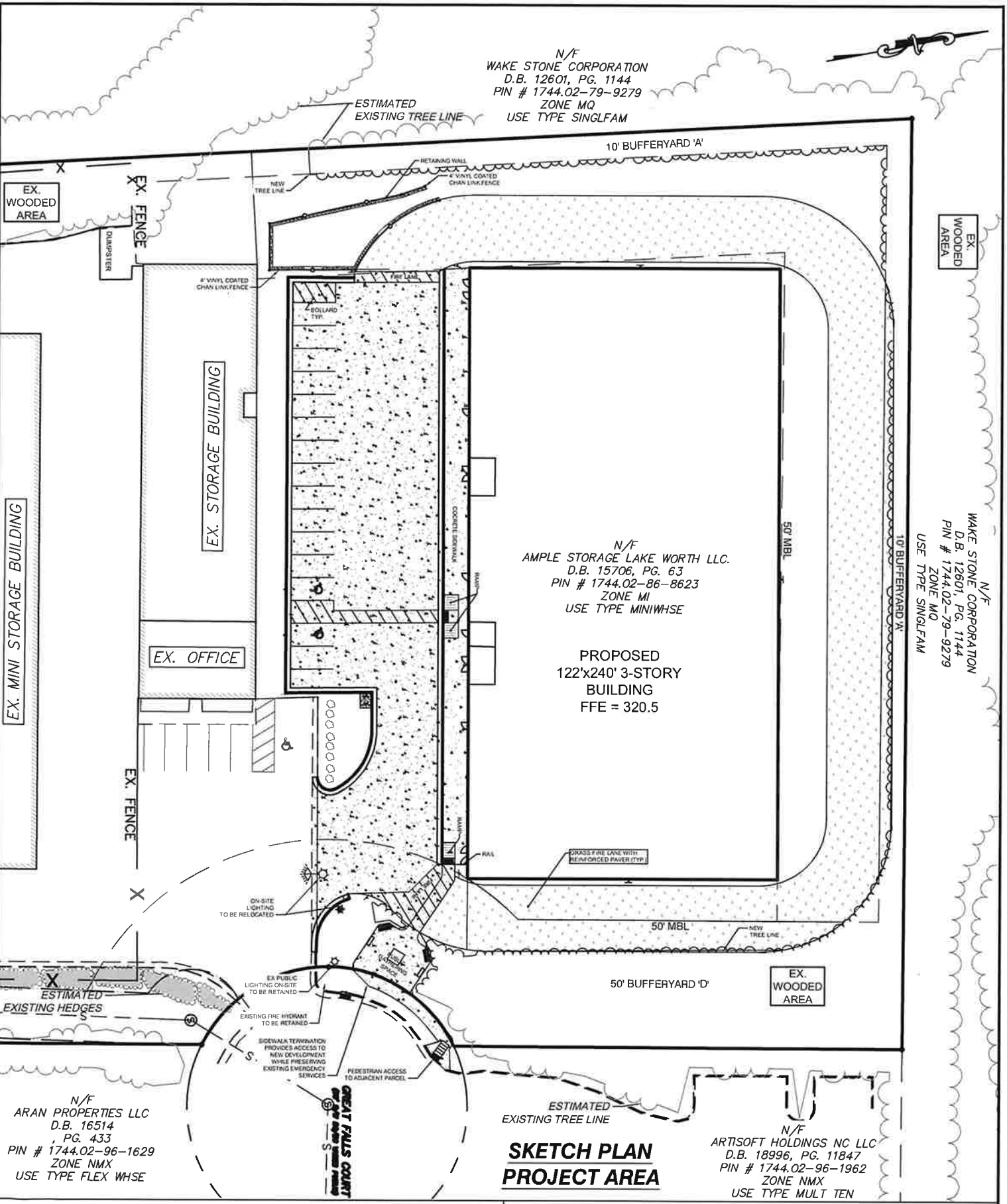
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Phone: 252-670-2664 Email: terryw@lampemanagement.com
Developer: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608
Engineer: Rivers & Associates, Inc.
Address: 107 E. 2nd St
City: Greenville State: NC Zip: 27858
Builder: Ample Storage Lake Worth, LLC
Address: PO Box 608
City: Smithfield State: NC Zip: 27577-0608

Ample Storage Expansion



N/F
 WAKE STONE CORPORATION
 D.B. 12601, PG. 1144
 PIN # 1744.02-79-9279
 ZONE M0
 USE TYPE SINGLFAM



N/F
 AMPLE STORAGE LAKE WORTH LLC.
 D.B. 15706, PG. 63
 PIN # 1744.02-86-8623
 ZONE M1
 USE TYPE MINIWHSE

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N/F
 ARAN PROPERTIES LLC
 D.B. 16514
 PG. 433
 PIN # 1744.02-96-1629
 ZONE NMX
 USE TYPE FLEX WHSE

N/F
 ARTISOFT HOLDINGS NC LLC
 D.B. 18996, PG. 11847
 PIN # 1744.02-96-1962
 ZONE NMX
 USE TYPE MULT TEN

**SKETCH PLAN
 PROJECT AREA**

**Engineers
 Planners
 Surveyors**

Rivers & ASSOCIATES, INC.
 Since 1918

Six Forks Place III
 Suite 230
 353 E. Six Forks Road
 Raleigh, NC 76609
 (919) 594-1626

LANDSCAPE ARCHITECTS
 riversandassociates.com

LAMPE MANAGEMENT COMPANY

AMPLE STORAGE - EXPANSION
 TOWN OF KNIGHTDALE - ST. MATTHEWS TWP. - WAKE CO. - NORTH CAROLINA

DESIGNED BY:	MJP	PROJECT No.	2023008	SHEET No.	1
DRAWN BY:	EDN	DRAWING No.	W-4073-SK		
CHECKED BY:	JSJ	SCALE	1"=50'		
		DATE	APRIL 1, 2024		

P:\PROJECTS\AMPLE - WAKE CO. - ST. MATTHEWS TWP. - KNIGHTDALE - WAKE CO. - NORTH CAROLINA - 2023008.DWG - LAYOUT 01 - 4/10/24 11:12:50 AM - LDW/HAZ

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ZIP 27858 \$ 000.64⁰
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0006042582



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

RCP Investments IV, LLC
307 Berkley Woods Dr.
Ashland, VA 23005-1253

1 AMCCPADE ADP/HT/ET/TC

CIBUEVNDCC

DI 1 AMNDC

ENR/BI/EE/DCS



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

**Beddingfield Real Estate
Holdings II, LLC
114 W. Main Street
Durham, NC 27701-3604**

FNRMFEDC

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IAMRCFADEADPQITEPTC

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ZIP 27858
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0006042582 APR 01 2024

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US POSTAGE



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107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Intrepid Real Estate Group, LLC
200 Maplewood Drive
Knightdale, NC 27545-9659

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APR 01 2024



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

1104 Great Falls, LLC
107 Fayetteville Street
Suite 400
Raleigh, NC 27601-2916

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107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Aran Properties, LLC
1621 Kirkby Lane
Raleigh, NC 27614-7228

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107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Artisoft Holdings NC, LLC
1106 Great Falls Court
Knightsdale, NC 27545-5801

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107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Ample Storage Lake Worth, LLC
P.O. Box 608
Smithfield, NC 27577-0608

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107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Salter Path Camp Ground, Inc.
P.O. Box 2323
Atlantic Beach, NC 28512-2323

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107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Knightdale Development Ownership, LLC
5845 Widewaters Parkway
Suite 100
East Syracuse, NY 13057-3078

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107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Wake Stone Corp.
P.O. Box 190
Knightdale, NC 27545-0190

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APR



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

**Ready Mixed Concrete Co.
3015 Windward Plaza
Suite 300
Alpharetta, GA 30005-8713**

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107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835



Knight Stone, LLC
1655 Wake Drive
Unit 101
Wake Forest, NC 27857-4746

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ZIP 27858
02 7H
0006042582 APR 01 2024

by PITNEY BOWES



107 E. Second Street (27858)
PO Box 929
Greenville, NC 27835

Flagship 6905 Knightdale, LLC
2701 Coltsgate Road
Suite 300
Charlotte, NC 28211-3596

ENGINEERS

PLANNERS

SURVEYORS

LANDSCAPE ARCHITECTS



NEIGHBORHOOD MEETING ATTENDANCE SHEET

Please list Neighborhood Meeting Attendees who provided their name and/or contact information either during the meeting or via phone/email before or after the meeting. Use duplicate sheets if needed.

	Name/Organization	Address	Phone Number	Email Address	Follow Up Requested?
1.					
2.	NONE IN ATTENDANCE				
3.					
4.					
5.					
6.					
7.					
8.					
9.					
10.					
11.					
12.					
13.					
14.					
15.					