

# BOULDER RIDGE MIXED USE COMMUNITY

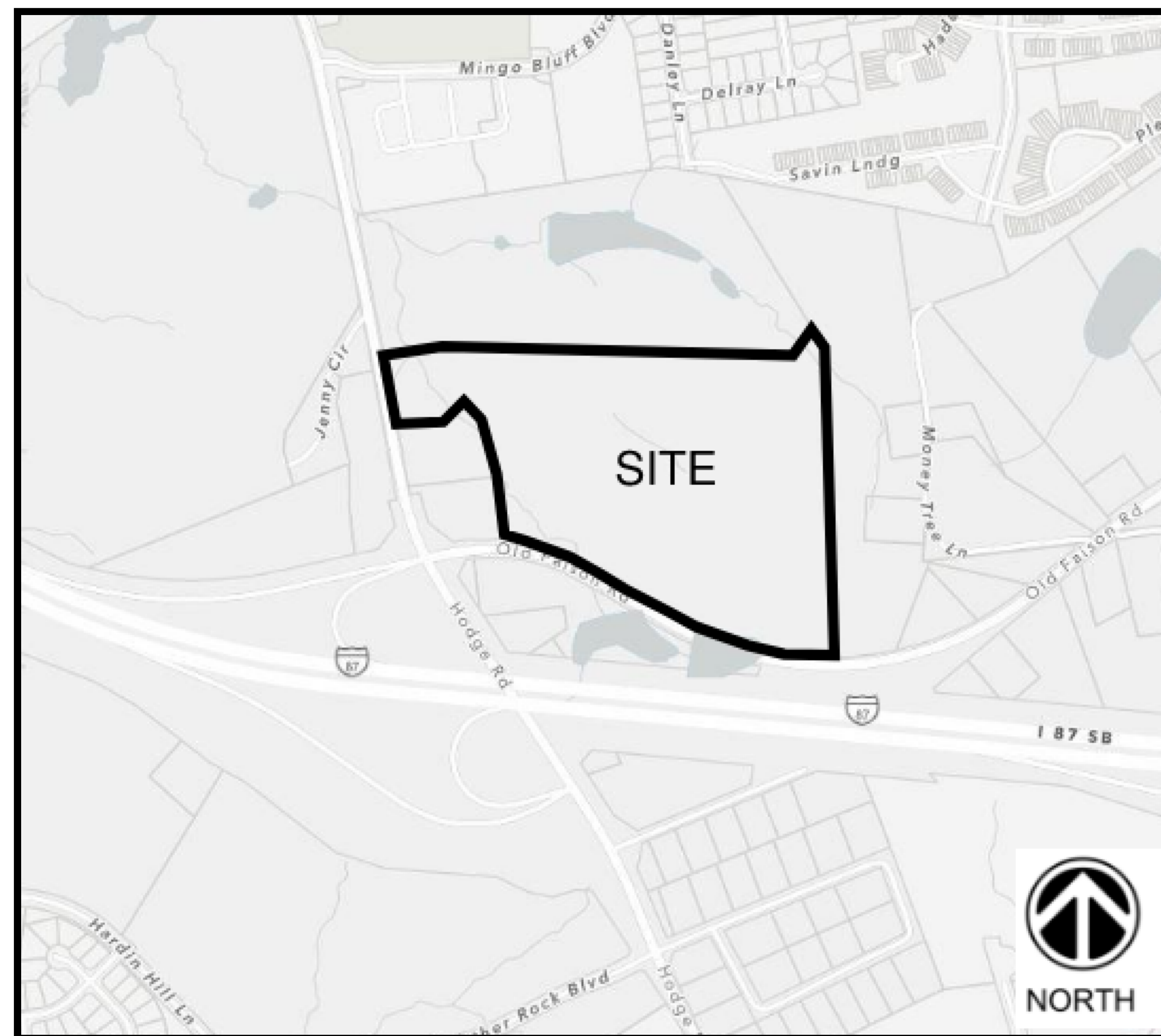
0 HODGE ROAD (PIN #: 1743-25-5851)  
KNIGHTDALE, NORTH CAROLINA, 27545

## 1ST SKETCH PLAN SUBMITTAL

Date: May 30, 2024

Property Owner:  
Old Faison Co LLC  
PO Box 31827  
Raleigh, NC 27622  
P: 914.831.0095

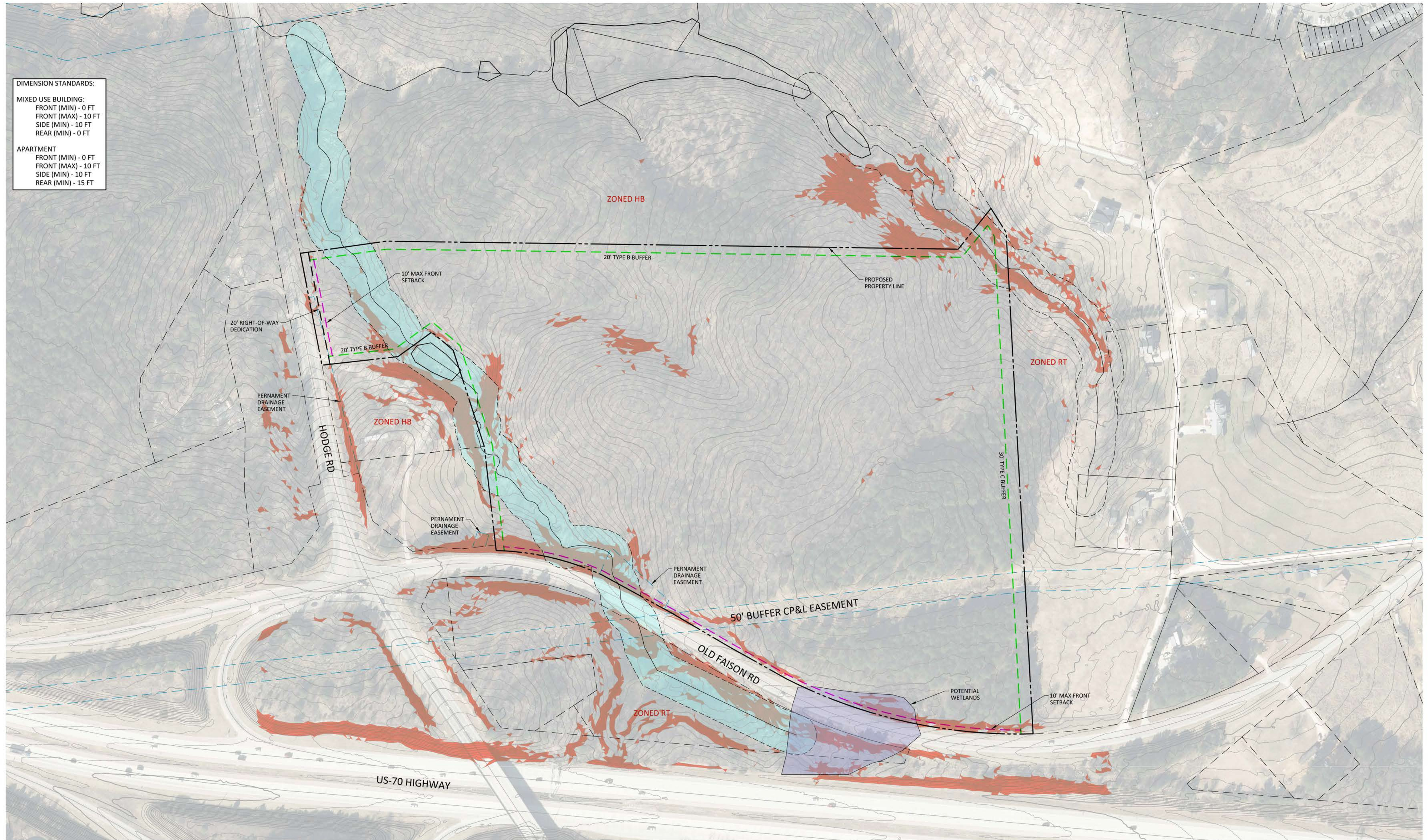
Sheet Index:  
Pg. 1: Title Sheet  
Pg. 2: Site Constraints  
Pg. 3: Site Context  
Pg. 4: Sketch Plan  
Pg. 5: Precedent Imagery



Vicinity Map

SITE DATA TABLE	
Site Address	0 Hodge Road
Parcel Number	1743-25-5851
Site Acreage	±34.11 AC
Existing Zoning	Highway Business (HB)
Proposed Zoning	Neighborhood Mixed-Use Planned Unit Development (NMX-PUD)
Existing Land Use	Vacant
Proposed Land Uses	Residential, Commercial, Mixed-Use
Proposed Density	14.4 DU/AC

WATER ALLOCATION POINTS	
Base Points	
Mixture of Use	41 Points
Bonus Points	
IPEMA Certified Playground Equipment	4 Points
On-Street Public Parking	4 Points
Pool	1 Point
Transit Easement with Shelter	2 Points
Clubhouse - 3500 SF Min./No Kitchen	8 Points
Total Points	60 Points



**DIMENSION STANDARDS:**

**MIXED USE BUILDING:**  
 FRONT (MIN) - 0 FT  
 FRONT (MAX) - 10 FT  
 SIDE (MIN) - 10 FT  
 REAR (MIN) - 0 FT

**APARTMENT:**  
 FRONT (MIN) - 0 FT  
 FRONT (MAX) - 10 FT  
 SIDE (MIN) - 10 FT  
 REAR (MIN) - 15 FT

# Site Constraints

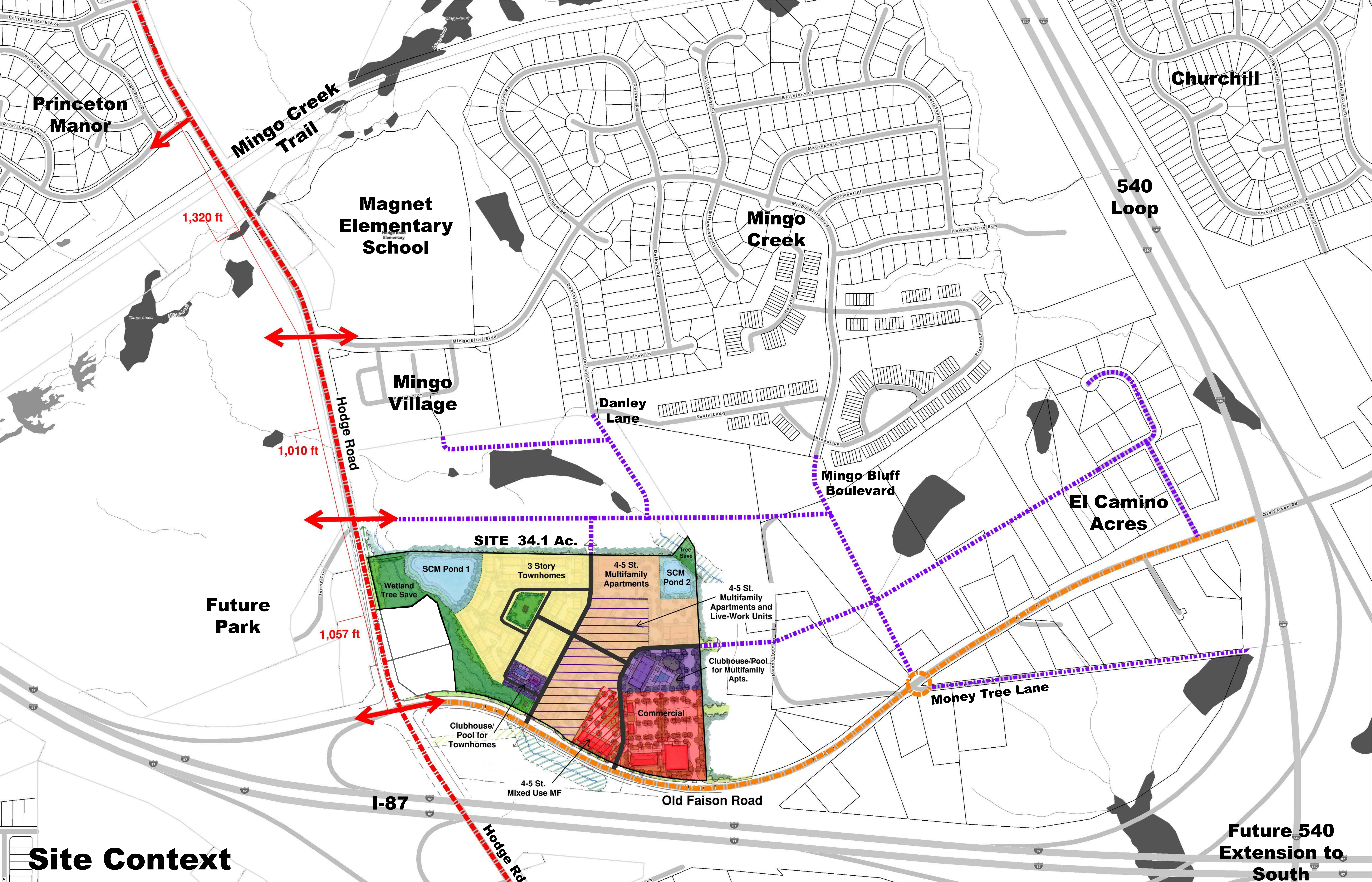


SR REAL ESTATE PARTNERS, LLC

**Boulder Ridge Mixed Use Community**  
 Sketch Plan Submittal - SR Development

Knightdale, NC





# Site Context



SR REAL ESTATE PARTNERS, LLC

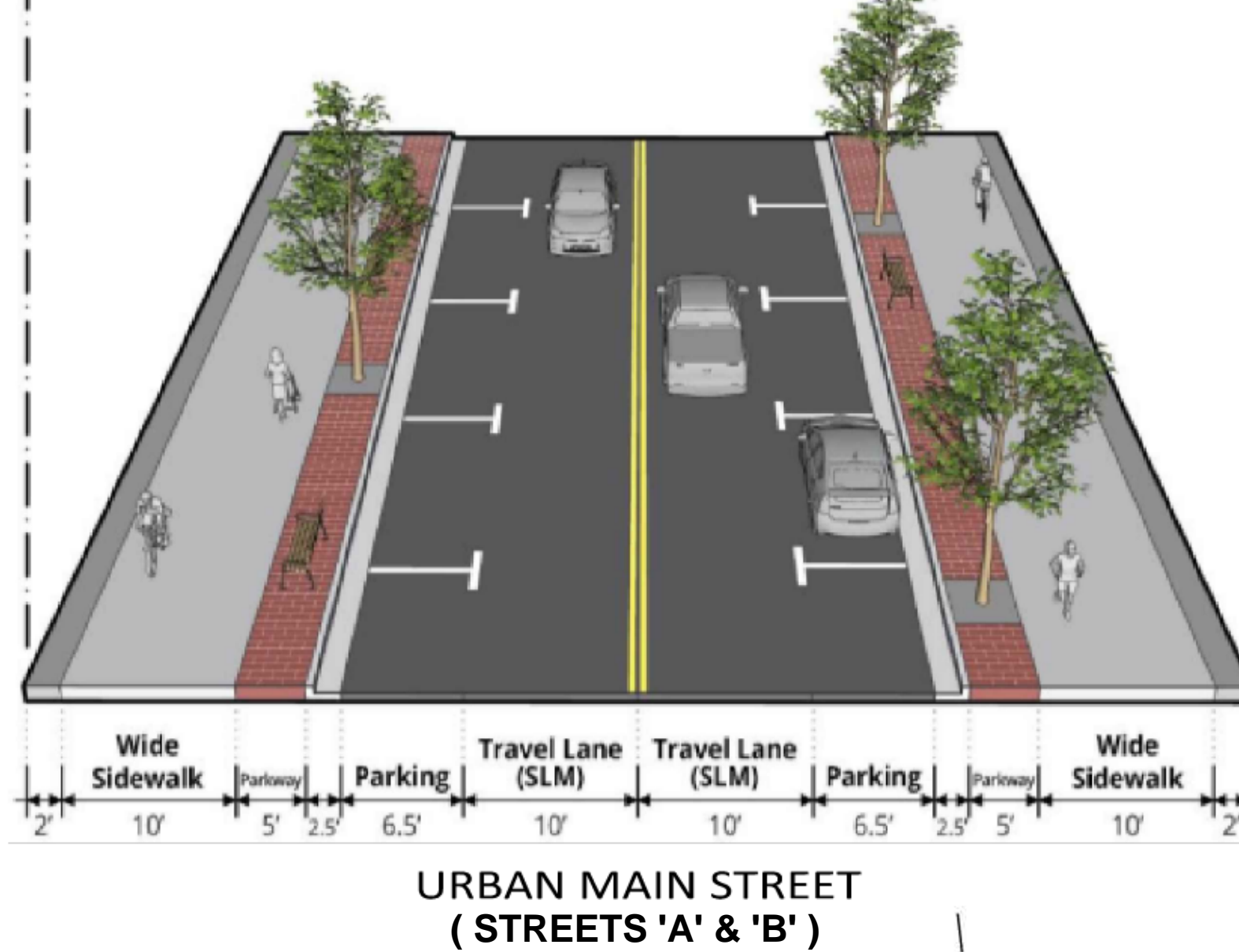
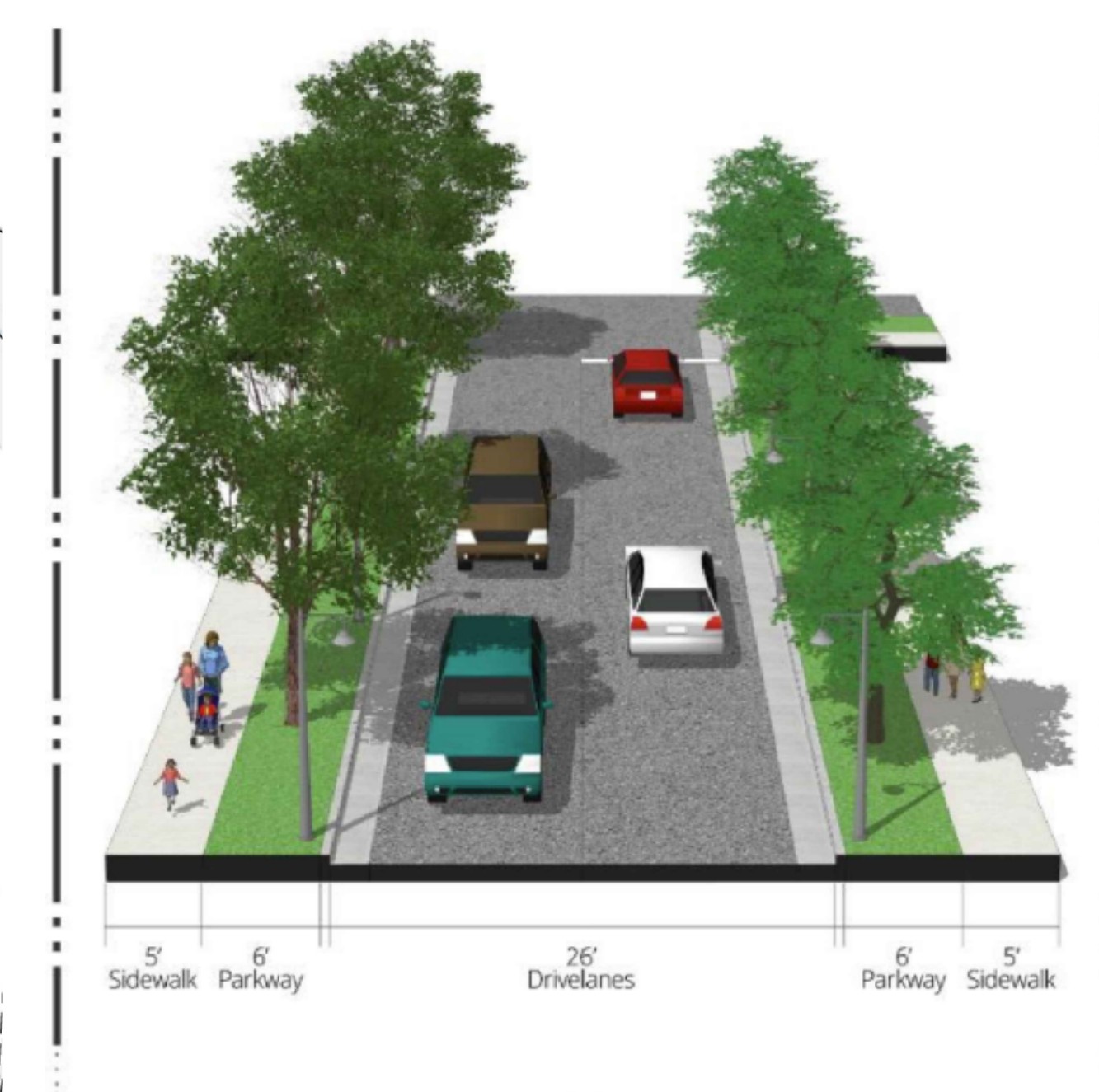
## Boulder Ridge Mixed Use Community Sketch Plan Submittal - SR Development

Knightdale, NC

Note: Site plan is conceptual & for capacity planning purposes. Site plan and program is subject to change during future planning review and design development stages.



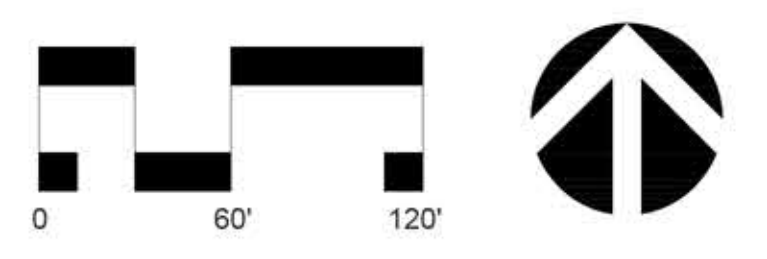
023178 | May 1, 2024



- Building Data:**
- A** 4 / 5 Split Multifamily Apartments with Live Work Units at Street (+/- 50 DU, incl. 6 Live-Work Units)
  - B** 4 / 5 Split Multifamily Apartments with Live Work Units at Street (+/- 88 DU, incl. 7 Live-Work Units)
  - C** 4 / 5 Split Multifamily Apartments with Live Work Units at Street (+/- 88 DU, incl. 7 Live-Work Units)
  - D** 4 St. Multifamily Apartments, +/- 50 DU
  - E** 4 St. Multifamily Apartments, +/- 50 DU
  - F** 4 St. Multifamily Apartments w. 11.5K Clubhouse at Ground Level, with 2.5K SF Pool, +/- 37 DU
  - G** 4 St. Apartments over Commercial +/- 37 DU, +/- 11.5K SF Ground Floor Commercial
  - H** +/- 9K SF Commercial (w. 1.5K SF Coffee) 1 to 2 St.
  - I** +/- 16.6K Grocery, 1 to 2 St.  
Option: +/- 50K Medical Office, 3 Story
  - J** +/- 3.6K SF Club, Leasing, with 1,600 SF Pool
  - K** 3 St. Townhomes / Rear-loaded, +/- 90 DU

- Land Use:**
- 3 Story Townhomes, +/- 90 DU (TOWNHOME-FORM)
  - Commercial, +/- 40,000 Sq. Ft. (400 DU MF District)
  - Live-Work Units, (2 Level @ Street) +/- 20 DU
  - 4 to 5 St. Multifamily Apartments, +/- 400 DU (incl. Live-Work Units)
  - Clubhouse / Amenity Space, +/- 15,000 SF Total
- Total Parking Shown: +/- 789 Spaces**

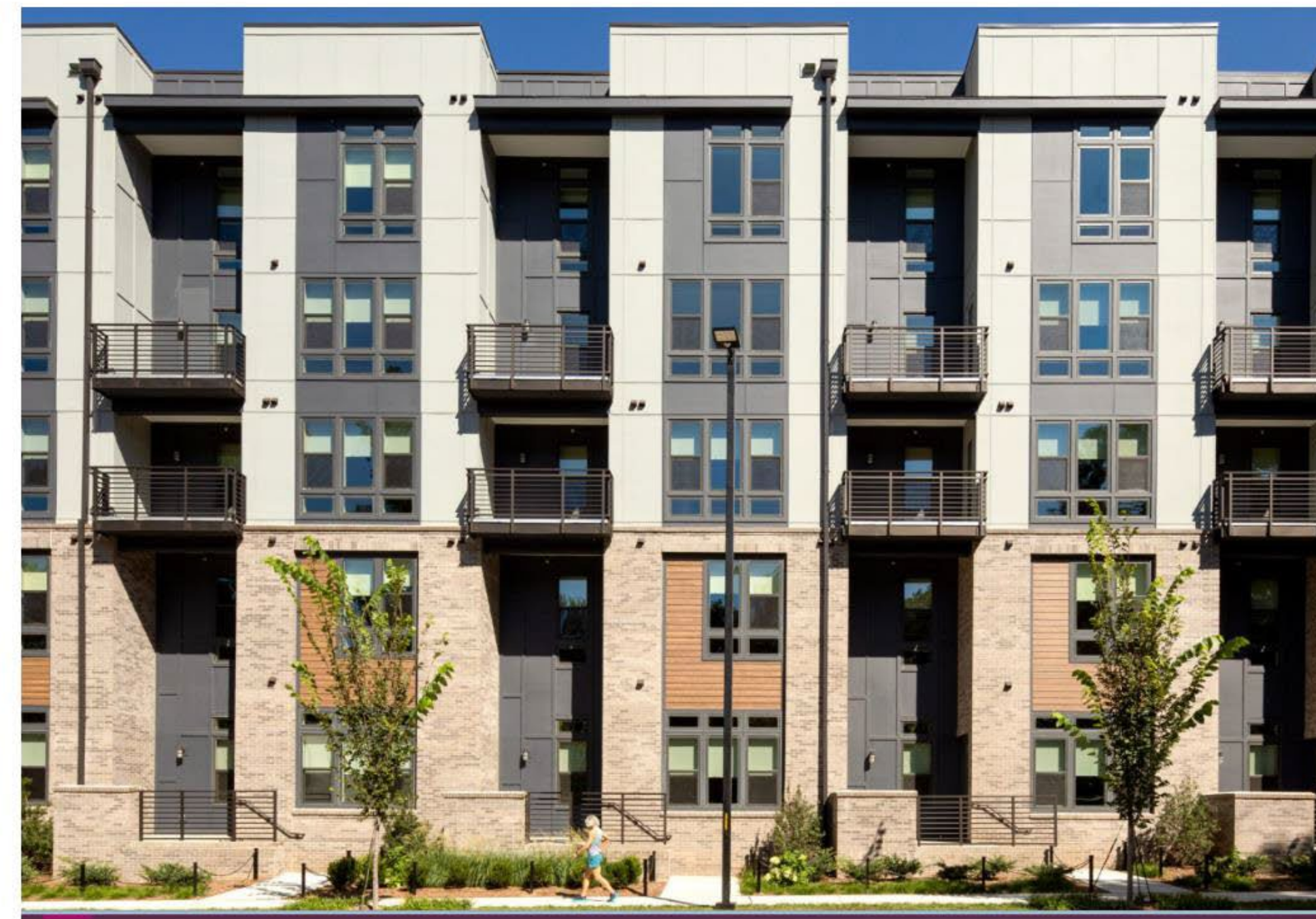
- Open Space / Tree Save:**
- Required Tree Canopy: 2.6 AC
  - NRB: 2.33 AC
  - Tree Save: 0.87 AC
  - Provided Tree Cover: 3.2 AC
  - Required Open Space: 10.6 AC
  - Total Open Space: 11.14 AC



COMMERCIAL

MULTI-FAMILY

TOWNHOME



Precedent Images