

CONSTRUCTION PLAN

KNIGHTDALE GATEWAY

5901 FARMWELL ROAD

ST. MATTHEW'S TOWNSHIP, KNIGHTDALE, NORTH CAROLINA

ZMA-16-21

WAKE COUNTY

ORDINANCE #22-08-17-006

INDEX OF DRAWINGS

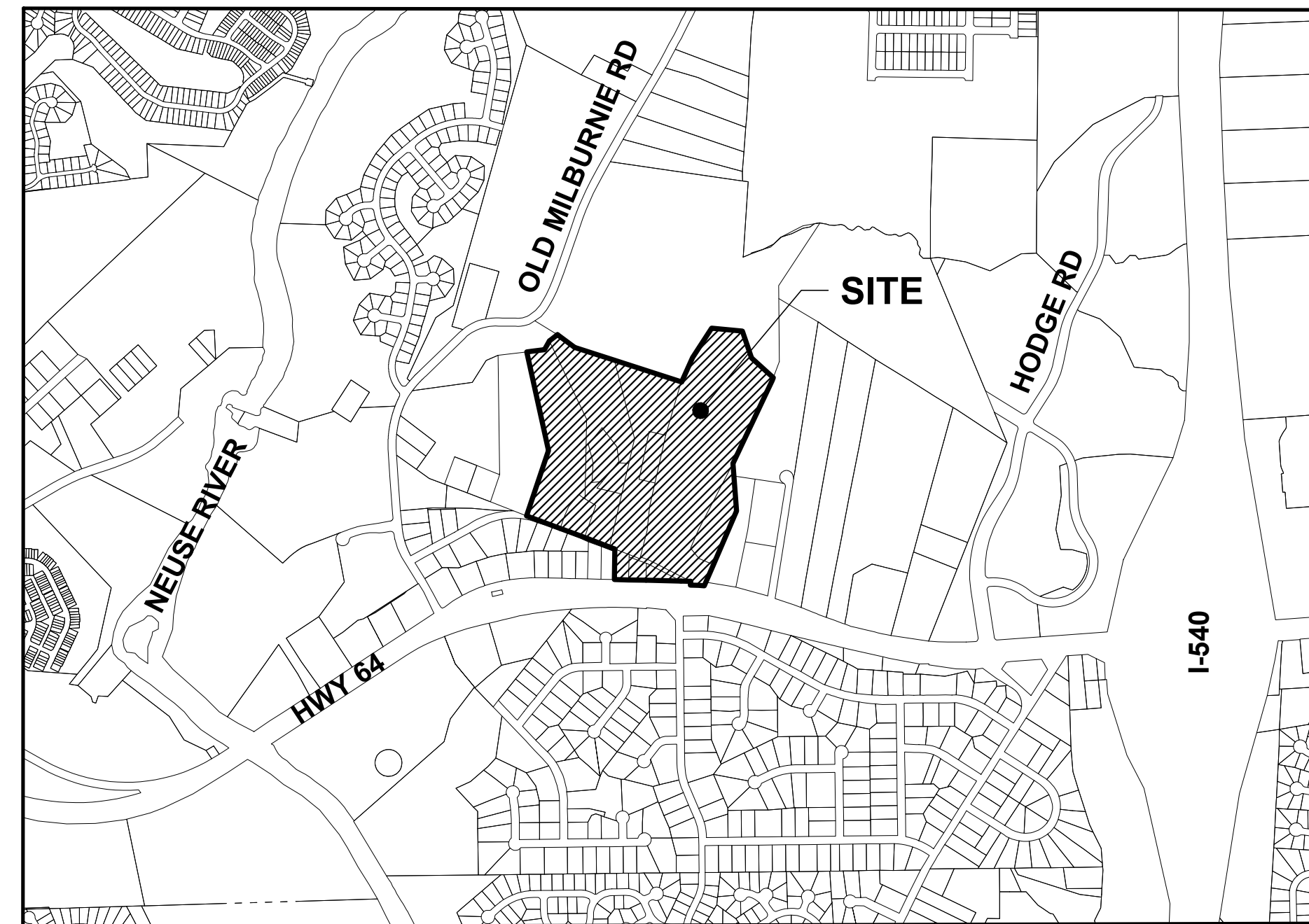
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GENERAL NOTES

- SEE TRAFFIC IMPACT ANALYSIS REPORT TITLED "KNIGHTDALE GATEWAY" DATED MAY 19, 2022, PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC., FOR DETAILED ANALYSIS.

WATER & SEWER

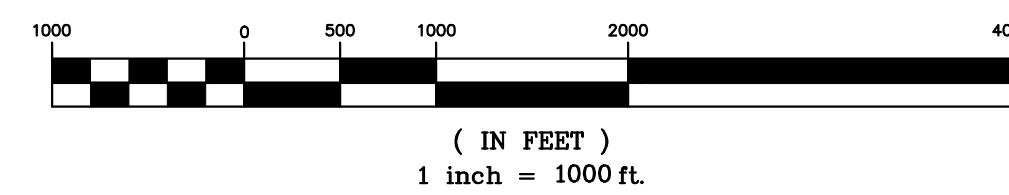
- CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING PUBLIC UTILITIES PRIOR TO ANY EXCAVATIONS, GRADING, OR INSTALLATION OF UNDERGROUND UTILITIES ON OR ADJACENT TO THE PROJECT.
- ALL SANITARY SEWER AND WATER LOCATED OUTSIDE THE PROPOSED STREET RIGHT-OF-WAY SHALL BE PROVIDED WITH STANDARD EASEMENT WIDTHS AS PER CITY OF RALEIGH REQUIREMENTS AND SHALL BE DEDICATED TO THE CITY OF RALEIGH ON THE FINAL PLAT.
- NO SERVICES SHALL BE BENT OR INSTALLED IN SUCH A WAY THAT DOES NOT COMPLY WITH CITY STANDARDS.
- A PLAT FOR ALL CITY OF RALEIGH SANITARY SEWER EASEMENTS WILL BE SUBMITTED TO CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR REVIEW PRIOR TO RECORDING AND PRIOR TO THE ISSUANCE OF BUILDING PERMITS FROM THE TOWN OF KNIGHTDALE.



VICINITY MAP

SCALE: 1"=1,000'

GRAPHIC SCALE



DEVELOPER

BEACON PARTNERS
500 EAST MOREHEAD ST
SUITE 200
CHARLOTTE, NC 28202
PHONE (704) 597-7757

ENGINEER

ADVANCED CIVIL DESIGN, INC.
51 KILMAYNE DRIVE, SUITE 102
CARY, NC 27511
PHONE (919) 481-6290
FAX (919) 336-5127

OWNER

BEACON KG LLC
500 EAST MOREHEAD ST
SUITE 200
CHARLOTTE, NC 28202
PHONE (704) 597-7757

SITE DATA TABLE

SITE ACREAGE:	54.13 ACRES
EXISTING ZONING:	M1-PUD (MANUFACTURING & INDUSTRIAL - PLANNED UNIT DEVELOPMENT)
OVERLAY DISTRICT:	NONE
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	MANUFACTURING, LIGHT (UDO 5.7.B) RESEARCH AND DEVELOPMENT (UDO 5.7E) STORAGE - WAREHOUSE, INDOOR STORAGE (UDO 5.7G) WHOLESALE AND DISTRIBUTION (UDO 5.7H) BREWERY/WINERY/DISTILLERY (UDO 3.1.C.6) LABORATORY - MEDICAL, ANALYTICAL, RESEARCH & DEVELOPMENT (UDO 3.1.C.6)
WATERSHED:	LOWER NEUSE
PROPOSED IMPERVIOUS AREA:	953,964 SF (21.9 AC.)
PROPOSED NO. BUILDINGS:	2
BUILDING #1 AREA:	289,632 SF
BUILDING #2 AREA:	221,363 SF
TOTAL BUILDING AREA:	510,995 SF
PHASING:	PHASE 1 - BUILDING #2 (431 MILBURNIE LAKE DRIVE) PHASE 2 - BUILDING #1 (421 MILBURNIE LAKE DRIVE)
FRONT SETBACK (MIN.) **:	50 FT
SIDE SETBACK (MIN.) **:	50 FT
REAR SETBACK (MIN.) **:	50 FT
** IF ADJACENT TO RESIDENTIAL DISTRICT, 100 FEET.	
REQUIRED RECREATION OPEN SPACE:	0 SF
PROVIDED RECREATION OPEN SPACE:	0 SF

IMPROVEMENT QUANTITIES

	RALEIGH	KNIGHTDALE
NUMBER OF BUILDINGS	N/A	2
NUMBER OF LOT(S)	N/A	2
PUBLIC GRAVITY SEWER 8" (LF)	2,352	0
NUMBER OF SEWER STUBS/TIES (EA)	8	0
PUBLIC WATER 12" (LF)	888	0
NUMBER OF WATER STUBS/TIES (EA)	3	0
PUBLIC STREET (LF)	N/A	811
PUBLIC SIDEWALK (LF)	N/A	2,050
PUBLIC CURB & GUTTER (LF)	N/A	3,404
PUBLIC STORM DRAINAGE (LF)	N/A	1,149

USE STANDARDS

- UDO SECTION 5.7.B LIGHT MANUFACTURING:**
- ALL MATERIALS OR EQUIPMENT SHALL BE STORED WITHIN AN ENCLOSED BUILDING OR STORED WITHIN AN OUTDOOR STORAGE AREA THAT COMPLIES WITH ALL REGULATIONS SET FORTH IN SECTION 5.10 AND IS RESTRICTED TO THE REAR YARD.
 - ANY OPERATION WHICH RESULTS IN THE CREATION OF NOXIOUS VIBRATIONS, ODORS, DUST, GLARE, OR SOUND IS PROHIBITED.
- UDO SECTION 5.7E RESEARCH AND DEVELOPMENT:**
- ALL MATERIALS OR EQUIPMENT SHALL BE STORED WITHIN AN ENCLOSED BUILDING OR STORED WITHIN AN OUTDOOR STORAGE AREA THAT COMPLIES WITH ALL REGULATIONS SET FORTH IN SECTION 5.10 AND IS RESTRICTED TO THE REAR YARD.
 - ANY OPERATION WHICH RESULTS IN THE CREATION OF NOXIOUS VIBRATIONS, ODORS, DUST, GLARE OR SOUND IS PROHIBITED.
- UDO SECTION 5.7G STORAGE - WAREHOUSE, INDOOR STORAGE:**
- AN INDOOR STORAGE WAREHOUSE BUILDING IS LIMITED TO FIVE THOUSAND (5,000) SQUARE FEET PER FLOOR IN THE TC AND RR DISTRICTS.
 - OUTDOOR STORAGE IS NOT PERMITTED.
 - IN THE RR DISTRICT, ALL AREAS SHALL BE SCREENED FROM ANY PRE-EXISTING ADJACENT RESIDENCE (OTHER THAN THE OWNER(S)) BY A TYPE-A BUFFER YARD (SECTION 7.4 (1)(2)).
- UDO SECTION 5.7H WHOLESALE AND DISTRIBUTION:**
- ALL VEHICLE STORAGE AREAS SHALL BE ENCLOSED BY AN OPAQUE FENCE OR WALL, RESTRICTED TO THE REAR YARD, AND SCREENED FROM OFF-SITE VIEW OF A PUBLIC RIGHT-OF-WAY BY A TYPE-A BUFFER YARD (SECTION 7.4 (1)(2)).
 - NO OUTDOOR PUBLIC ADDRESS SYSTEM SHALL BE PERMITTED WHICH CAN BE HEARD BEYOND THE BOUNDARIES OF THE PROPERTY.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water and sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____
Raleigh Water Review Officer

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # S-5131

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit # W-3983

Town Approved Standards Shall Control.

In the event of a conflict or inconsistency between these construction drawings and the Town of Knightdale's Approved Standards for this project, the Approved Standards shall control. Town of Knightdale Approved Standards shall mean all development documents necessary for approval for the Property including, but not limited to, any special use permit, subdivision plan, site plan, subdivision plat(s), phasing schedule, Development Agreement, Utility Allocation Agreement, Annexation Agreement, the Town of Knightdale Standard Specification and Details Manual and applicable provisions of the North Carolina State Building Code.

Professional Design Engineer Certification. These improvements shall be constructed in accordance with the following drawings and with the Standard Specifications of the Town of Knightdale. I, Jack R. Royal Jr., PE, certify that the Standard Specifications of the Town of Knightdale have been thoroughly checked and found to be applicable to this project. All exceptions to the applicable Town standards have been previously approved by the Town of Knightdale and said exceptions are shown on Sheet(s) _____ of these drawings.

Seal _____ By: _____ PE
Date: _____

Town Certification. This design has been reviewed by the Development Services Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

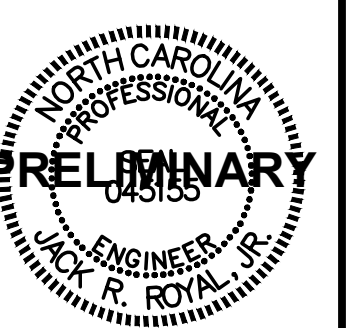
By: _____ Date: _____
Development Services Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: _____
Administrator

PLAN PREPARED BY:
51 Kilmayne Drive, Suite 102
Cary, North Carolina 27511
ph 919.481.6290
fax 919.336.5127
ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:
BEACON PARTNERS
500 East Morehead St.
Suite 200
Charlotte, North Carolina 28202
ph 704.597.7757
fax 704.598.9335

5901 Farmwell Road, Knightdale, NC 27610 - Wake County
KNIGHTDALE GATEWAY
CONSTRUCTION PLAN
FOR
BEACON PARTNERS
COVER SHEET



ZMA-16-21

11/10/2023

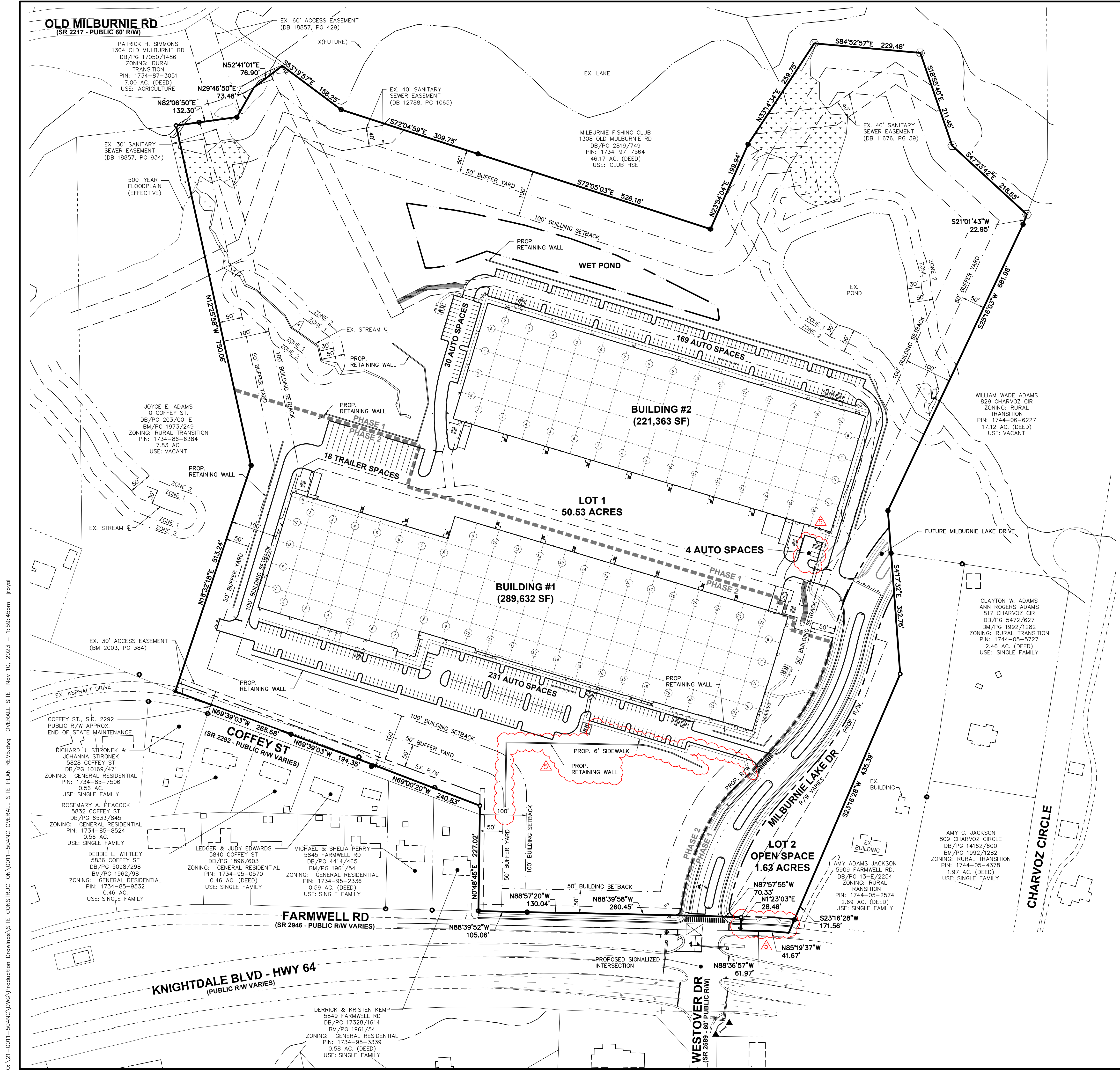
Issue Dates:	03/03/2023 - Construction Plan Submittal #5
	03/20/2023 - Construction Plan Signature Set
	03/29/2023 - Revision #1
	05/01/2023 - Revision #2
	05/09/2023 - Revision #3
	08/02/2023 - Revision #4
	11/10/2023 - Revision #5

Date: 11/10/2023
Scale: 1" = 1,000'

Drawn By: AMK
Checked By: JRR

Project Number:
21-0011-504

Drawing Number:
C.1.0



SITE DATA TABLE

WATERSHED: LOWER NEUSE
 PROPOSED IMPERVIOUS AREA: 953,964 SF (21.9 AC.)
 PROPOSED NO. BUILDINGS: 2
 BUILDING #1 AREA: 289,632 SF
 BUILDING #2 AREA: 221,363 SF
 TOTAL BUILDING AREA: 510,995 SF
 PHASING: PHASE 1 - BUILDING #2
 PHASE 2 - BUILDING #1
 FRONT SETBACK (MIN.) **: 50 FT
 SIDE SETBACK (MIN.) **: 50 FT
 REAR SETBACK (MIN.) **: 50 FT
 ** IF ADJACENT TO RESIDENTIAL DISTRICT, 100 FEET.
 REQUIRED RECREATION OPEN SPACE: 0 SF
 PROVIDED RECREATION OPEN SPACE: 0 SF

PARKING CALCULATIONS

USE TYPE: MANUFACTURING, LIGHT
 MAXIMUM NO. OF PARKING SPACES: 1.5 PER KSF GFA
 MINIMUM NO. OF PARKING SPACES: 0.5 X MAXIMUM
 **KSF = 1,000 SF; GFA = GROSS FLOOR AREA

BUILDING NO.	GFA (SF)	MAX. SPACES	MIN. SPACES	AUTO SPACES PROVIDED	TRUCK SPACES PROVIDED
1	289,632	434	217	231	18
2	221,363	332	166	203	0

ELECTRIC VEHICLE REQUIREMENTS: 1 PER 40 SPACES = 11 SPACES
 # OF CHARGING STATIONS/DEDICATED SPACES PROVIDED: 11 SPACES
 BICYCLE PARKING REQUIRED: 1 PER 10 PARKING SPACES = 44 SPACES
 BICYCLE PARKING PROVIDED: 44 SPACES

TOWN OF KNIGHTDALE WATER ALLOCATION POLICY

TOWN OF KNIGHTDALE WATER ALLOCATION POLICY CALCULATIONS ARE SHOWN BELOW:
 PROPOSED MANUFACTURING/INDUSTRIAL EMPLOYMENT CENTER - 507,000 SF
 MANUFACTURING/INDUSTRIAL EMPLOYMENT CENTER POINTS EARNED: 70 BASE POINTS

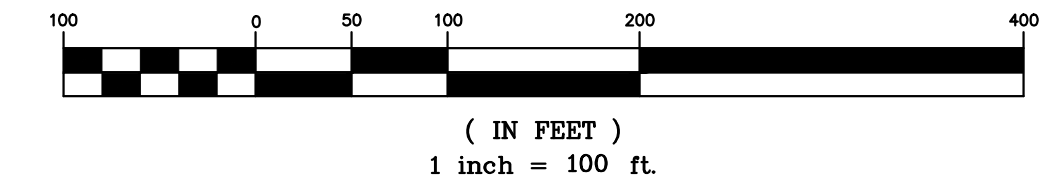
GENERAL NOTES

- 1. ALL PARKING AREAS MUST BE PAVED AND HAVE STANDARD CURB & GUTTER.

LEGEND

- Iron Pipe Found
- Calculated Point
- ▲ Railroad Spike
- Ex. Fence Line
- Ex. Property Line
- Property Line
- Ex. Wetlands

GRAPHIC SCALE



NARRATIVE OF REVISIONS

1. ADDED RETAINING WALL.
2. ADDED SIDEWALK CONNECTION.
3. DEDICATE R/W ALONG FARMWELL RD.
4. ADDED 4 PARKING SPACES FOR BUILDING #2.

PLAN PREPARED BY:

 ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
 51 Kimmey Drive, Suite 102
 Cary, North Carolina 27511
 ph 919.481.6990
 fax 919.336.5127

PLAN PREPARED FOR:

 BEACON PARTNERS
 500 East Main Street
 Charlotte, North Carolina 28269
 tel. 704.597.7757
 fax 704.598.6335

KNIGHTDALE GATEWAY
 CONSTRUCTION PLAN
 FOR
 BEACON PARTNERS
 OVERALL SITE PLAN
 5901 Formwell Road, Knightdale, NC 27610 - Wake County

11/10/2023

Issue Dates:

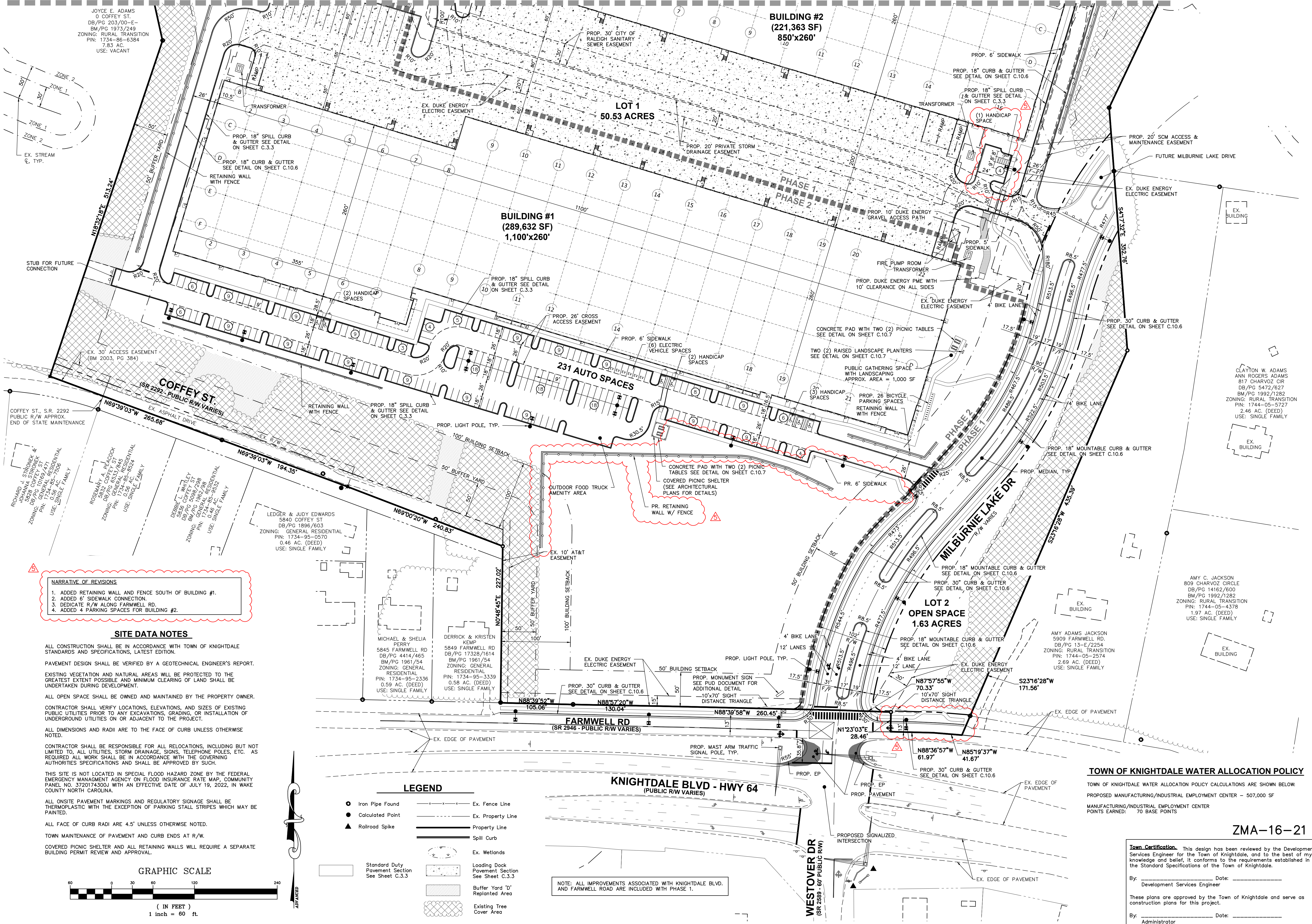
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11/10/2023	- Revision #5

ZMA-16-21

Town Certification. This design has been reviewed by the Development Services Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 By: _____ Date: _____
 Development Services Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator

Date: 11/10/2023
 Scale: 1" = 100'
 Drawn By: AMK
 Checked By: JRR
 Project Number: 21-0011-504
 Drawing Number: C.3.0

MATCHLINE - SEE SHEET C.3.2



JOYCE E. ADAMS
O COFFEY ST
DB/PG 203/00-E
BM/PG 1973/249
ZONING: RURAL TRANSITION
PIN: 1734-85-6384
7.83 AC.
USE: VACANT

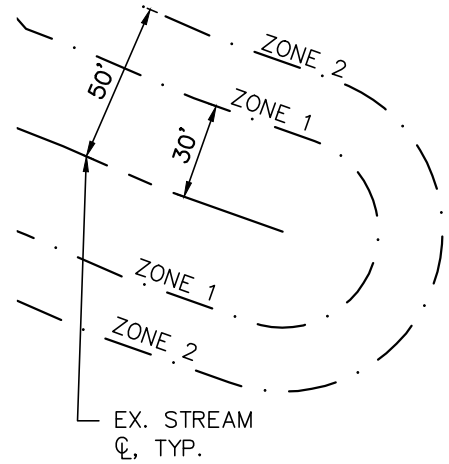
BUILDING #2
(221,363 SF)
850'x260'

LOT 1
50.53 ACRES

BUILDING #1
(289,632 SF)
1,100'x260'

231 AUTO SPACES

LOT 2
OPEN SPACE
1.63 ACRES



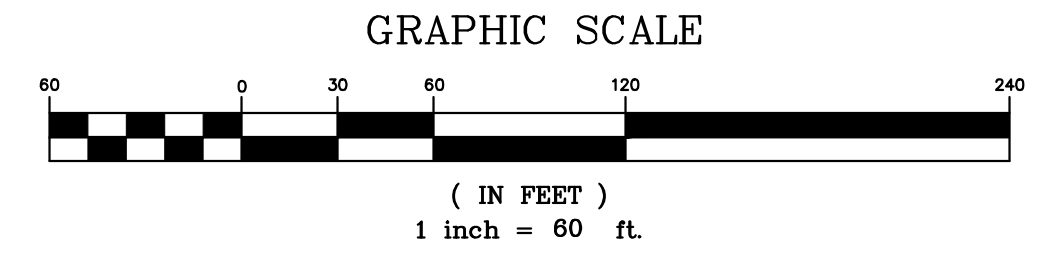
NARRATIVE OF REVISIONS
1. ADDED RETAINING WALL AND FENCE SOUTH OF BUILDING #1.
2. ADDED 6' SIDEWALK CONNECTION
3. DEDICATE R/W ALONG FARMWELL RD.
4. ADDED 4 PARKING SPACES FOR BUILDING #2.

SITE DATA NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS, LATEST EDITION.
PAVEMENT DESIGN SHALL BE VERIFIED BY A GEOTECHNICAL ENGINEER'S REPORT.
EXISTING VEGETATION AND NATURAL AREAS WILL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE AND MINIMUM CLEARING OF LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT.
ALL OPEN SPACE SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.
CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING PUBLIC UTILITIES PRIOR TO ANY EXCAVATIONS, GRADING, OR INSTALLATION OF UNDERGROUND UTILITIES ON OR ADJACENT TO THE PROJECT.
ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TELEPHONE POLES, ETC. AS REQUIRED ALL WORK SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
THIS SITE IS NOT LOCATED IN SPECIAL FLOOD HAZARD ZONE BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3720174500J WITH AN EFFECTIVE DATE OF JULY 19, 2022, IN WAKE COUNTY NORTH CAROLINA.
ALL ON-SITE PAVEMENT MARKINGS AND REGULATORY SIGNAGE SHALL BE THERMOPLASTIC WITH THE EXCEPTION OF PARKING STRIPES WHICH MAY BE PAINTED.
TOWN MAINTENANCE OF PAVEMENT AND CURB ENDS AT R/W.
COVERED PICNIC SHELTER AND ALL RETAINING WALLS WILL REQUIRE A SEPARATE BUILDING PERMIT REVIEW AND APPROVAL.

LEGEND

● Iron Pipe Found	--- Ex. Fence Line
● Calculated Point	--- Ex. Property Line
▲ Railroad Spike	--- Property Line
	--- Spill Curb
	--- Ex. Wetlands
	--- Loading Dock Pavement Section See Sheet C.3.3
	--- Buffer Yard 'D' Replanted Area
	--- Existing Tree Cover Area



NOTE: ALL IMPROVEMENTS ASSOCIATED WITH KNIGHTDALE BLVD. AND FARMWELL ROAD ARE INCLUDED WITH PHASE 1.

TOWN OF KNIGHTDALE WATER ALLOCATION POLICY

TOWN OF KNIGHTDALE WATER ALLOCATION POLICY CALCULATIONS ARE SHOWN BELOW:
PROPOSED MANUFACTURING/INDUSTRIAL EMPLOYMENT CENTER - 507,000 SF
MANUFACTURING/INDUSTRIAL EMPLOYMENT CENTER
POINTS EARNED: 70 BASE POINTS

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51 Kimmage Drive, Suite 102
Cary, North Carolina 27511
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500 East Main Street
Suite 200
Charlotte, North Carolina 28249
PH 704.597.7757
FAX 704.598.6335

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KNIGHTDALE GATEWAY
CONSTRUCTION PLAN
FOR
BEACON PARTNERS
SITE PLAN



Issue Dates:

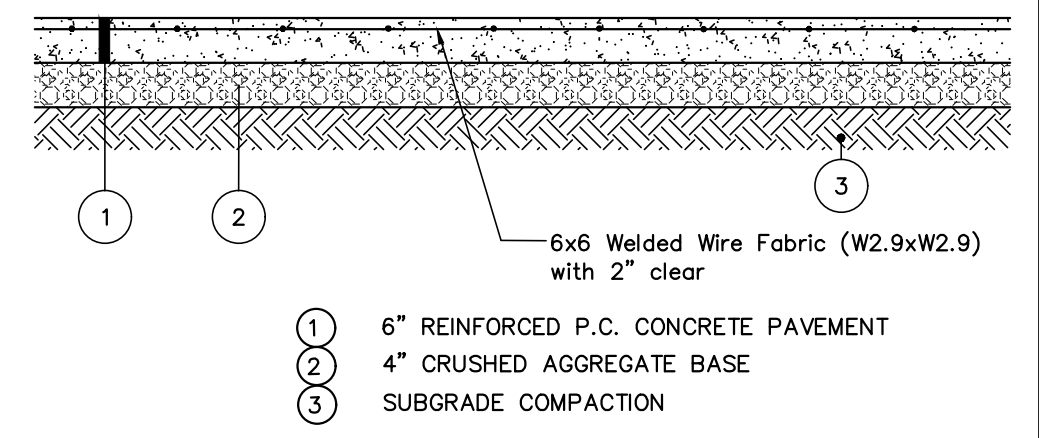
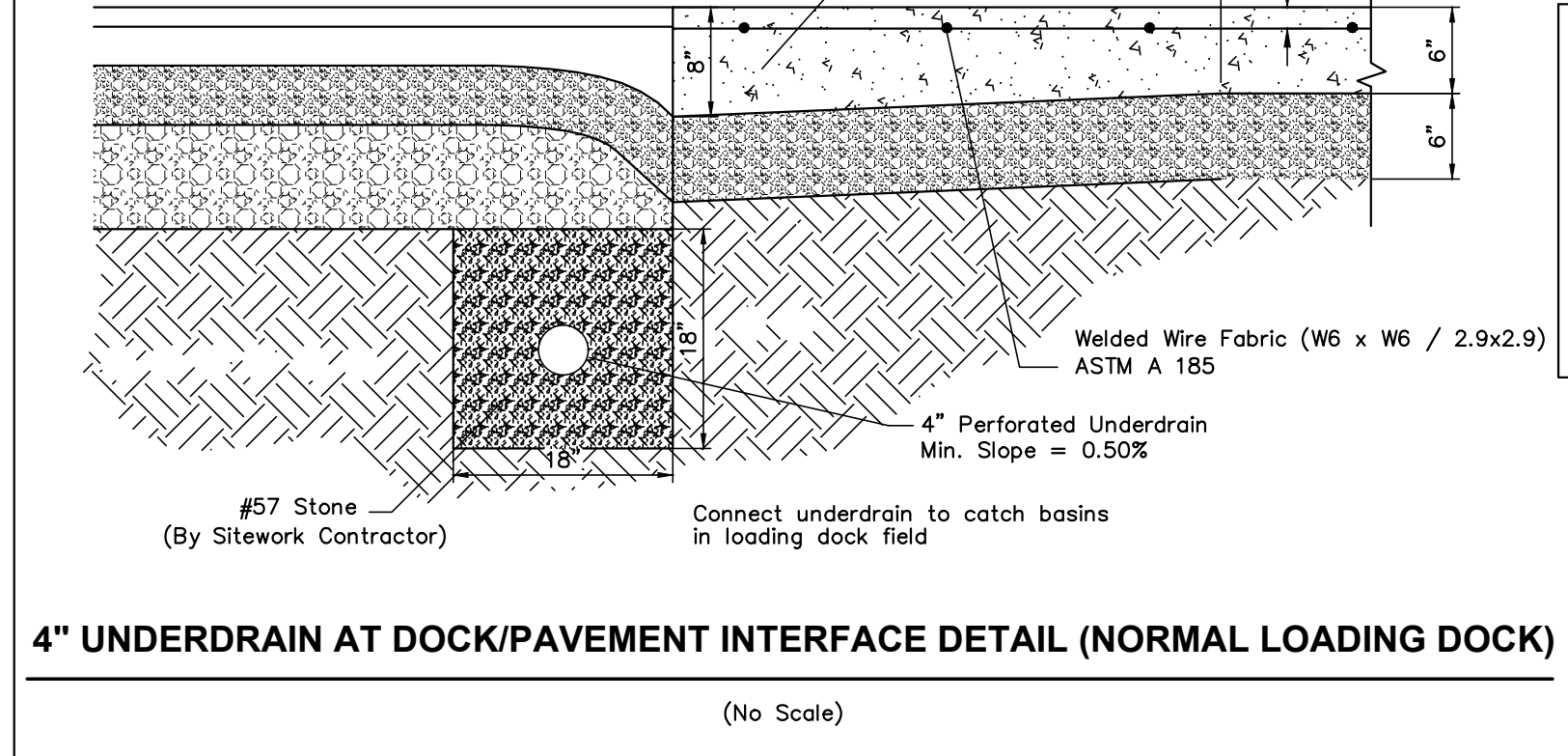
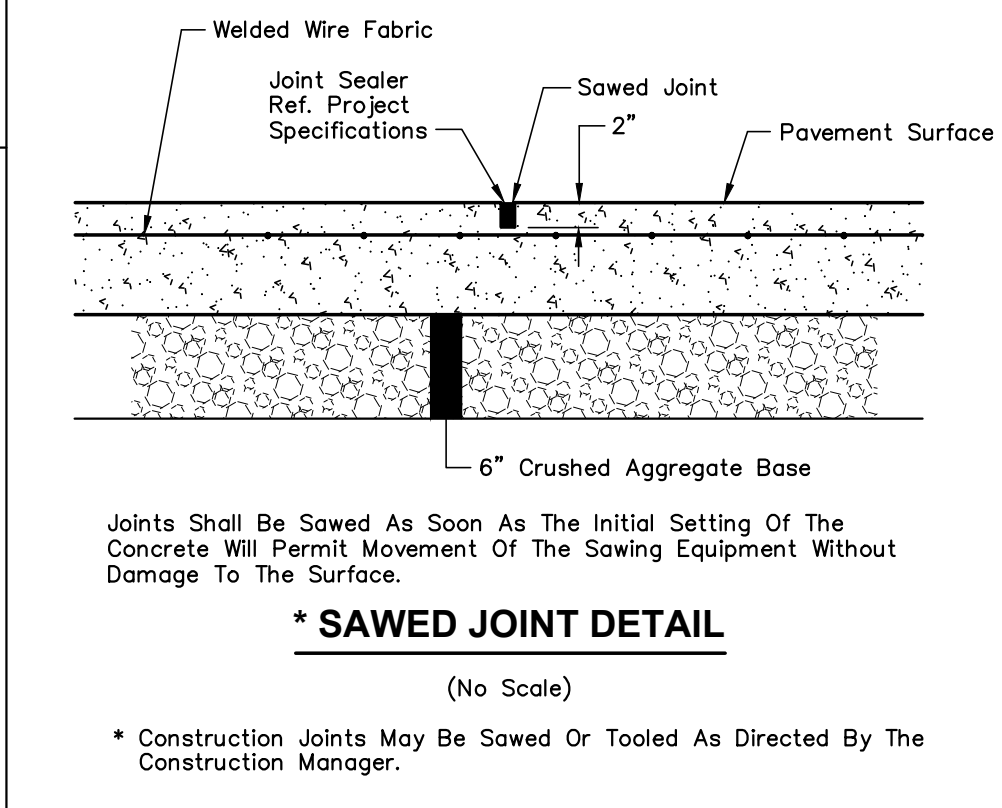
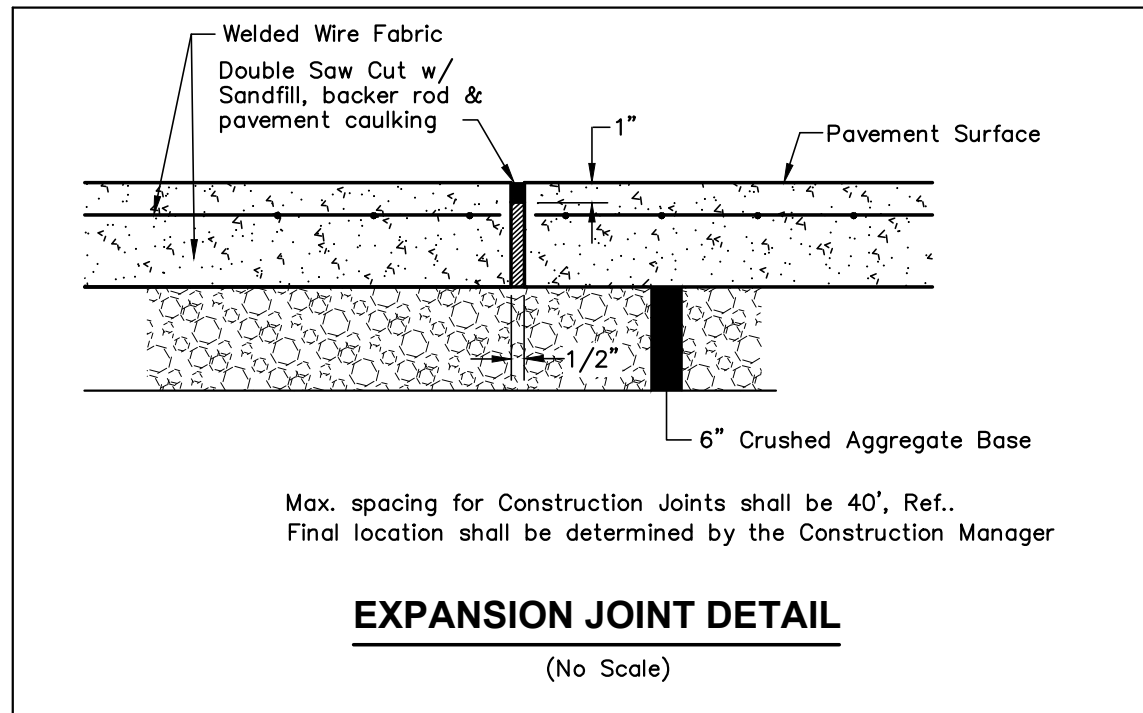
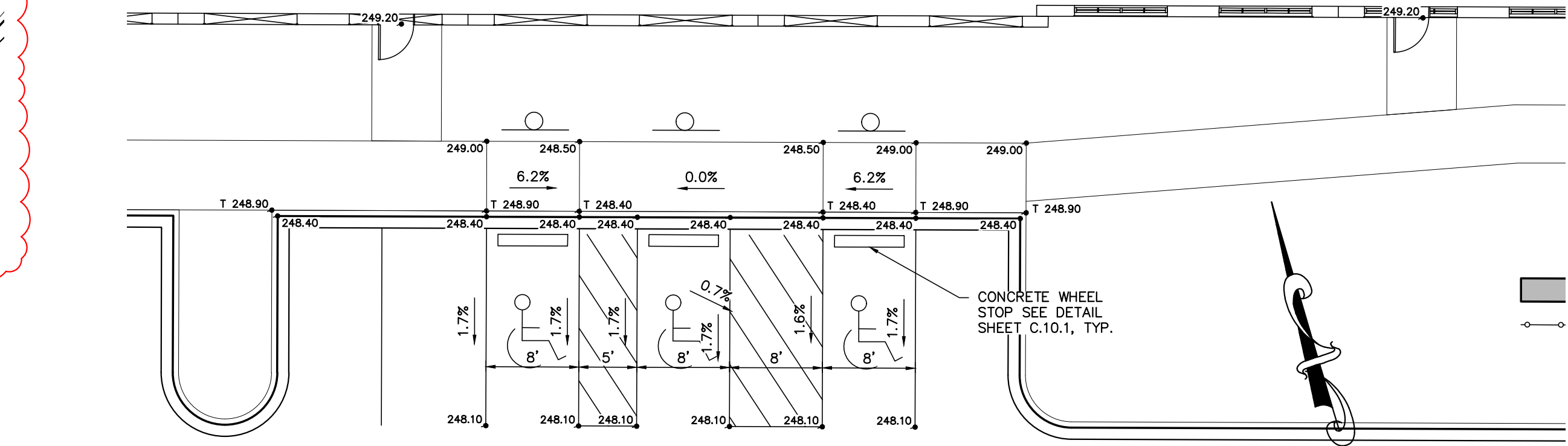
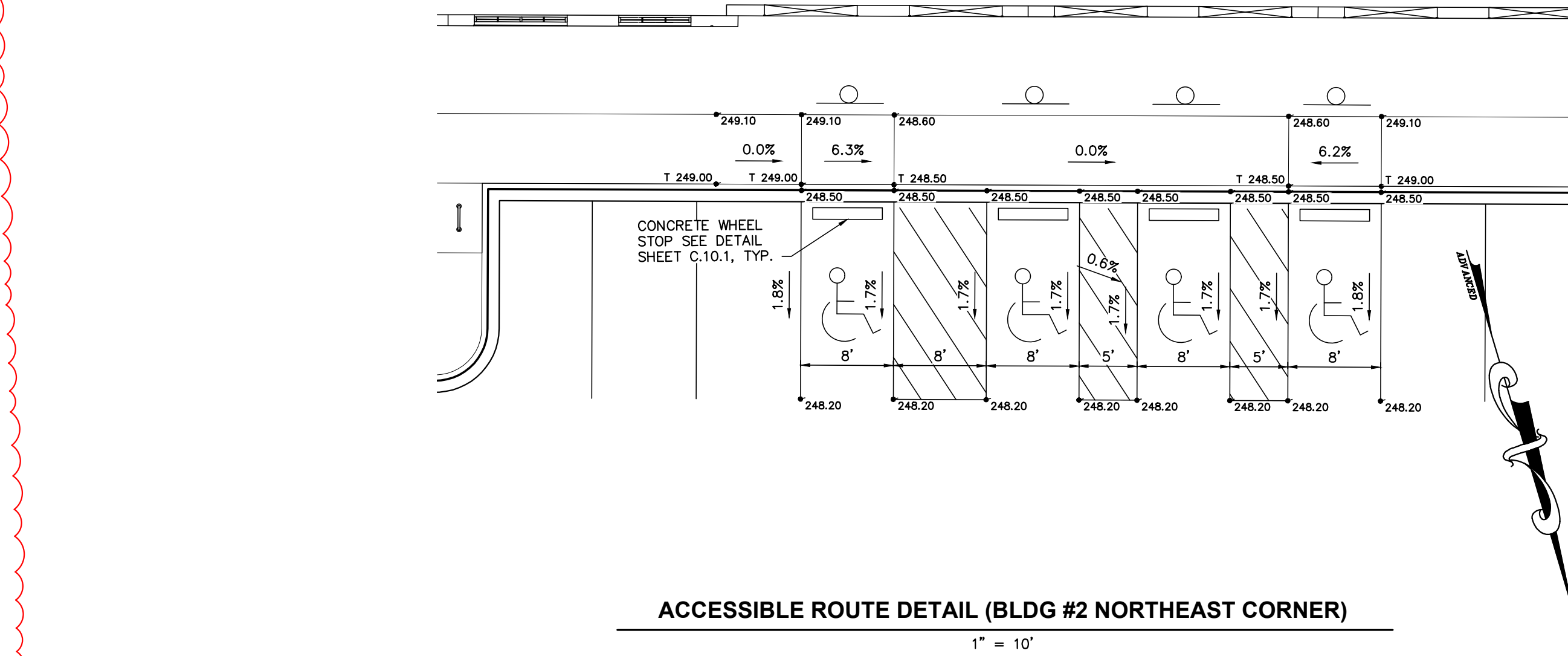
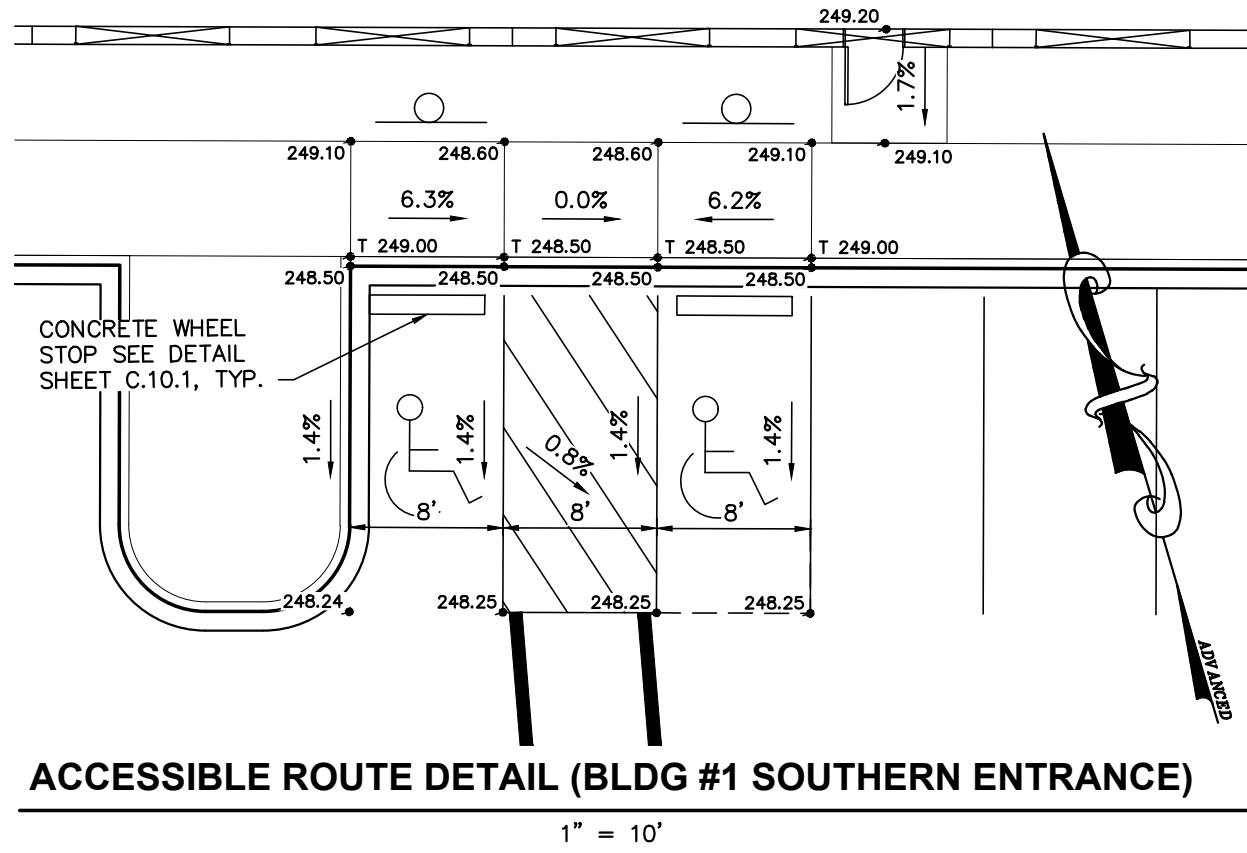
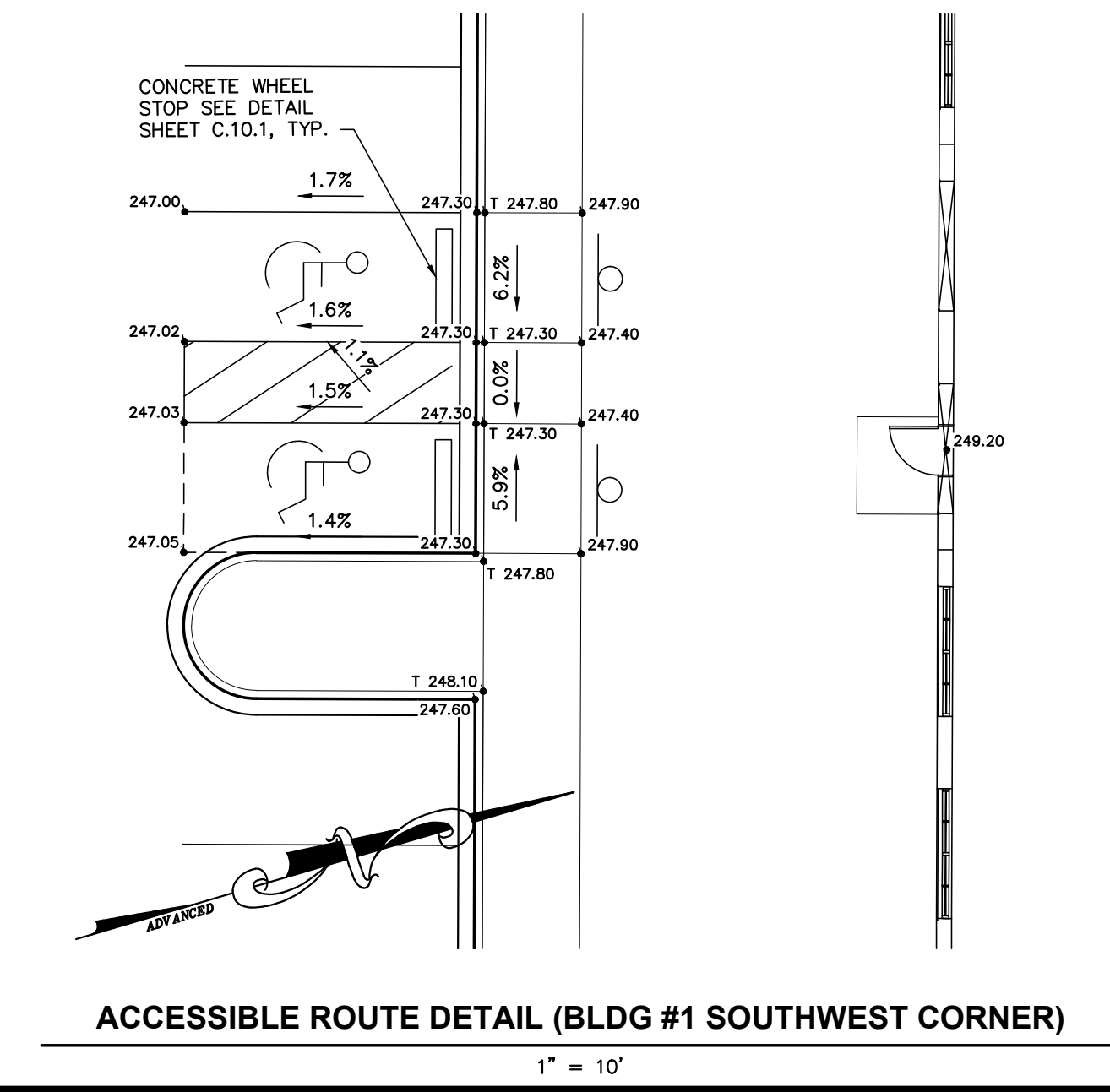
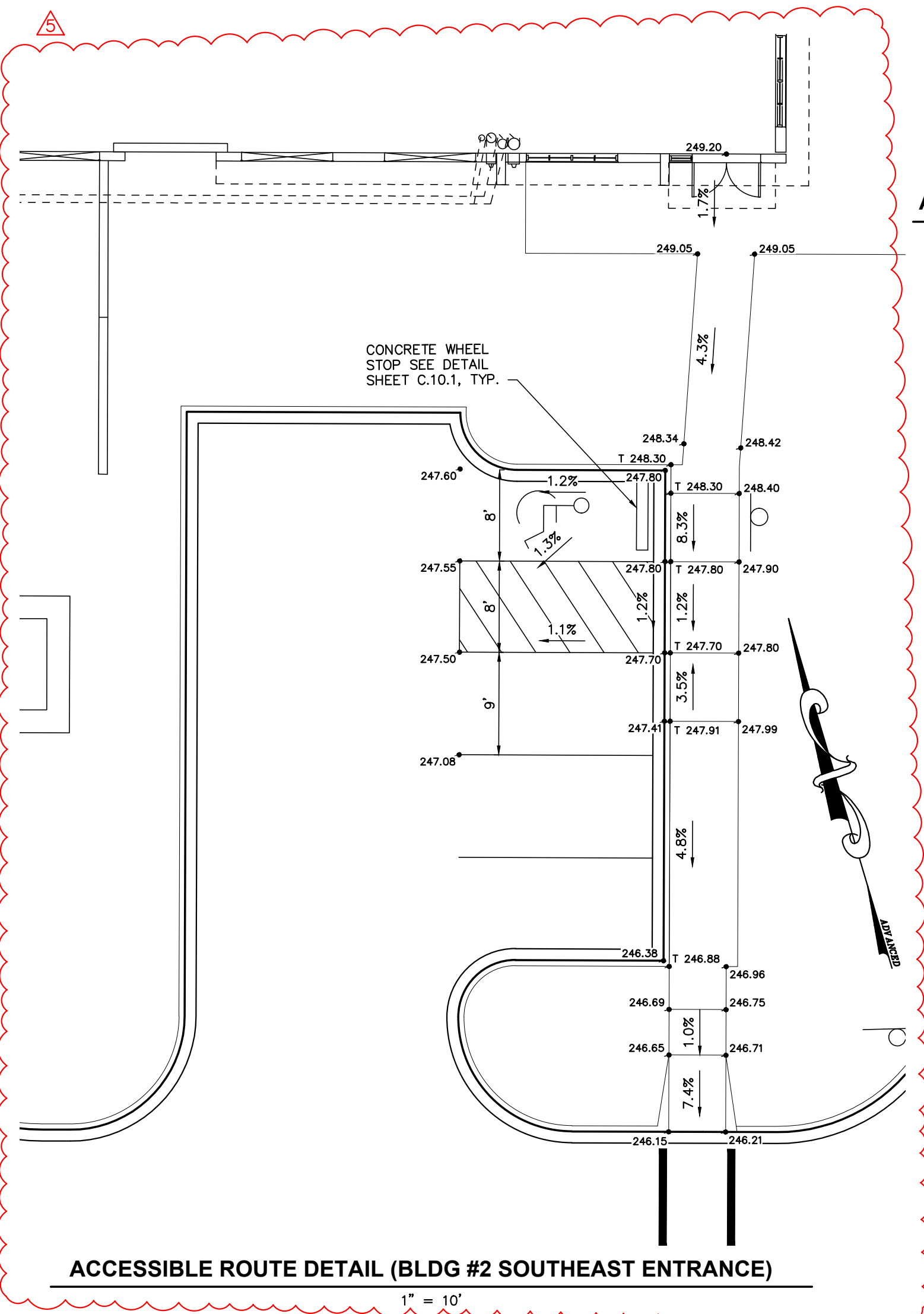
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11/10/2023	Revision #5

Date: 11/10/2023
Scale: 1" = 60'
Project Number: 21-0011-504
Drawing Number: C.3.1

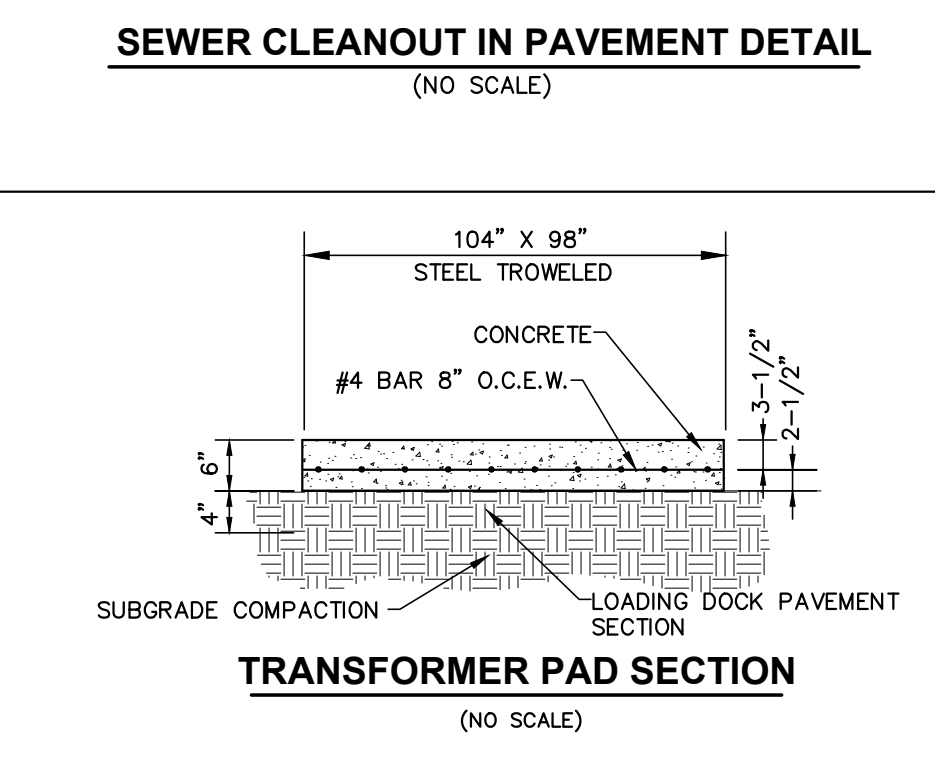
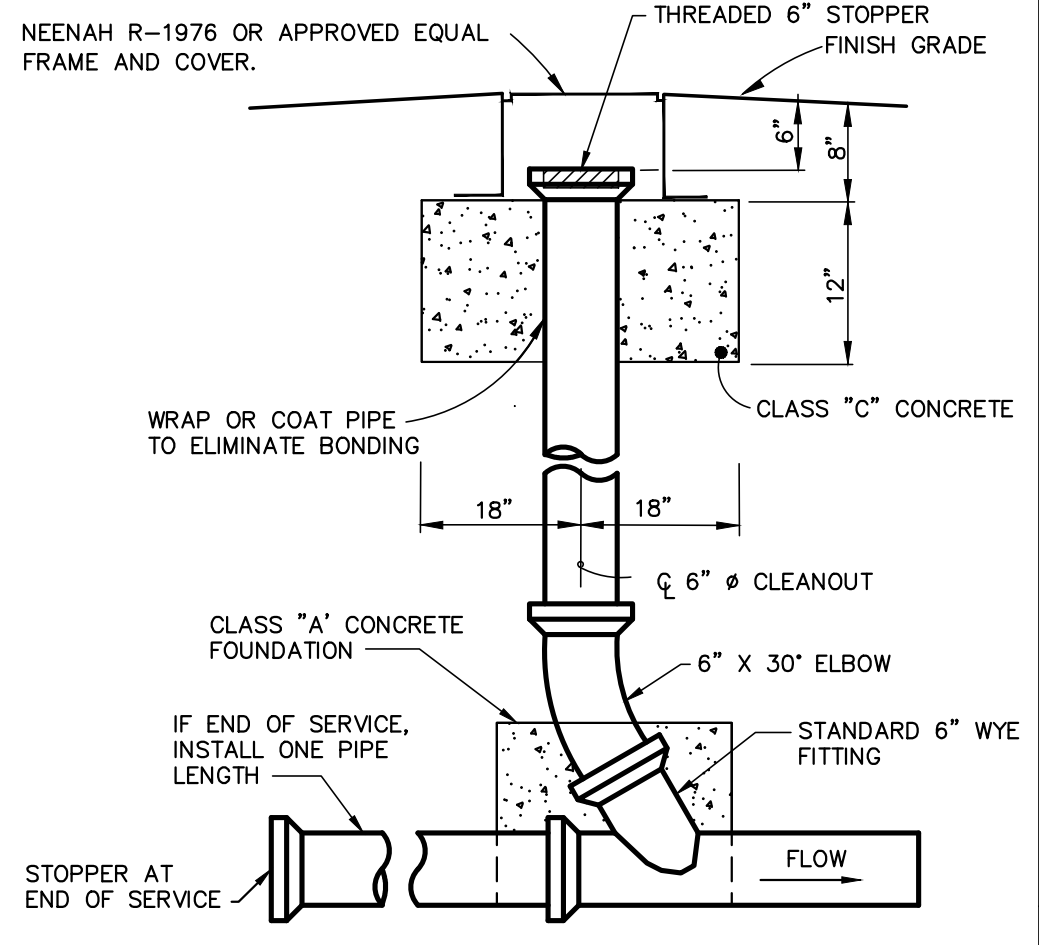
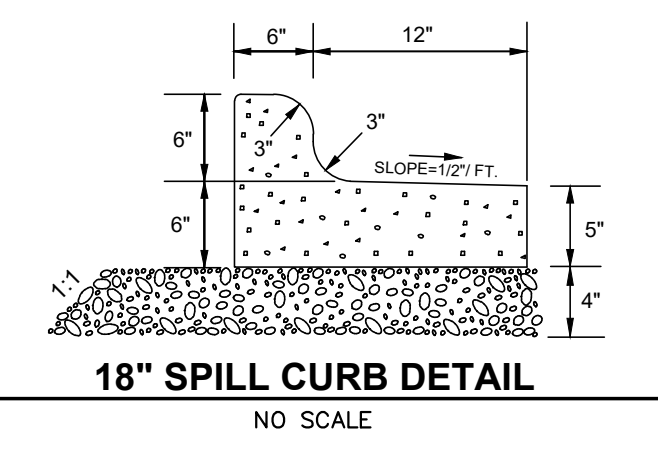
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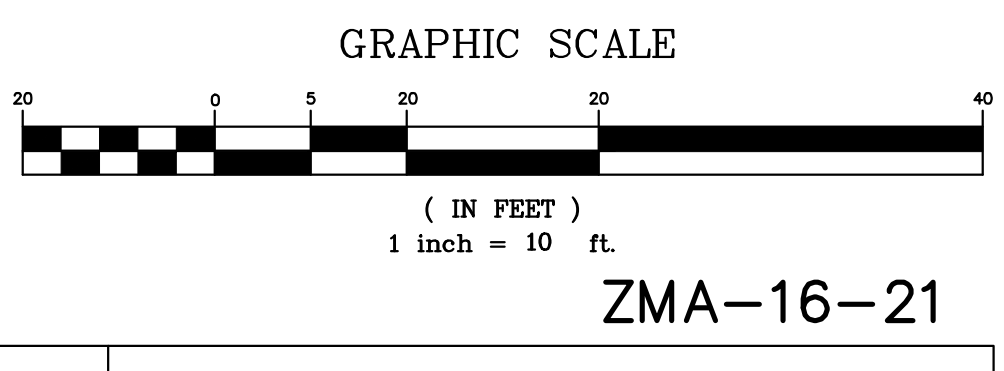
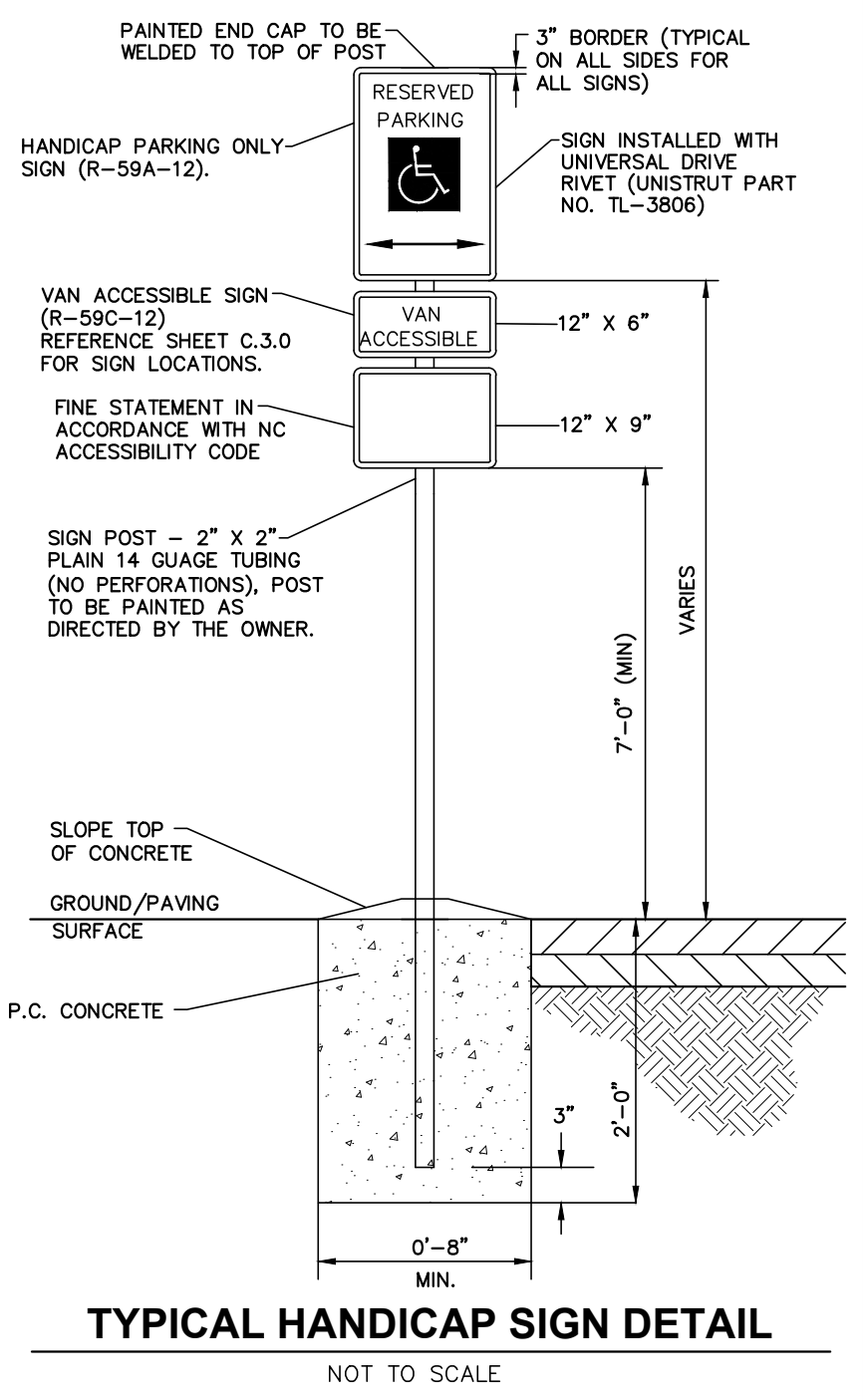
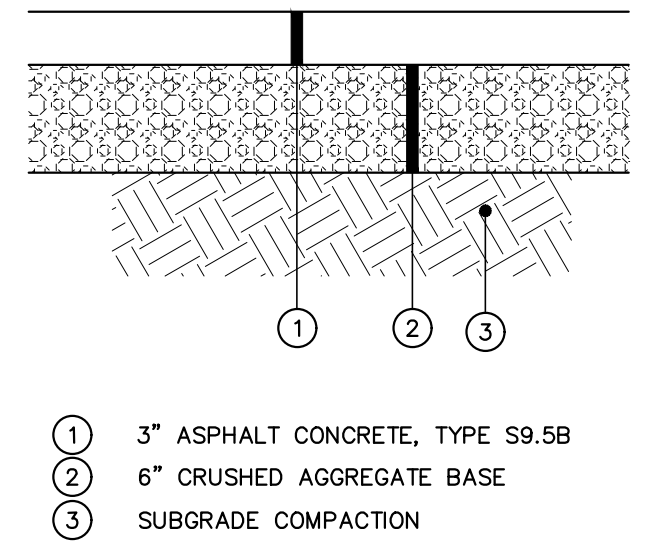
NARRATIVE OF REVISIONS
 1. ADDED 4 PARKING SPACES FOR BUILDING #2.



NOTE:
 CONCRETE PAVING SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 A. 4000 PSI COMPRESSIVE STRENGTH WITH JOINTS AT 12"x12"
 B. 5-7% ENTRAINED AIR WITH APPROVED WATER-REDUCING AND RETARDING ADMIXTURES.
 C. CONCRETE PAVING SHALL HAVE A LIGHT BROOM FINISH.
 D. CURING COMPOUND SHALL BE APPLIED



NOTES:
 A. MINIMUM 28 DAYS 3000 PSI COMPRESSIVE STRENGTH
 B. MAXIMUM WATER/CEMENT RATIO OF 0.50
 C. MAXIMUM SLUMP OF 4 INCHES
 D. AIR-ENTRAINED CONTENT BETWEEN 4 AND 8 PERCENT
 E. CURING COMPOUND SHALL BE APPLIED



PLAN PREPARED BY: 51 Kilmoyre Drive, Suite 102, Cary, North Carolina 27511, ph 919.481.6590, fax 919.336.5127

ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

PLAN PREPARED FOR: BEACON PARTNERS

5901 Formwell Road, Knightdale, NC 27610 - Wake County

KNIGHTDALE GATEWAY CONSTRUCTION PLAN FOR BEACON PARTNERS

SITE DETAILS AND TYPICAL SECTIONS

11/10/2023

Issue Dates:
 03/03/2023 - Construction Plan Submittal #5
 03/20/2023 - Construction Plan Signature Set
 03/28/2023 - Revision #1
 05/01/2023 - Revision #2
 05/09/2023 - Revision #3
 08/02/2023 - Revision #4
 11/10/2023 - Revision #5

Date: 11/10/2023
 Scale: 1" = 10'

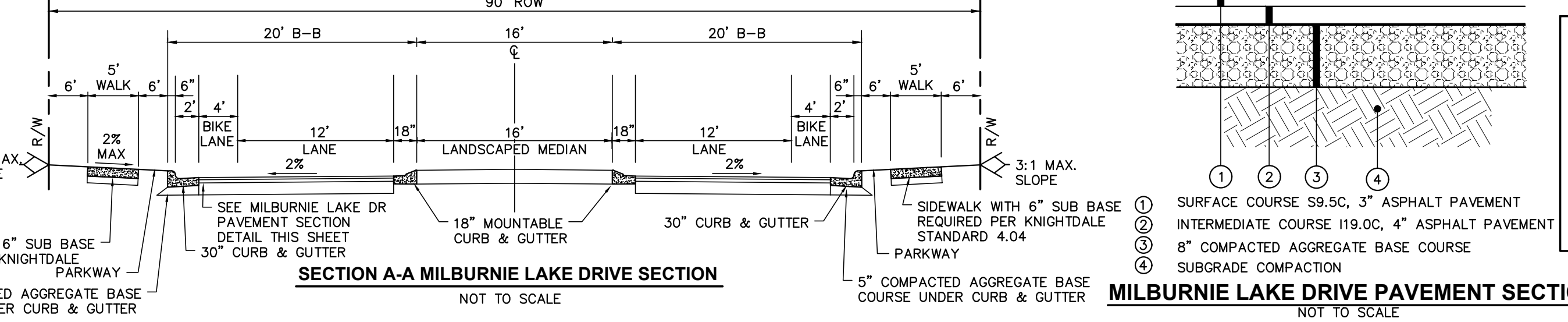
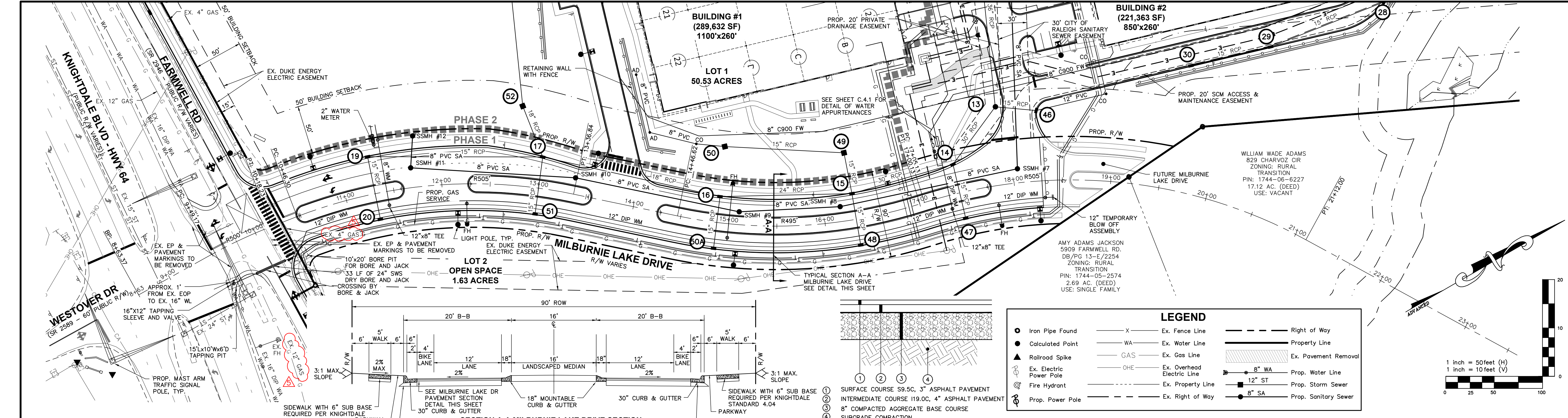
Drawn By: AMK
 Checked By: JRR

Project Number: 21-0011-504
 Drawing Number: C.3.3

Town Certification: This design has been reviewed by the Development Services Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

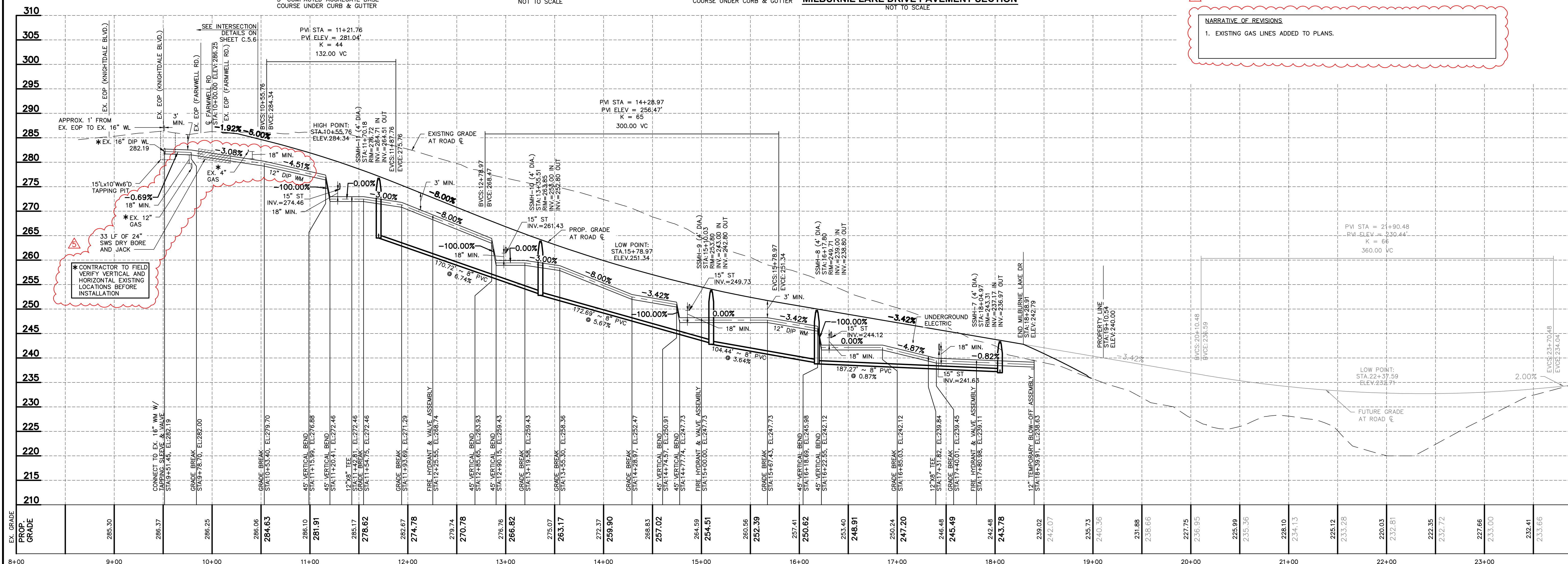
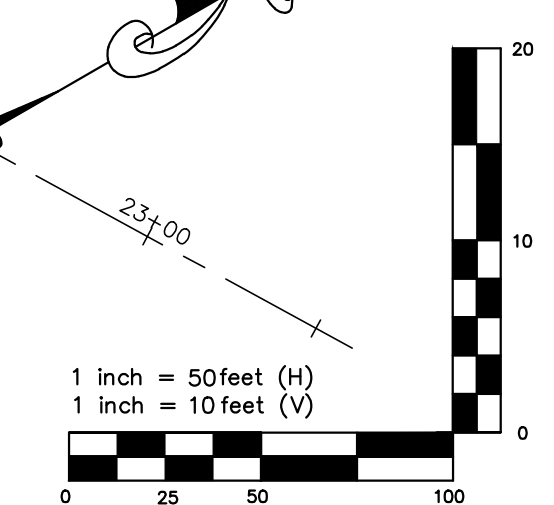
By: _____ Date: _____
 Development Services Engineer

By: _____ Date: _____
 Administrator



LEGEND

● Iron Pipe Found	— X — Ex. Fence Line	— — — Right of Way
● Calculated Point	— WA — Ex. Water Line	— — — Property Line
● Railroad Spike	— GAS — Ex. Gas Line	— — — Ex. Pavement Removal
● Ex. Electric Power Pole	— OHE — Ex. Overhead Electric Line	— — — Prop. Water Line
● Fire Hydrant	— — — Ex. Property Line	— — — Prop. Storm Sewer
● Prop. Power Pole	— — — Ex. Right of Way	— ● — Prop. Sanitary Sewer



NARRATIVE OF REVISIONS

1. EXISTING GAS LINES ADDED TO PLANS.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____
Raleigh Water Review Officer

Water and Sewer Permits (if applicable)

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh Public Utilities Department Permit # **S-5131**

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh Public Utilities Department Permit # **W-3983**

ZMA-16-21

Date: 11/10/2023
Scale: Horizontal: 1"=50'; Vertical: 1"=10'

Drawn By: AMK
Checked By: JRR

Project Number: **21-0011-504**

Drawing Number: **C.3.4**

PLAN PREPARED BY: ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
51 Kilmorye Drive, Suite 102
Cary, North Carolina 27511
ph 919.481.6590
fax 919.336.5127

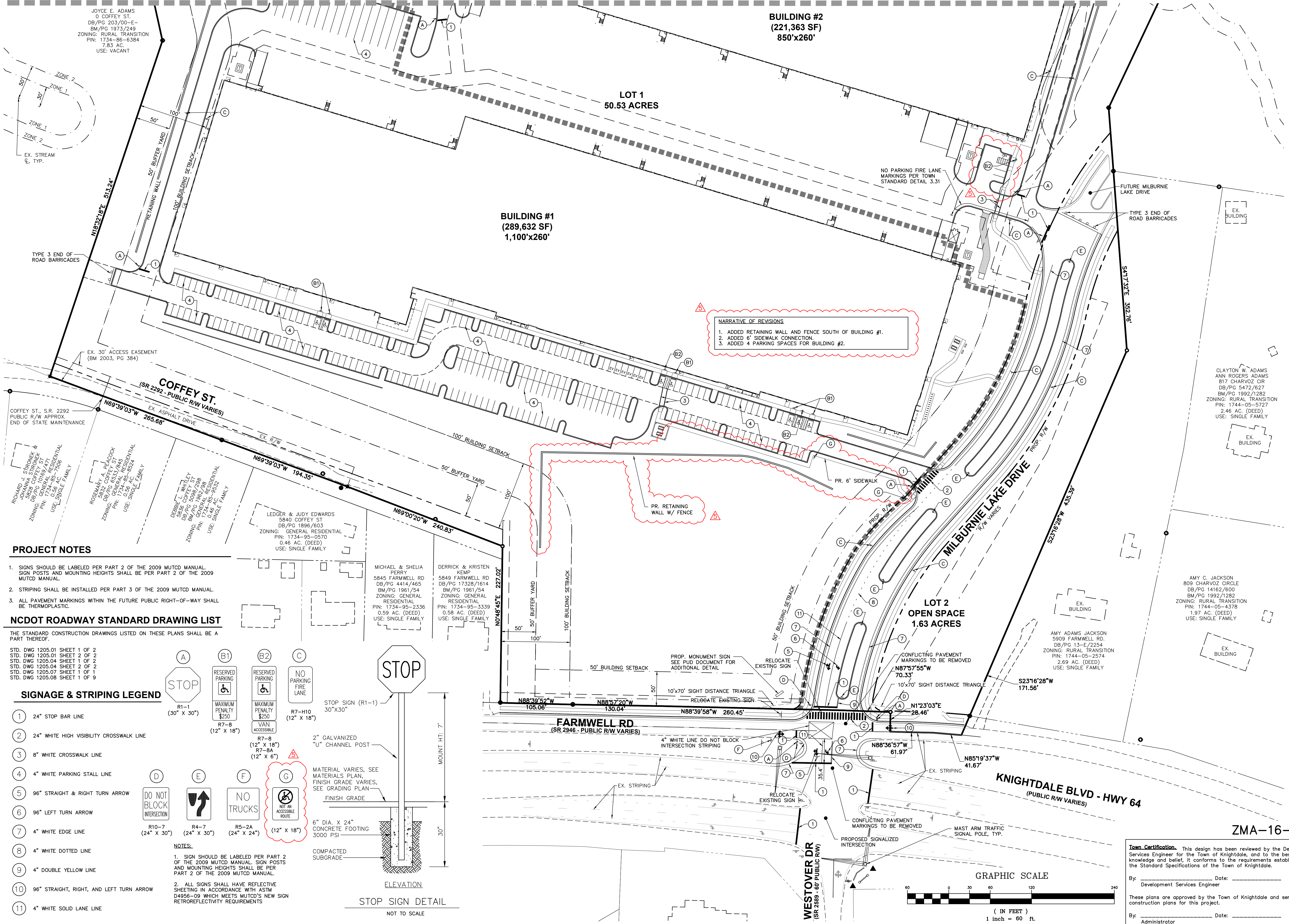
PLAN PREPARED FOR: BEACON PARTNERS
500 East Morehead St.
Suite 200
Charlotte, North Carolina 28269
ph 704.597.7757
fax 704.598.6335

5901 Formwell Road, Knightdale, NC 27610 - Wake County

**KNIGHTDALE GATEWAY
CONSTRUCTION PLAN
FOR
BEACON PARTNERS
MILBURNIE LAKE DRIVE PLAN & PROFILE**

11/10/2023

Issue Dates:
03/03/2023 - Construction Plan Submittal #5
03/20/2023 - Construction Plan Signature Set
03/29/2023 - Revision #1
05/01/2023 - Revision #2
05/09/2023 - Revision #3
08/02/2023 - Revision #4
11/10/2023 - Revision #5



NARRATIVE OF REVISIONS
1. ADDED RETAINING WALL AND FENCE SOUTH OF BUILDING #1.
2. ADDED 6' SIDEWALK CONNECTION.
3. ADDED 4 PARKING SPACES FOR BUILDING #2.

PROJECT NOTES

- 1. SIGNS SHOULD BE LABELED PER PART 2 OF THE 2009 MUTCD MANUAL. SIGN POSTS AND MOUNTING HEIGHTS SHALL BE PER PART 2 OF THE 2009 MUTCD MANUAL.
- 2. STRIPING SHALL BE INSTALLED PER PART 3 OF THE 2009 MUTCD MANUAL.
- 3. ALL PAVEMENT MARKINGS WITHIN THE FUTURE PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC.

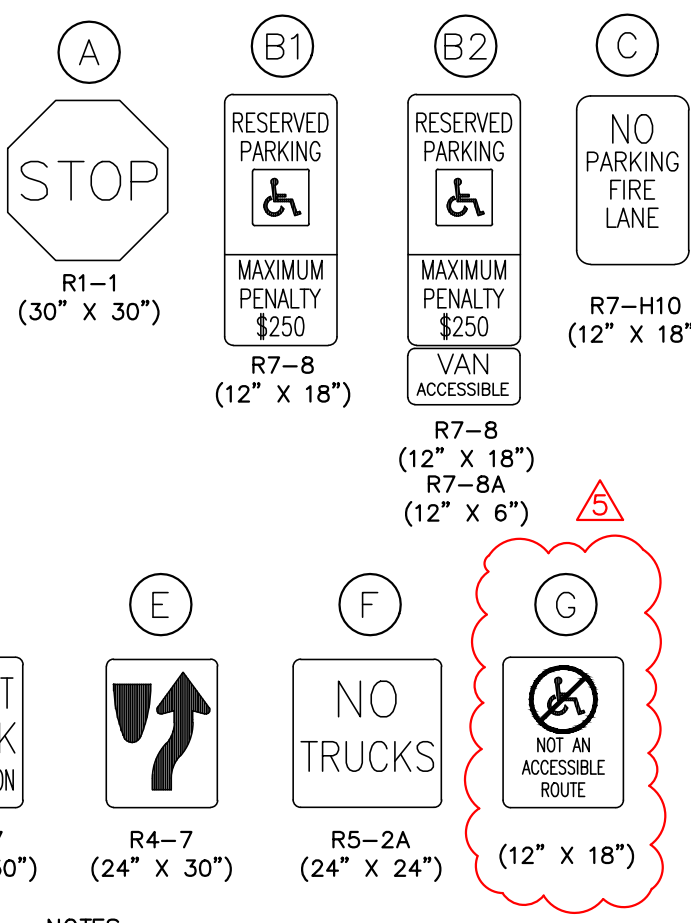
NC DOT ROADWAY STANDARD DRAWING LIST

THE STANDARD CONSTRUCTION DRAWINGS LISTED ON THESE PLANS SHALL BE A PART THEREOF.

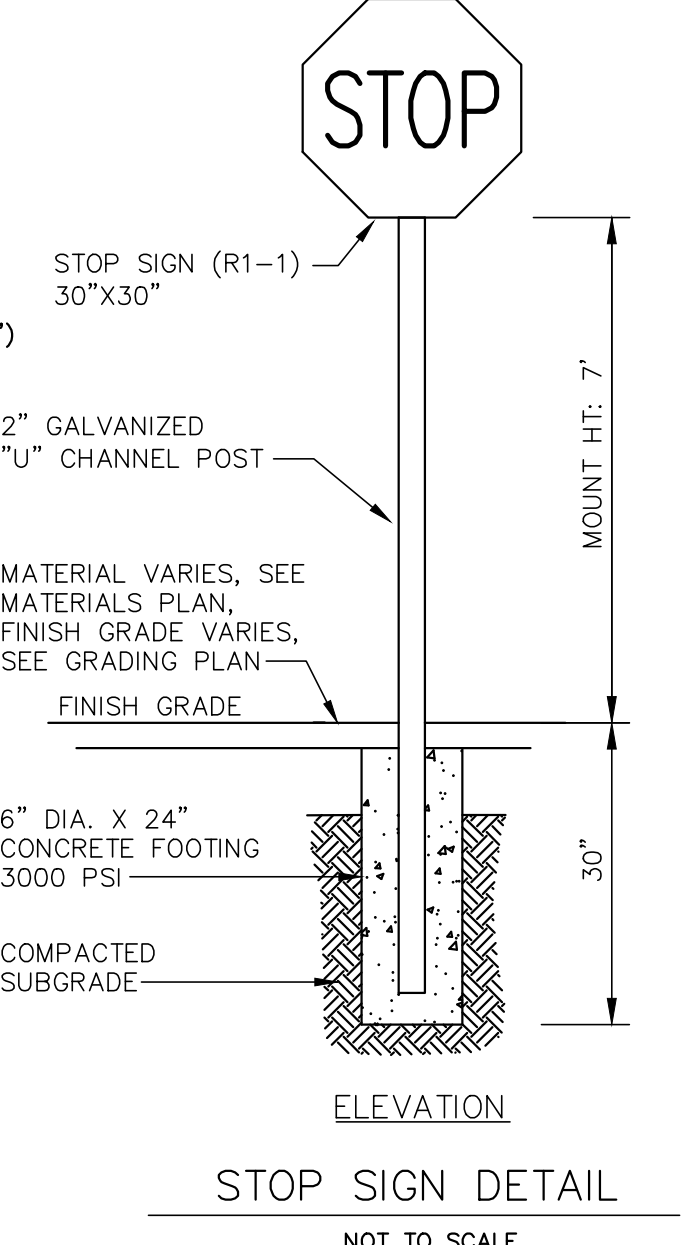
- STD. DWG 1205.01 SHEET 1 OF 2
- STD. DWG 1205.01 SHEET 2 OF 2
- STD. DWG 1205.04 SHEET 1 OF 2
- STD. DWG 1205.04 SHEET 2 OF 2
- STD. DWG 1205.07 SHEET 1 OF 1
- STD. DWG 1205.08 SHEET 1 OF 9

SIGNAGE & STRIPING LEGEND

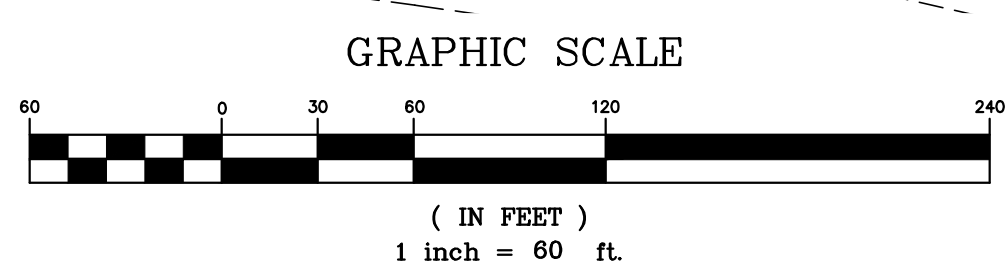
- 1 24" STOP BAR LINE
- 2 24" WHITE HIGH VISIBILITY CROSSWALK LINE
- 3 8" WHITE CROSSWALK LINE
- 4 4" WHITE PARKING STALL LINE
- 5 96" STRAIGHT & RIGHT TURN ARROW
- 6 96" LEFT TURN ARROW
- 7 4" WHITE EDGE LINE
- 8 4" WHITE DOTTED LINE
- 9 4" DOUBLE YELLOW LINE
- 10 96" STRAIGHT, RIGHT, AND LEFT TURN ARROW
- 11 4" WHITE SOLID LANE LINE



NOTES:
1. SIGN SHOULD BE LABELED PER PART 2 OF THE 2009 MUTCD MANUAL. SIGN POSTS AND MOUNTING HEIGHTS SHALL BE PER PART 2 OF THE 2009 MUTCD MANUAL.
2. ALL SIGNS SHALL HAVE REFLECTIVE SHEETING IN ACCORDANCE WITH ASTM D4956-09 WHICH MEETS MUTCD'S NEW SIGN RETROREFLECTIVITY REQUIREMENTS



STOP SIGN DETAIL
NOT TO SCALE



Town Certification. This design has been reviewed by the Development Services Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: _____ Date: _____
Development Services Engineer
By: _____ Date: _____
Administrator

PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS
51 Kilmorye Drive, Suite 102
Cary, North Carolina 27511
ph 919.481.6590
fax 919.336.5127

PLAN PREPARED FOR:
BEACON PARTNERS
500 East Morehead St.
Suite 200
Charlotte, North Carolina 28249
tel. 704.597.7757
fax 704.598.6335

5901 Farmwell Road, Knightdale, NC 27610 - Wake County
KNIGHTDALE GATEWAY CONSTRUCTION PLAN
FOR
BEACON PARTNERS
SIGNAGE AND MARKING PLAN

RELEASARY
NORTH CAROLINA PROFESSIONAL ENGINEER
NO. 10000 ROYAL J.
11/10/2023

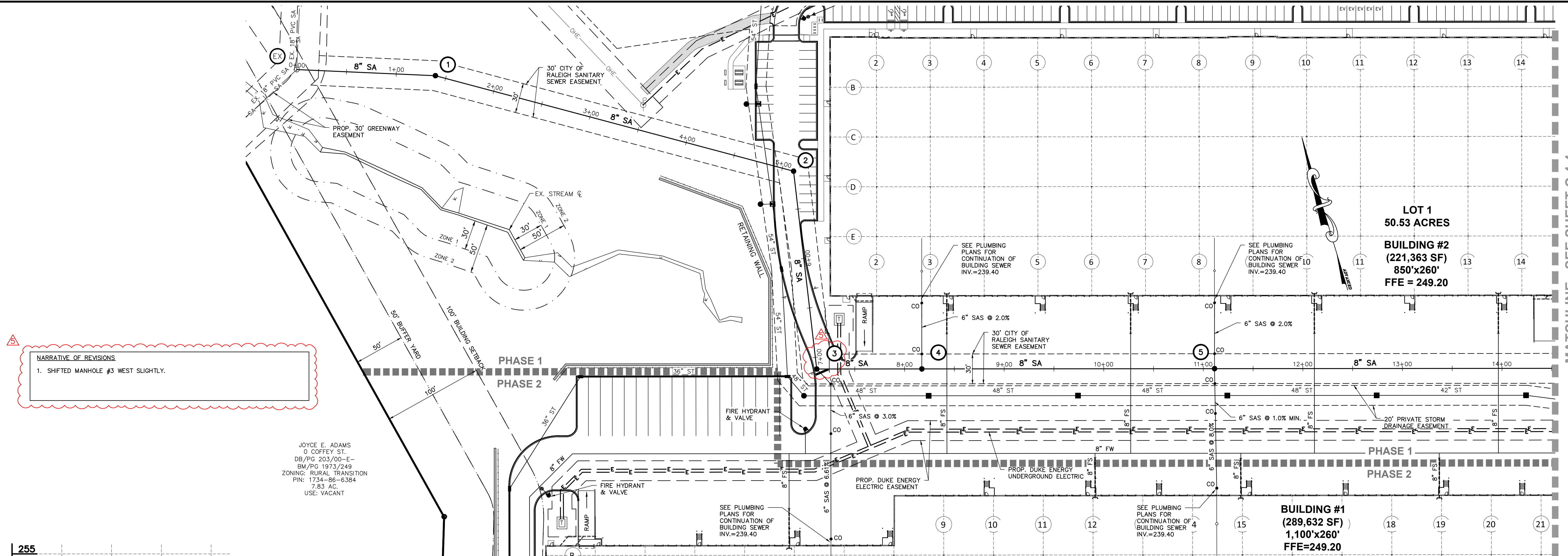
Issue Dates:
03/03/2023 - Construction Plan Submittal #5
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05/09/2023 - Revision #3
08/02/2023 - Revision #4
11/10/2023 - Revision #5

Date: 11/10/2023
Scale: 1" = 60'

Drawn By: AMK
Checked By: JRR

Project Number: 21-0011-504
Drawing Number: C.3.8

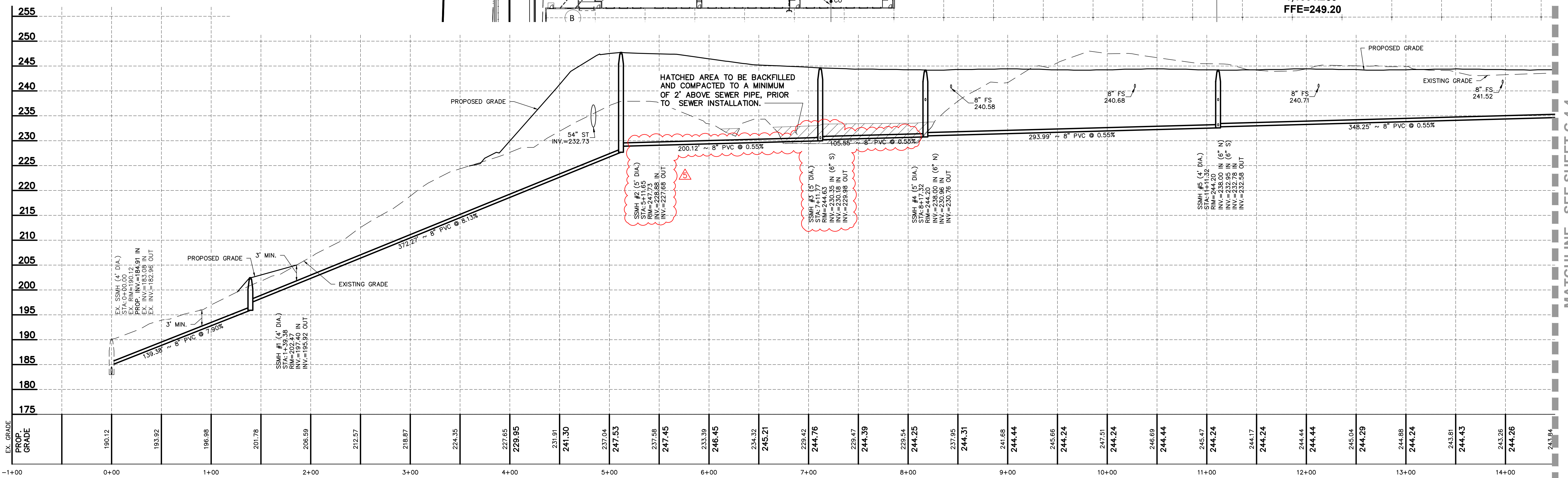
C:\V1-0011-504NC\Production Drawings\SITE CONSTRUCTION\0011-504NC SANITARY PLAN AND PROFILE REV.05.dwg SANITARY P&P 1 Nov 10, 2023 3:31:29pm Froyl



NARRATIVE OF REVISIONS

1. SHIFTED MANHOLE #3 WEST SLIGHTLY.

JOYCE E. ADAMS
0 COFFEY ST.
DB/PG 203/00-E-
BM/PG 1973/249
ZONING: RURAL TRANSITION
PIN: 1734-86-6384
7.83 AC.
USE: VACANT



LEGEND

● Iron Pipe Found	— X — Ex. Fence Line	— — — Right of Way
● Calculated Point	— WA — Ex. Water Line	— — — Property Line
▲ Railroad Spike	— GAS — Ex. Gas Line	▨ Ex. Pavement Removal
⊕ Ex. Electric Power Pole	— OHE — Ex. Overhead Electric Line	— 8" WA — Prop. Water Line
⊕ Fire Hydrant	— — — Ex. Property Line	— 12" STM — Prop. Storm Sewer
⊕ Prop. Power Pole	— — — Ex. Right of Way	— 8" SAN — Prop. Sanitary Sewer

- WATER & SEWER**
- CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING PUBLIC UTILITIES PRIOR TO ANY EXCAVATIONS, GRADING, OR INSTALLATION OF UNDERGROUND UTILITIES ON OR ADJACENT TO THE PROJECT.
 - BUILDING WILL BE CONNECTED TO THE CITY OF RALEIGH WATER AND SANITARY SEWER SYSTEMS.
 - ALL SANITARY SEWER AND WATER LOCATED OUTSIDE THE PROPOSED STREET RIGHT-OF-WAY SHALL BE PROVIDED WITH STANDARD EASEMENT WIDTHS AS PER CITY OF RALEIGH REQUIREMENTS AND SHALL BE DEDICATED TO THE CITY OF RALEIGH ON THE FINAL PLAT.
 - NO SERVICES SHALL BE BENT OR INSTALLED IN SUCH A WAY THAT DOES NOT COMPLY WITH CITY STANDARDS.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval _____
Raleigh Water Review Officer

SITE PERMITTING APPROVAL

Water and Sewer Permits (if applicable)
The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh Public Utilities Department Permit # **S-5131**

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.
City of Raleigh Public Utilities Department Permit # **W-3983**

ZMA-16-21

1 inch = 50feet (H)
1 inch = 10feet (V)

Town Certification. This design has been reviewed by the Development Services Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Development Services Engineer

By: _____ Date: _____
Administrator

PLAN PREPARED BY: **ADVANCED CIVIL DESIGN ENGINEERS & SURVEYORS**
51 Kilmorye Drive, Suite 102
Cary, North Carolina 27511
ph 919-481-6990
fax 919-336-5127

PLAN PREPARED FOR: **BEACON PARTNERS**
500 East Morehead St.
Rm. 208
Charlotte, North Carolina 28249
tel. 704-597-7757
fax 704-598-6335

5901 Formwell Road, Knightdale, NC 27610 - Wake County

**KNIGHTDALE GATEWAY
CONSTRUCTION PLAN
FOR
BEACON PARTNERS
SANITARY PLAN AND PROFILE**

RELENNARY
PROFESSIONAL ENGINEER
NO. 17055
STATE OF NORTH CAROLINA
11/10/2023

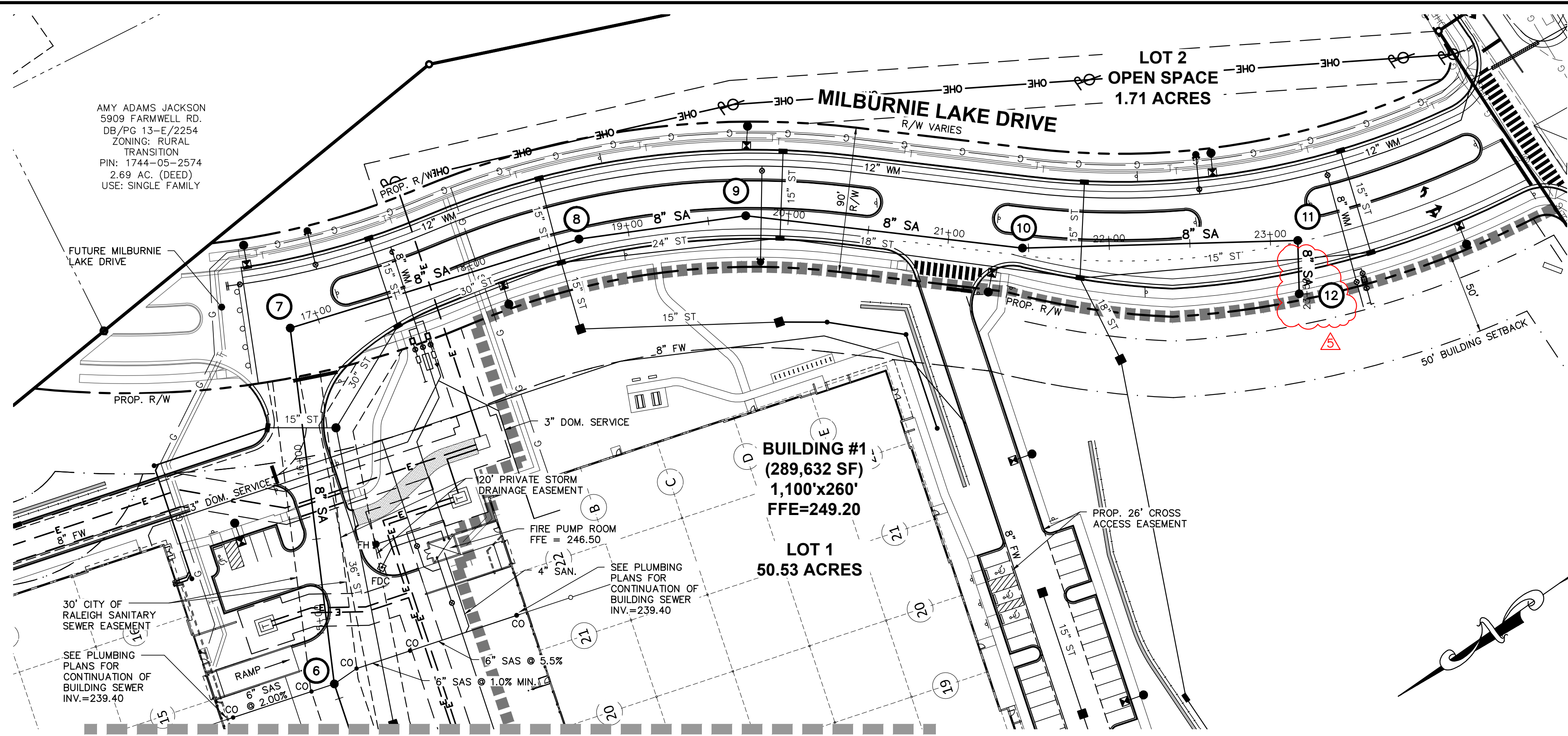
Issue Dates:	03/03/2023 - Construction Plan Submittal #5
	03/20/2023 - Construction Plan Signature Set
	03/29/2023 - Revision #1
	05/01/2023 - Revision #2
	05/09/2023 - Revision #3
	08/02/2023 - Revision #4
	11/10/2023 - Revision #5

Date: 11/10/2023
Scale: 1" = 50'
1" = 10' (V)

Drawn By: AMK
Checked By: JRR

Project Number: **21-0011-504**

Drawing Number: **C.4.3**



AMY ADAMS JACKSON
5909 FARMWELL RD.
DB/PG 13-E/2254
ZONING: RURAL
TRANSITION
PIN: 1744-05-2574
2.63 AC. (DEED)
USE: SINGLE FAMILY

FUTURE MILBURNIE
LAKE DRIVE

30' CITY OF
RALEIGH SANITARY
SEWER EASEMENT

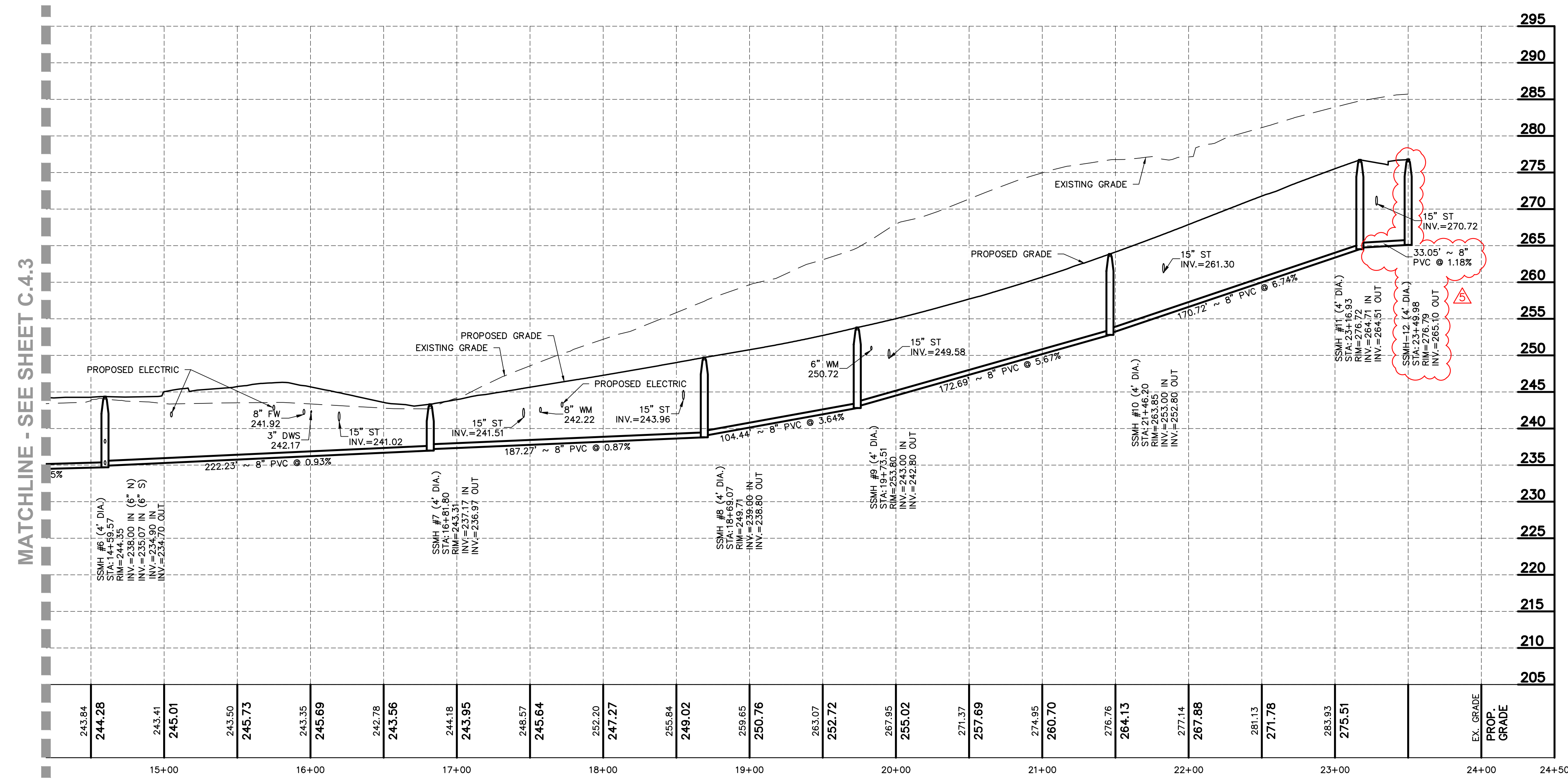
SEE PLUMBING
PLANS FOR
CONTINUATION OF
BUILDING SEWER
INV.=239.40

BUILDING #1
(289,632 SF)
1,100'x260'
FFE=249.20

LOT 1
50.53 ACRES

MATCHLINE - SEE SHEET C.4.3

NARRATIVE OF REVISIONS
1. SHIFTED MANHOLE #12 NORTH SLIGHTLY.



MATCHLINE - SEE SHEET C.4.3

LEGEND

● Iron Pipe Found	— X — Ex. Fence Line	— — — Right of Way
● Calculated Point	— WA — Ex. Water Line	— — — Property Line
▲ Railroad Spike	— GAS — Ex. Gas Line	▨ Ex. Pavement Removal
⊕ Ex. Electric Power Pole	— OHE — Ex. Overhead Electric Line	— — — 8" WA Prop. Water Line
⊕ Fire Hydrant	— — — Ex. Property Line	— — — 12" STM Prop. Storm Sewer
⊕ Prop. Power Pole	— — — Ex. Right of Way	— — — 8" SAN Prop. Sanitary Sewer

- WATER & SEWER**
- CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING PUBLIC UTILITIES PRIOR TO ANY EXCAVATIONS, GRADING, OR INSTALLATION OF UNDERGROUND UTILITIES ON OR ADJACENT TO THE PROJECT.
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CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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City of Raleigh Development Approval _____
Raleigh Water Review Officer _____

SITE PERMITTING APPROVAL

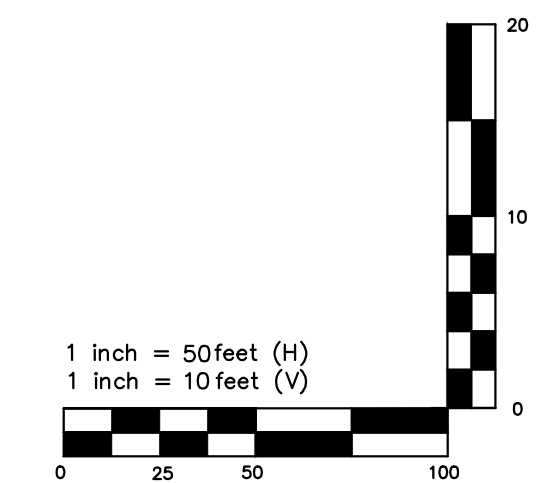
Water and Sewer Permits (if applicable)

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City of Raleigh Public Utilities Department Permit # **S-5131**

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh Public Utilities Department Permit # **W-3983**



ZMA-16-21

Town Certification. This design has been reviewed by the Development Services Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Development Services Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
Administrator

PLAN PREPARED BY:
51 Kilmoyne Drive, Suite 102
Cory, North Carolina 27511
ph 919.481.6590
fax 919.336.5127

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:
BEACON PARTNERS
500 East Morehead St.
Suite 200
Charlotte, North Carolina 28249
tel. 704.597.7757
fax 704.598.9335

5901 Farmwell Road, Knightdale, NC 27610 - Wake County

KNIGHTDALE GATEWAY
CONSTRUCTION PLAN
FOR
BEACON PARTNERS
SANITARY PLAN AND PROFILE



Issue Dates:

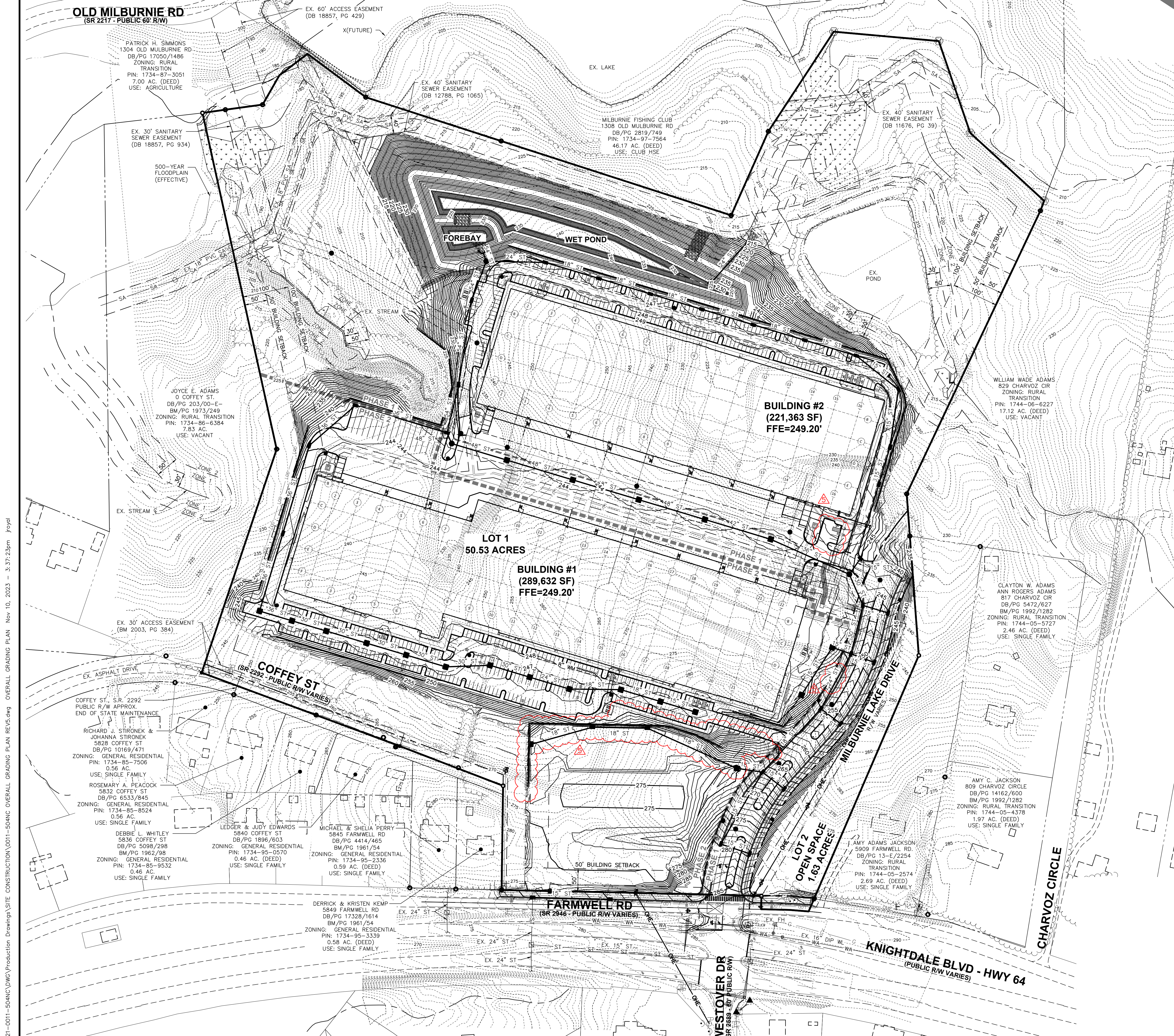
03/03/2023	Construction Plan Submittal #5
03/20/2023	Construction Plan Signature Set
03/29/2023	Revision #1
05/01/2023	Revision #2
05/09/2023	Revision #3
08/02/2023	Revision #4
11/10/2023	Revision #5

Date: 11/10/2023
Scale: H: 1" = 50'
V: 1" = 10'

Drawn By: AMK
Checked By: JRR

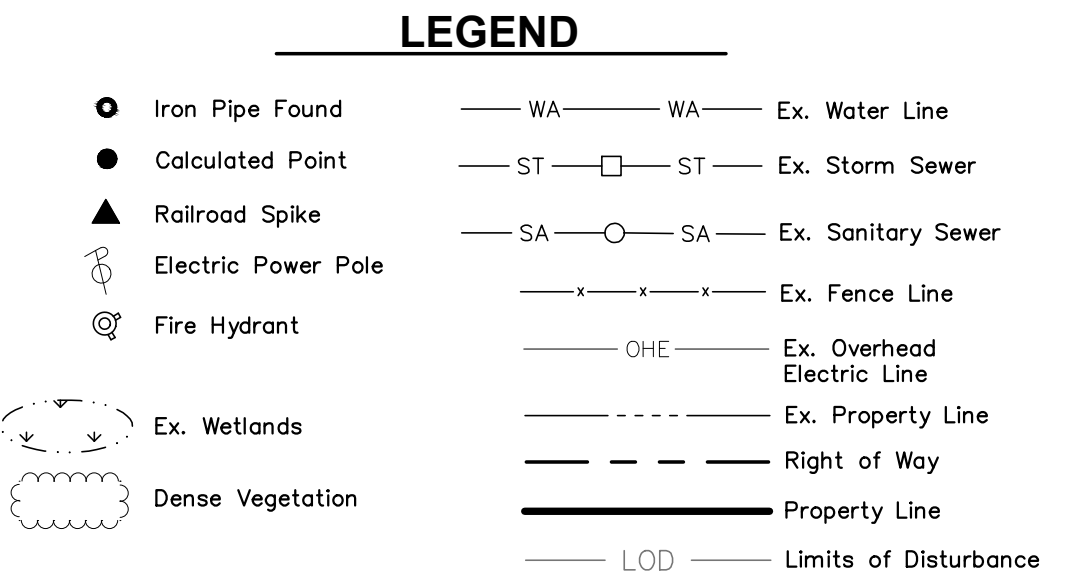
Project Number:
21-0011-504

Drawing Number:
C.4.4



- GENERAL NOTES**
1. WETLAND LOCATIONS, STREAMS, AND BUFFER DETERMINATIONS PROVIDED BY ATLAS ENVIRONMENTAL.
 2. NO HISTORIC BUILDING OBSERVED ON THE SITE.
 3. NO FREE STANDING OR OPEN-GROWN OR FIELD GROWN TREES OBSERVED.
 4. BASED ON FIELD OBSERVATIONS AND THE REVIEW OF AVAILABLE DATA, PROTECTED SPECIES WERE NOT IDENTIFIED TO LIKELY OCCUR ON THE SITE.
 5. SITE IS HEAVILY WOODED WITH A MIXTURE OF PINES, HARDWOODS, AND UNDERSTORY VEGETATION.
 6. ON-SITE PRIVATE STORM PIPE MATERIAL TO BE APPROVED BY OWNER.

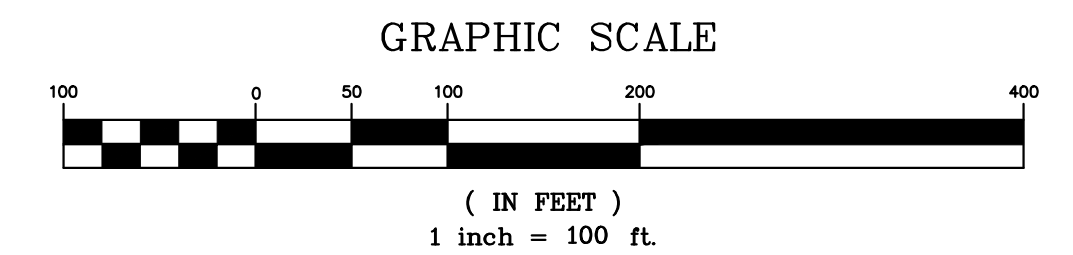
FLOOD NOTE
 THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE PANEL NO. 3720173400J AND PANEL NO. 3720174400J, EFFECTIVE ON JULY 19, 2022, IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.



NARRATIVE OF REVISIONS

1. ADDED RETAINING WALL AND FENCE.
2. ADDED STORM SEWER ADJACENT TO RETAINING WALL.
3. INCREASED STORM PIPE SIZE TO 24" FROM STR. #15 - #16.
4. ADDED SIDEWALK CONNECTION.
5. ADDED 4 PARKING SPACES FOR BUILDING #2.

- GRADING AND STORM DRAINAGE PHASING SUMMARY**
- FOR REFERENCE ONLY. PHASING SHALL INCLUDE BUT NOT BE LIMITED TO ITEMS PROVIDED BELOW.
- PHASE 1:**
- ALL GRADING AND STORM DRAINAGE ASSOCIATED WITH BUILDING #2, WET POND, MILBURNIE LAKE DRIVE, FARMWELL ROAD IMPROVEMENTS, KNIGHTDALE BLVD. IMPROVEMENTS.
- PHASE 2:**
- ALL GRADING AND STORM DRAINAGE ASSOCIATED WITH BUILDING #1.



ZMA-16-21

Town Certification. This design has been reviewed by the Development Services Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
 Development Services Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
 Administrator

PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
 ENGINEERS & SURVEYORS
 51 Kimmey Drive, Suite 102
 Cary, North Carolina 27511
 PH 919.481.6990
 FAX 919.336.5127

PLAN PREPARED FOR:

BEACON PARTNERS
 500 East Main Street
 Charlotte, North Carolina 28269
 Tel. 704.547.7757
 Fax 704.548.6335

5901 Formwell Road, Knightdale, NC 27610 - Wake County
KNIGHTDALE GATEWAY CONSTRUCTION PLAN
 FOR
BEACON PARTNERS
OVERALL GRADING & DRAINAGE PLAN



Issue Dates:	03/03/2023 - Construction Plan Submittal #5
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	11/10/2023 - Revision #5

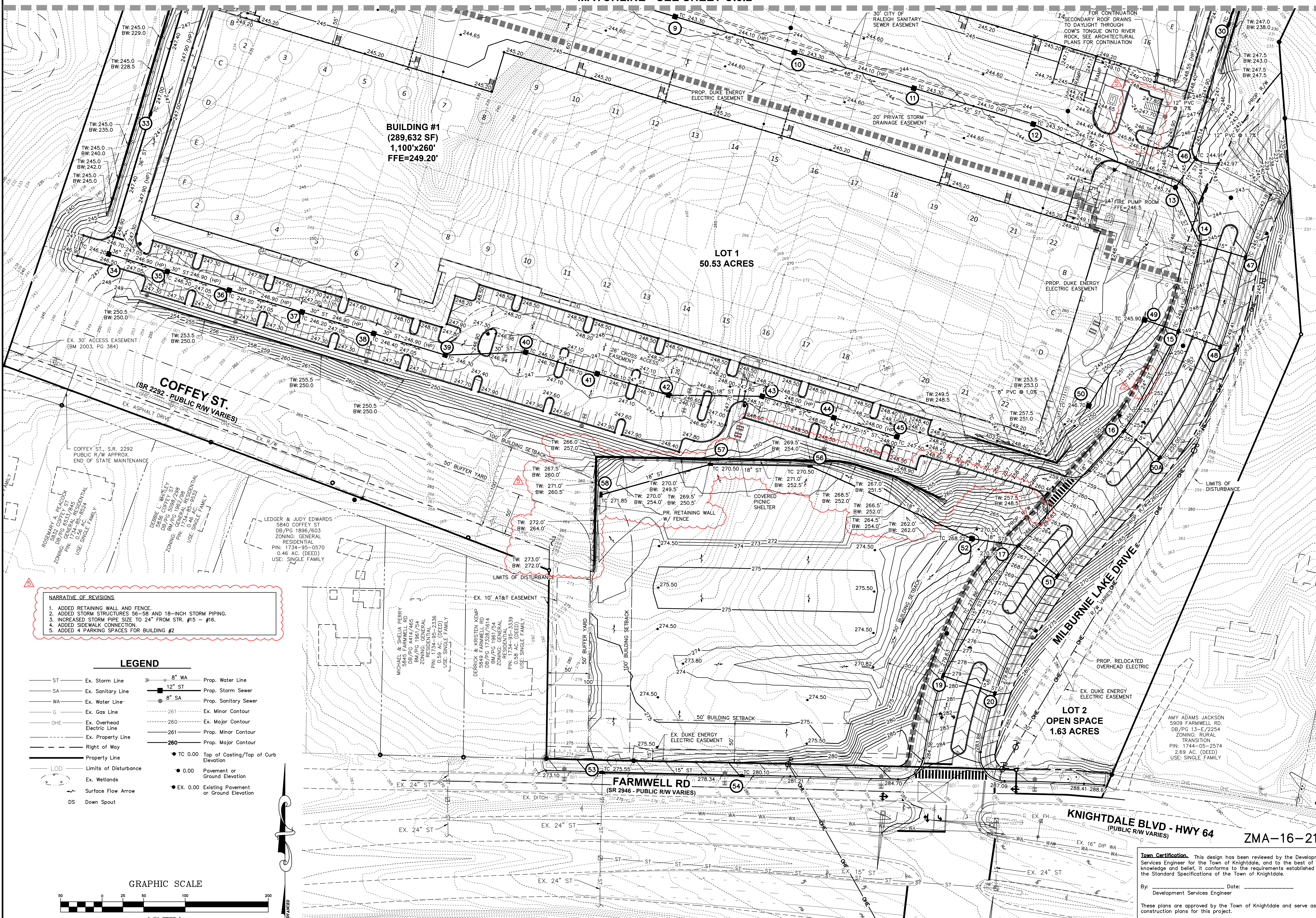
Date: 11/10/2023
 Scale: 1" = 100'

Drawn By: AMK
 Checked By: JRR

Project Number:
21-0011-504

Drawing Number:
C.5.0

MATCHLINE - SEE SHEET C.5.2



BUILDING #1
(289,632 SF)
1,100'x260'
FFE=249.20'

LOT 1
50.53 ACRES

LOT 2
OPEN SPACE
1.63 ACRES

COFFEY ST.
(SR 2292 - PUBLIC R/W VARIES)

FARMWELL RD
(SR 2946 - PUBLIC R/W VARIES)

KNIGHTDALE BLVD - HWY 64
(PUBLIC R/W VARIES)

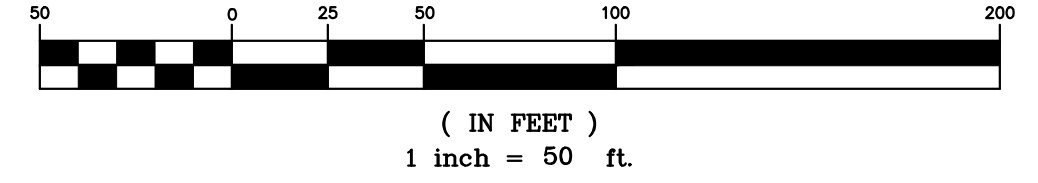
ZMA-16-21

NARRATIVE OF REVISIONS
1. ADDED RETAINING WALL AND FENCE.
2. ADDED STORM STRUCTURES 56-58 AND 18-INCH STORM PIPING.
3. INCREASED STORM PIPE SIZE TO 24" FROM STR. #15 - #16.
4. ADDED SIDEWALK CONNECTION.
5. ADDED 4 PARKING SPACES FOR BUILDING #2.

LEGEND

- ST Ex. Storm Line
- SA Ex. Sanitary Line
- WA Ex. Water Line
- G Ex. Gas Line
- OHE Ex. Overhead Electric Line
- Ex. Property Line
- Right of Way
- Property Line
- LOD Limits of Disturbance
- Ex. Wetlands
- Surface Flow Arrow
- DS Down Spout
- 8" WA Prop. Water Line
- 12" ST Prop. Storm Sewer
- 8" SA Prop. Sanitary Sewer
- 261 Ex. Minor Contour
- 260 Ex. Major Contour
- 261 Prop. Minor Contour
- 260 Prop. Major Contour
- TC Top of Casting/Top of Curb Elevation
- 0.00 Pavement or Ground Elevation
- EX. 0.00 Existing Pavement or Ground Elevation

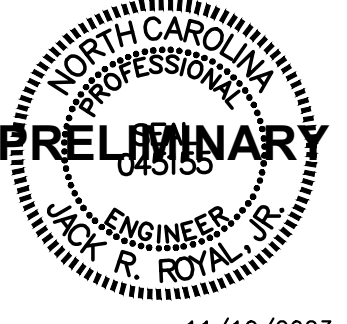
GRAPHIC SCALE



PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS
51 Kilmorye Drive, Suite 102
Cary, North Carolina 27511
PH 919-481-6990
FAX 919-481-6992

PLAN PREPARED FOR:
BEACON PARTNERS
500 East Main Street, 2nd Floor
Charlotte, North Carolina 28202
PH 704-597-7757
FAX 704-598-6335

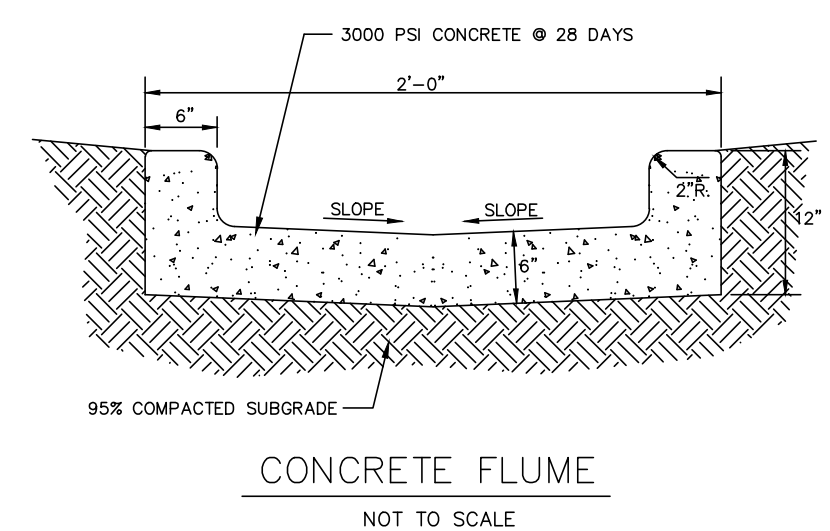
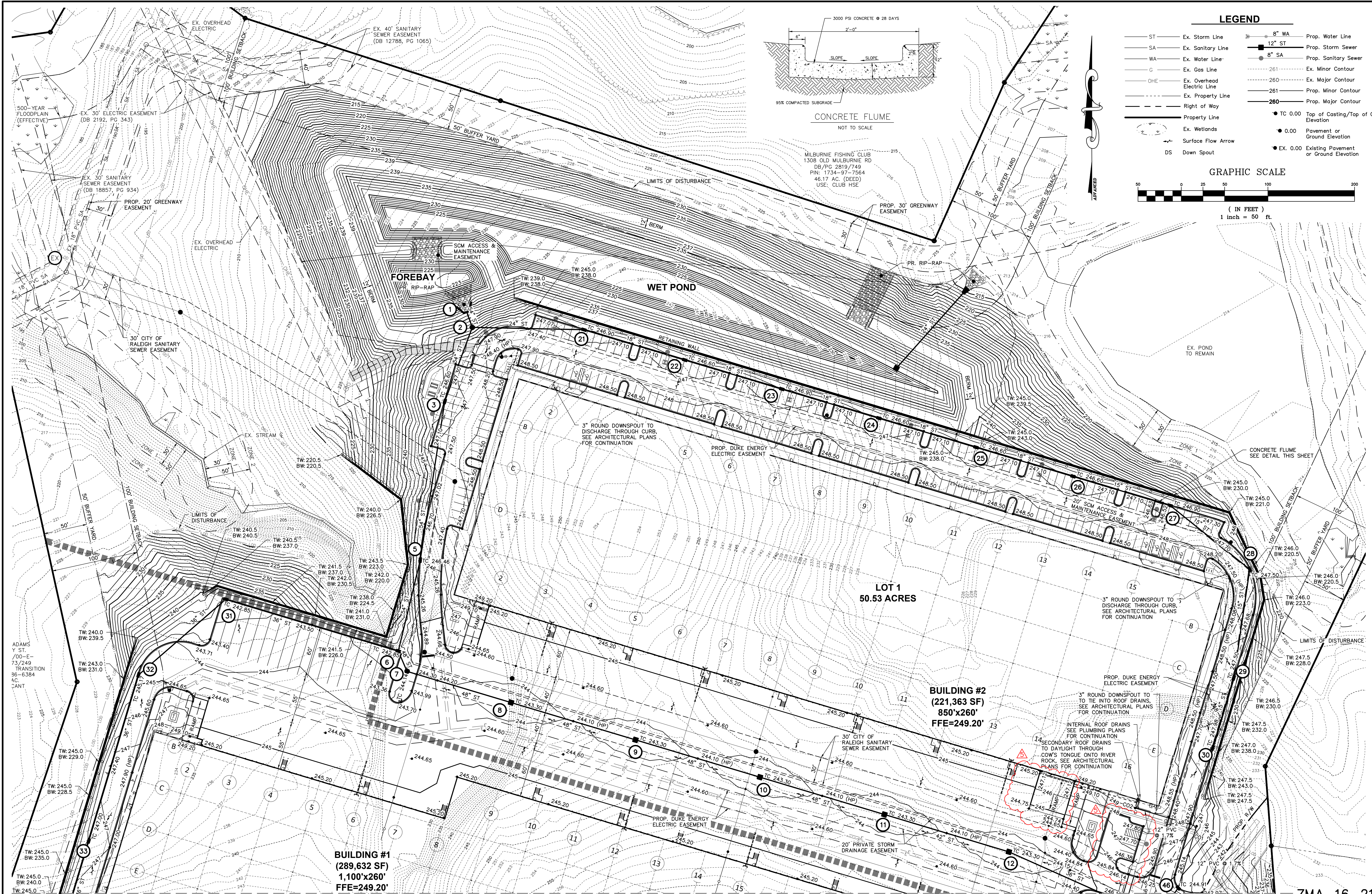
5901 Formwell Road, Knightdale, NC 27610 - Wake County
KNIGHTDALE GATEWAY
CONSTRUCTION PLAN
FOR
BEACON PARTNERS
GRADING AND DRAINAGE PLAN



Issue Dates:	03/03/2023 - Construction Plan Submittal #5
	03/20/2023 - Construction Plan Signature Set
	03/29/2023 - Revision #1
	05/01/2023 - Revision #2
	05/09/2023 - Revision #3
	08/02/2023 - Revision #4
	11/10/2023 - Revision #5
Date:	11/10/2023
Scale:	1" = 50'
Drawn By:	AMK
Checked By:	JRR
Project Number:	21-0011-504
Drawing Number:	C.5.1

Town Certification. This design has been reviewed by the Development Services Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
Development Services Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: _____
Administrator



LEGEND

ST	Ex. Storm Line	8" WA	Prop. Water Line
SA	Ex. Sanitary Line	12" ST	Prop. Storm Sewer
WA	Ex. Water Line	8" SA	Prop. Sanitary Sewer
G	Ex. Gas Line	261	Ex. Minor Contour
OHE	Ex. Overhead Electric Line	260	Ex. Major Contour
---	Ex. Property Line	261	Prop. Minor Contour
---	Right of Way	260	Prop. Major Contour
---	Property Line	TC 0.00	Top of Casting/Top of Curb Elevation
---	Ex. Wetlands	0.00	Pavement or Ground Elevation
---	Surface Flow Arrow	EX 0.00	Existing Pavement or Ground Elevation
DS	Down Spout		

GRAPHIC SCALE
(IN FEET)
1 inch = 50 ft.

PLAN PREPARED BY:

 51 Kilmorye Drive, Suite 102
 Cary, North Carolina 27511
 PH 919.481.6990
 FAX 919.336.5127

PLAN PREPARED FOR:

 500 East Morehead St.
 Charlotte, North Carolina 28202
 TEL 704.507.7757
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11/10/2023	- Revision #5

Date: 11/10/2023
 Scale: 1" = 50'
 Drawn By: AMK
 Checked By: JRR
 Project Number:
21-0011-504
 Drawing Number:
C.5.2

O:\21-0011-504\CD\Production Drawings\SITE CONSTRUCTION\0011-504\CD\Grading and Drainage Plan REV5.dwg GRADING 2 Nov 10, 2023 - 3:44:06pm Jroyal

MATCHLINE - SEE SHEET C.5.1

NARRATIVE OF REVISIONS

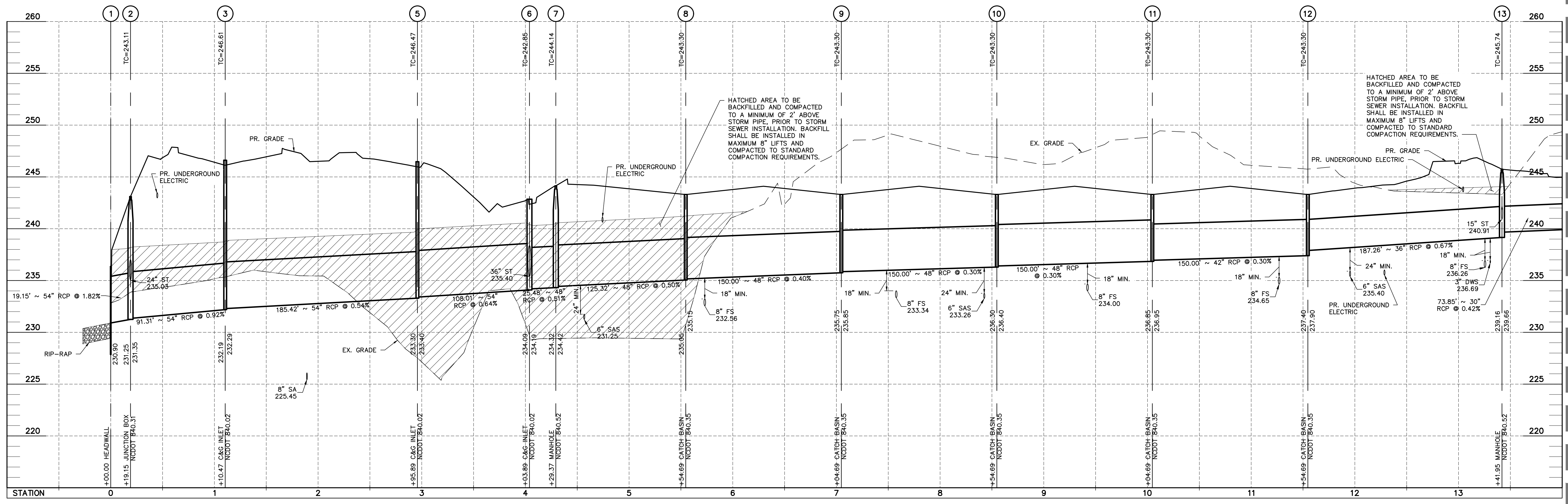
- ADDED VAN RAMP AND SPOT GRADES.
- ADDED 4 PARKING SPACES FOR BUILDING #2.

Town Certification. This design has been reviewed by the Development Services Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

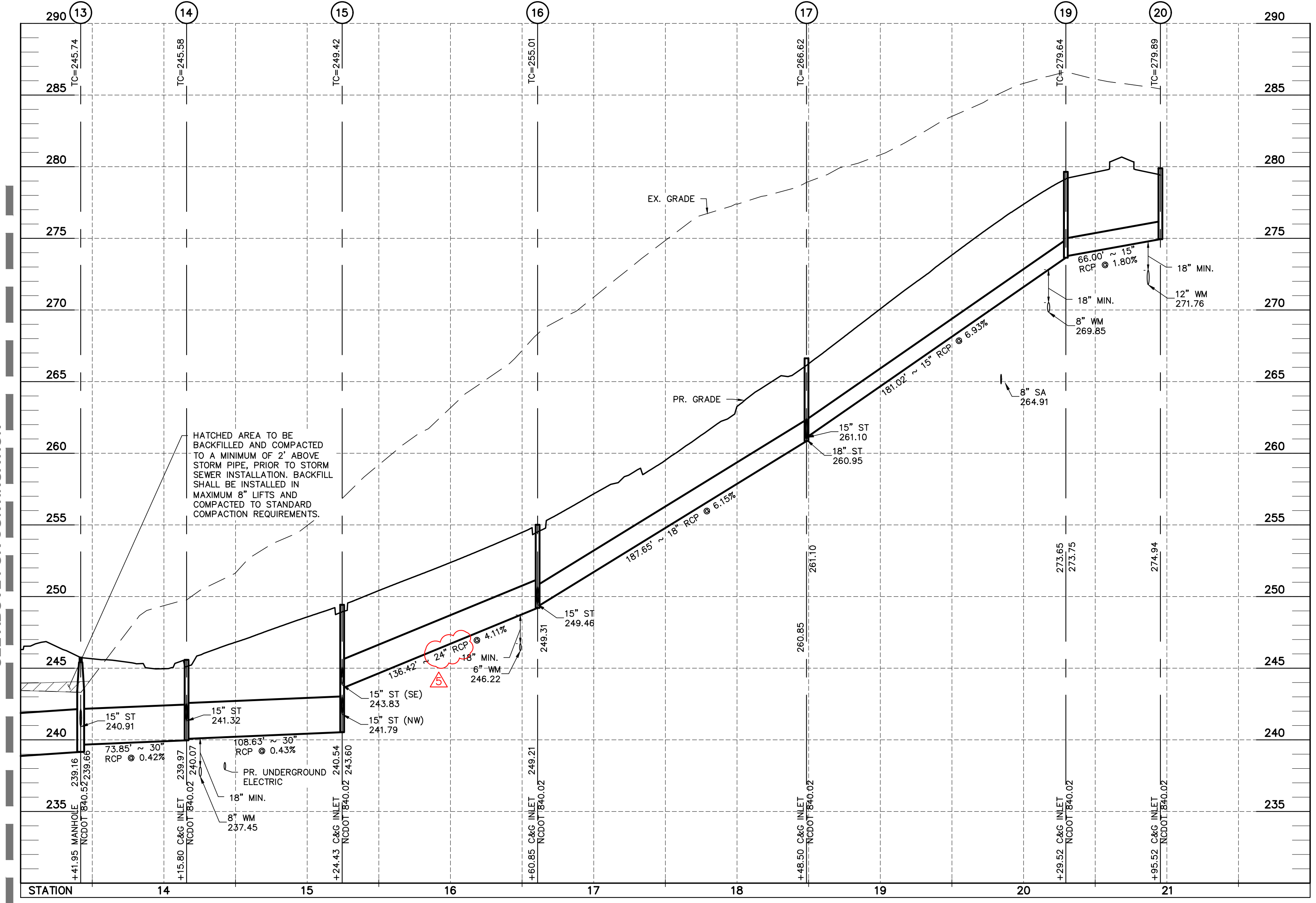
By: _____ Date: _____
 Development Services Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
 Administrator



SEE BELOW FOR CONTINUATION

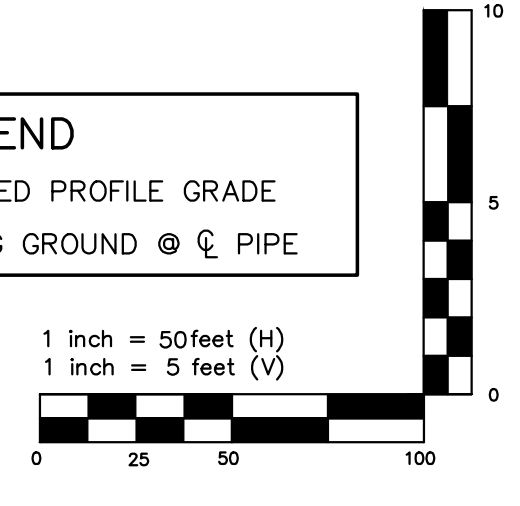


SEE ABOVE FOR CONTINUATION

NARRATIVE OF REVISIONS
 1. INCREASED STORM PIPE SIZE TO 24" FROM STR. #15 - #16.

- NOTES:**
- CONTRACTOR SHALL FIELD VERIFY INVERT ELEVATIONS IN EXISTING STRUCTURES.
 - THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF THE LADDER STEPS WITHIN THE EXISTING STRUCTURES. IF THE FIELD VERIFIED LOCATION IS IN CONFLICT WITH THE WORK TO BE PERFORMED, THE LADDER STEPS SHALL BE MOVED. PRICE TO BE INCLUDED IN THE UNIT PRICE BID FOR VARIOUS SEWER ITEMS.
 - CONSTRUCTION AND MATERIALS TO MEET ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL TRENCH BACKFILL SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

LEGEND
 — PROPOSED PROFILE GRADE
 - - - EXISTING GROUND @ ϕ PIPE



Town Certification. This design has been reviewed by the Development Services Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
 Development Services Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
 Administrator

PLAN PREPARED BY:

51 Kilmoyre Drive, Suite 102
 Cary, North Carolina 27511
 PH 919.481.6590
 FAX 919.336.5127

PLAN PREPARED FOR:

500 East Main Street #2
 Charlotte, North Carolina 28269
 TEL 704.597.7757
 FAX 704.598.6335

5901 Formwell Road, Knightdale, NC 27610 - Wake County

**KNIGHTDALE GATEWAY
 CONSTRUCTION PLAN**

FOR
BEACON PARTNERS

STORM SEWER PROFILES

11/10/2023

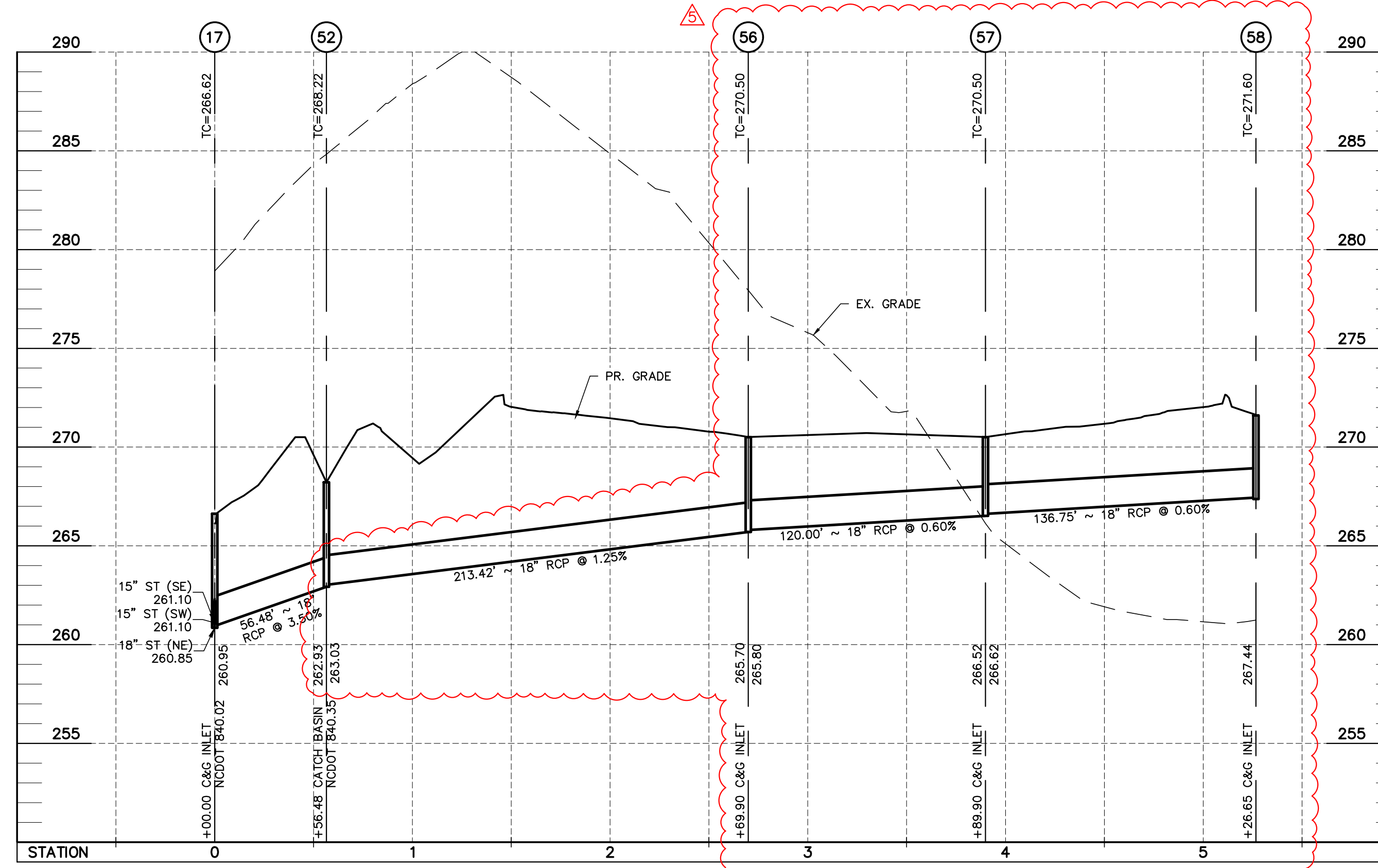
Issue Dates:	03/03/2023 - Construction Plan Submittal #5
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	08/02/2023 - Revision #4
	11/10/2023 - Revision #5

Date: 11/10/2023
 Scale: 1" = 50'

Drawn By: AMK
 Checked By: JRR

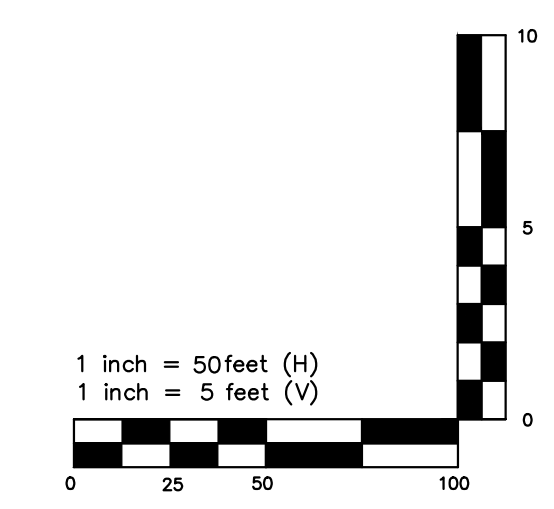
Project Number:
21-0011-504

Drawing Number:
C.53



NARRATIVE OF REVISIONS
 1. ADDED STORM STRUCTURES 56-58 AND 18-INCH STORM PIPING.

NOTES:
 1. CONTRACTOR SHALL FIELD VERIFY INVERT ELEVATIONS IN EXISTING STRUCTURES.
 2. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF THE LADDER STEPS WITHIN THE EXISTING STRUCTURES. IF THE FIELD VERIFIED LOCATION IS IN CONFLICT WITH THE WORK TO BE PERFORMED, THE LADDER STEPS SHALL BE MOVED. PRICE TO BE INCLUDED IN THE UNIT PRICE BID FOR VARIOUS SEWER ITEMS.
 3. CONSTRUCTION AND MATERIALS TO MEET ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS
 4. ALL TRENCH BACKFILL SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



LEGEND
 ——— PROPOSED PROFILE GRADE
 - - - EXISTING GROUND @ C.P. PIPE

ZMA-16-21

Town Certification. This design has been reviewed by the Development Services Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
 Drawn By: AMK Checked By: JRR
 By: _____ Date: _____
 Development Services Engineer
 These plans are approved by the Town of Knightdale and serve as construction plans for this project.
 By: _____ Date: _____
 Administrator

PLAN PREPARED BY:
 51 Kilmoyne Drive, Suite 102
 Cary, North Carolina 27511
 ph 919.481.6590
 fax 919.336.5127
ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

PLAN PREPARED FOR:
BEACON PARTNERS
 500 East Morehead St.
 Suite 200
 Charlotte, North Carolina 28249
 tel. 704.597.7757
 fax 704.598.6335

5901 Formwell Road, Knightdale, NC 27610 - Wake County
KNIGHTDALE GATEWAY CONSTRUCTION PLAN
 FOR
BEACON PARTNERS
STORM SEWER PROFILES

RELENSARY
 NORTH CAROLINA PROFESSIONAL ENGINEER
 NO. 28155
 ROYAL, JR.

11/10/2023

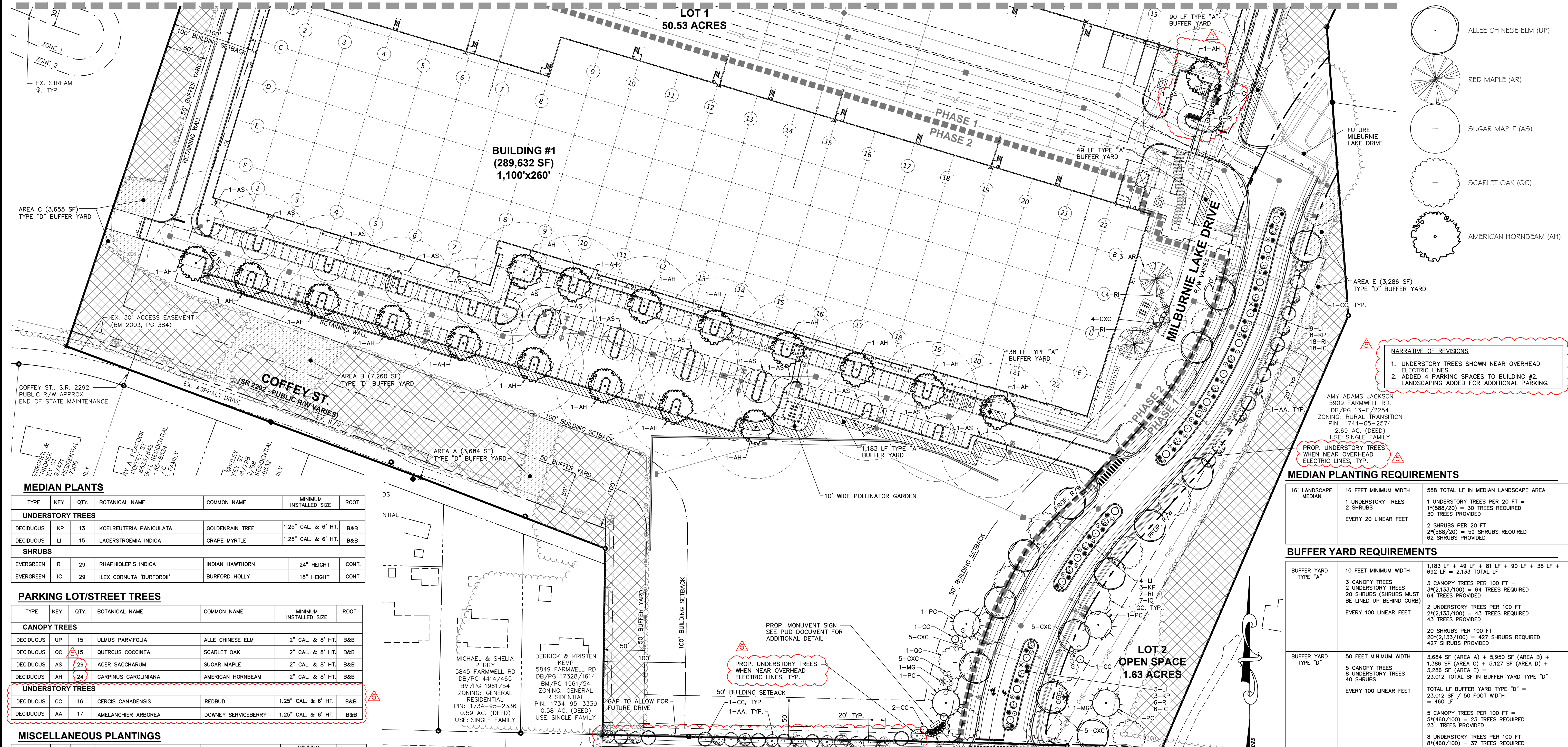
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	05/09/2023 - Revision #3
	08/02/2023 - Revision #4
	11/10/2023 - Revision #5

Date: 11/10/2023
 Scale: H: 1" = 50'
 V: 1" = 5'

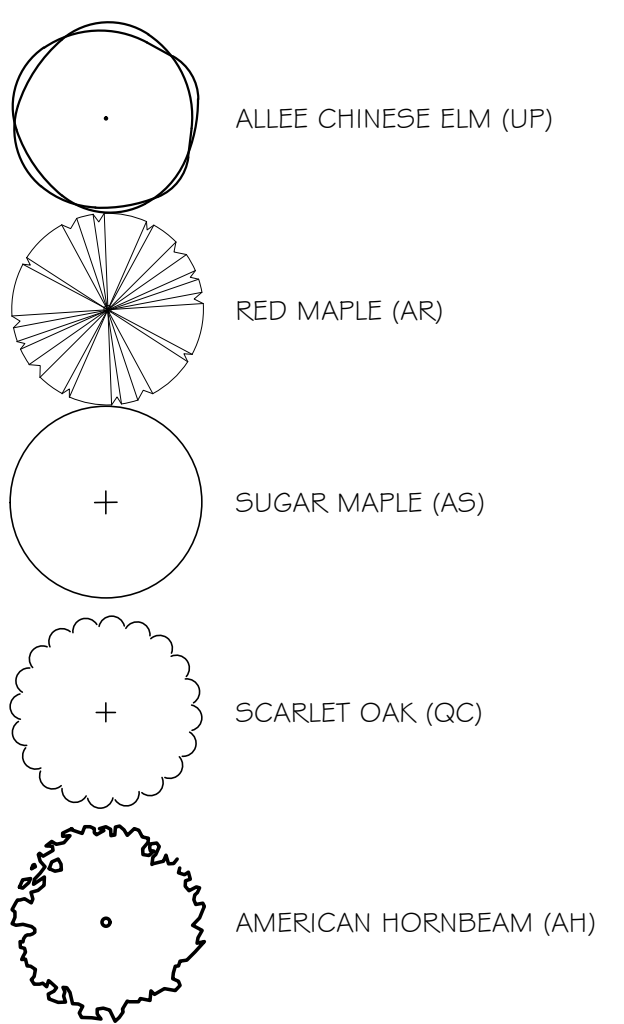
Project Number:
 21-0011-504

Drawing Number:
 C.5.5A

MATCHLINE - SEE SHEET C.7.2



TREE LEGEND



NARRATIVE OF REVISIONS

- UNDERSTORY TREES SHOWN NEAR OVERHEAD ELECTRIC LINES.
- ADDED 4 PARKING SPACES TO BUILDING #2. LANDSCAPING ADDED FOR ADDITIONAL PARKING.

MEDIAN PLANTING REQUIREMENTS

16' LANDSCAPE MEDIAN	16 FEET MINIMUM WIDTH	588 TOTAL LF IN MEDIAN LANDSCAPE AREA
1 UNDERSTORY TREES	EVERY 20 LINEAR FEET	1 UNDERSTORY TREES PER 20 FT = 1*(588/20) = 30 TREES REQUIRED 30 TREES PROVIDED
2 SHRUBS	EVERY 20 LINEAR FEET	2 SHRUBS PER 20 FT = 2*(588/20) = 59 SHRUBS REQUIRED 62 SHRUBS PROVIDED

BUFFER YARD REQUIREMENTS

BUFFER YARD TYPE "A"	10 FEET MINIMUM WIDTH	1,183 LF + 49 LF + 81 LF + 90 LF + 38 LF + 692 LF = 2,133 TOTAL LF
3 CANOPY TREES	EVERY 100 LINEAR FEET	3 CANOPY TREES PER 100 FT = 3*(2,133/100) = 64 TREES REQUIRED 64 TREES PROVIDED
2 UNDERSTORY TREES	EVERY 100 LINEAR FEET	2 UNDERSTORY TREES PER 100 FT = 2*(2,133/100) = 43 TREES REQUIRED 43 TREES PROVIDED
20 SHRUBS (SHRUBS MUST BE LINED UP BEHIND CURB)	EVERY 100 LINEAR FEET	20 SHRUBS PER 100 FT = 20*(2,133/100) = 427 SHRUBS REQUIRED 427 SHRUBS PROVIDED
BUFFER YARD TYPE "D"	50 FEET MINIMUM WIDTH	3,684 SF (AREA A) + 5,950 SF (AREA B) + 1,386 SF (AREA C) + 5,127 SF (AREA D) + 13,286 SF (AREA E) = 29,433 SF
5 CANOPY TREES	EVERY 100 LINEAR FEET	5 CANOPY TREES PER 100 FT = 5*(29,433/100) = 1,472 TREES REQUIRED 1,472 TREES PROVIDED
8 UNDERSTORY TREES	EVERY 100 LINEAR FEET	8 UNDERSTORY TREES PER 100 FT = 8*(29,433/100) = 236 TREES REQUIRED 236 TREES PROVIDED
40 SHRUBS	EVERY 100 LINEAR FEET	40 SHRUBS PER 100 FT = 40*(29,433/100) = 1,177 TREES REQUIRED 1,177 TREES PROVIDED

NOTE: THE ABOVE TYPE "D" BUFFER CALCULATIONS ASSUME EXISTING TREE SAVE AREAS MEET THE MINIMUM PLANTING REQUIREMENTS. IF EXISTING TREE SAVE AREAS SIGNIFICANTLY EXCEED MINIMUM PLANTING REQUIREMENTS IT IS POSSIBLE THE ADDITIONAL PLANTINGS WOULD NOT BE REQUIRED. PLEASE SCHEDULE AN INSPECTION WITH THE TOWN PLANNER TO CONFIRM PRIOR TO PLANTING.

MEDIAN PLANTS

TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT
UNDERSTORY TREES						
DECIDUOUS	KP	13	KOELREUTERIA PANICULATA	GOLDENRAIN TREE	1.25" CAL. & 6' HT.	B&B
DECIDUOUS	LI	15	LAGERSTROEMIA INDICA	GRAPE MYRTLE	1.25" CAL. & 6' HT.	B&B
SHRUBS						
EVERGREEN	RI	29	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	24" HEIGHT	CONT.
EVERGREEN	IC	29	ILEX CORNUTA 'BURFORDII'	BURFORD HOLLY	18" HEIGHT	CONT.

PARKING LOT/STREET TREES

TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT
CANOPY TREES						
DECIDUOUS	UP	15	ULMUS PARVIFOLIA	ALLEE CHINESE ELM	2" CAL. & 8' HT.	B&B
DECIDUOUS	QC	15	QUERCUS COCCINEA	SCARLET OAK	2" CAL. & 8' HT.	B&B
DECIDUOUS	AS	29	ACER SACCHARINUM	SUGAR MAPLE	2" CAL. & 8' HT.	B&B
DECIDUOUS	AH	24	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2" CAL. & 8' HT.	B&B
UNDERSTORY TREES						
DECIDUOUS	CC	16	CERCIS CANADENSIS	REDBUD	1.25" CAL. & 6' HT.	B&B
DECIDUOUS	AA	17	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	1.25" CAL. & 6' HT.	B&B

MISCELLANEOUS PLANTINGS

TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT
CANOPY TREES						
DECIDUOUS	AR	5	ACER RUBRUM	RED MAPLE	2" CAL. & 8' HT.	B&B
DECIDUOUS	QC	1	QUERCUS COCCINEA	SCARLET OAK	2" CAL. & 8' HT.	B&B
DECIDUOUS	PC	4	PISTACHIA CHINENSIS	CHINESE PISTACHIO	2" CAL. & 8' HT.	B&B
UNDERSTORY TREES						
DECIDUOUS	AA	2	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	1.25" CAL. & 6' HT.	B&B
DECIDUOUS	CC	2	CERCIS CANADENSIS	REDBUD	1.25" CAL. & 6' HT.	B&B
EVERGREEN	MG	2	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	1.25" CAL. & 6' HT.	B&B
SHRUBS						
DECIDUOUS	CXC	24	CARYOPTERIS X CLANDONENSIS	BLUE MIST SHRUB	36" HEIGHT	CONT.
EVERGREEN	RI	14	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	24" HEIGHT	CONT.
EVERGREEN	LV	13	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LIRIOPE	3 GAL.	CONT.
EVERGREEN	GR	10	GARDENIA JASMINOIDES 'RADICANS'	RADICANS DWARF GARDENIA	3 GAL.	CONT.
EVERGREEN	IX	0	ILEX X NELLIE R STEVENS	NELLIE R STEVENS HOLLY	6" HEIGHT	B&B

TREE COVER AREA CALCULATIONS

PERIMETER OF SITE: 6,950 FEET
 REQUIRED TREE COVER AREA: 6,950 FT X 20 FT = 139,000 SF
 REQUIRED AREA % OF TOTAL LOT AREA: 139,000 SF / 2,358,143 SF = 5.89%
 5.89% OF TOTAL LOT AREA (< 10% MAX)
 EXISTING TREE COVER AREA TO BE UTILIZED: 521,245 SF
 ADDITIONAL SPACE REQUIRED: 0 SF
 RE-PLANTED AREA REQUIRED: 0 SF
 RE-PLANTED AREA PROVIDED: 25,086 SF

TREE REPLACEMENT AREA CALCULATIONS

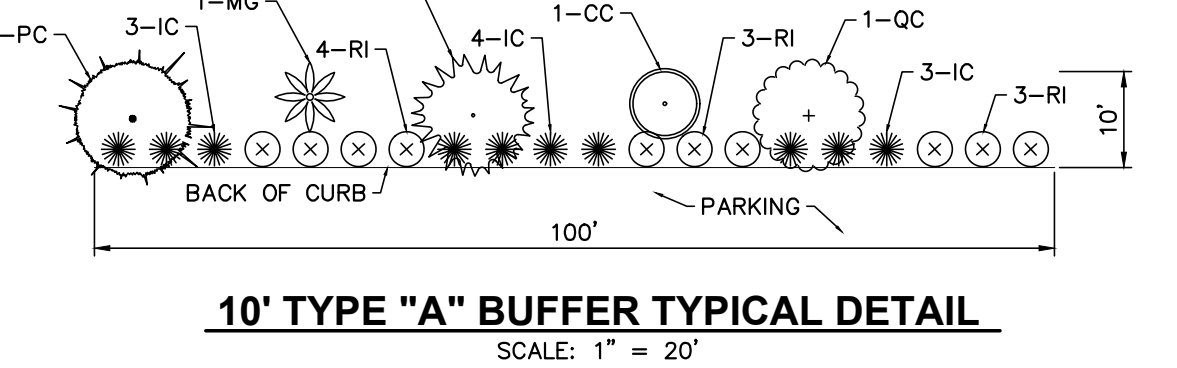
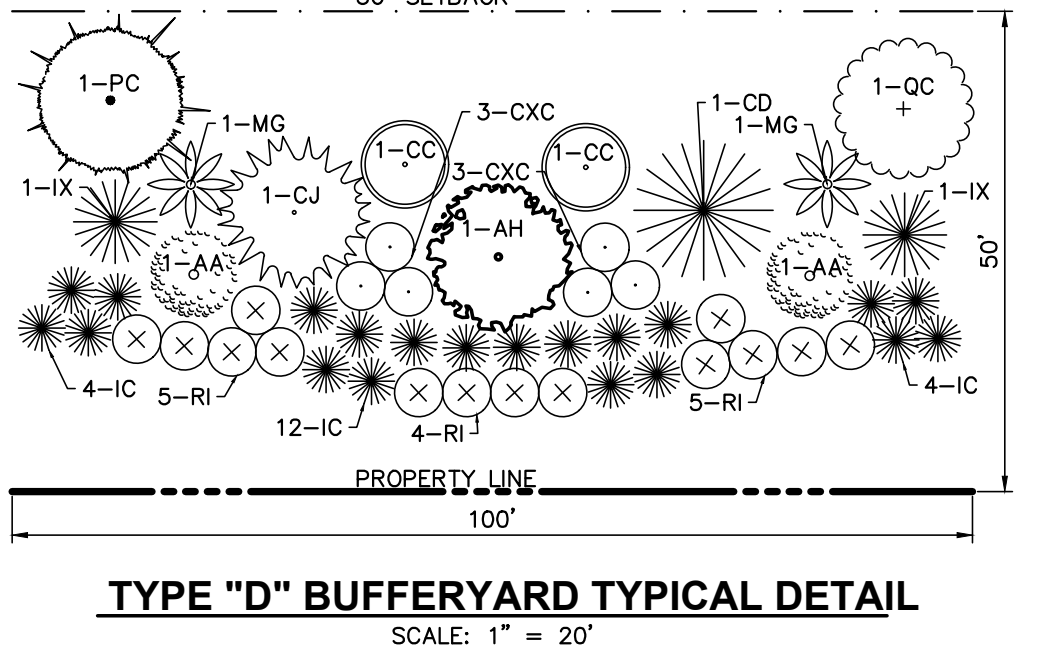
TOTAL TREES TO BE REPLACED (SEE SHEET C.2.1 FOR TREE PROTECTION TABLE): 418
 TOTAL TREE REPLACEMENT AREA: 68,910 SF (1.58 AC.)
 TREE REPLACEMENT DENSITY: 68,910 SF/418 TREES = 165 SF/TREE
 TREE REPLACEMENT AREA #1: 157 TREES
 TREE REPLACEMENT AREA #2: 161 TREES
 TREE REPLACEMENT AREA #3: 100 TREES
 SEE REPLACEMENT TREE TABLE FOR SPECIES OF TREES TO BE PLANTED. SPLIT REPLACEMENT TREES EVENLY BETWEEN EACH TREE REPLACEMENT AREA.

REPLACEMENT TREES

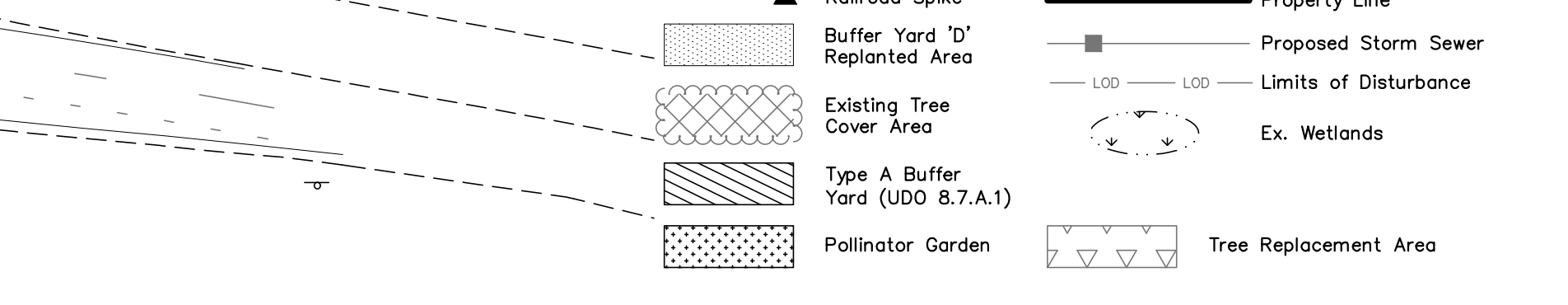
TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT
CANOPY TREES						
DECIDUOUS	PC	104	PISTACHIA CHINENSIS	CHINESE PISTACHIO	2" CAL. & 8' HT.	B&B
DECIDUOUS	QH	105	QUERCUS HEMISPHERICA	LAUREL OAK	2" CAL. & 8' HT.	B&B
EVERGREEN	CJ	104	CRYPTOMERIA JAPONICA	JAPANESE CRYPTOMERIA	2" CAL. & 8' HT.	B&B
EVERGREEN	MG	105	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	2" CAL. & 8' HT.	B&B

BUFFER YARD PLANTS

TYPE	KEY	QTY.	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT
CANOPY TREES						
DECIDUOUS	AH	5	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2" CAL. & 8' HT.	B&B
DECIDUOUS	QC	27	QUERCUS COCCINEA	SCARLET OAK	2" CAL. & 8' HT.	B&B
DECIDUOUS	PC	26	PISTACHIA CHINENSIS	CHINESE PISTACHIO	2" CAL. & 8' HT.	B&B
EVERGREEN	CD	4	CEDRUS DEODARA	DEODAR CEDAR	2" CAL. & 8' HT.	B&B
EVERGREEN	CJ	25	CRYPTOMERIA JAPONICA	JAPANESE CRYPTOMERIA	2" CAL. & 8' HT.	B&B
UNDERSTORY TREES						
DECIDUOUS	AA	10	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	1.25" CAL. & 6' HT.	B&B
DECIDUOUS	CC	31	CERCIS CANADENSIS	REDBUD	1.25" CAL. & 6' HT.	B&B
EVERGREEN	MG	30	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	1.25" CAL. & 6' HT.	B&B
EVERGREEN	IX	9	ILEX X NELLIE R STEVENS	NELLIE R STEVENS HOLLY	1.25" CAL. & 6' HT.	B&B
SHRUBS						
DECIDUOUS	CXC	28	CARYOPTERIS X CLANDONENSIS	BLUE MIST SHRUB	36" HEIGHT	CONT.
EVERGREEN	RI	279	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	24" HEIGHT	CONT.
EVERGREEN	IC	308	ILEX CORNUTA 'BURFORDII'	BURFORD HOLLY	18" HEIGHT	CONT.



KNIGHTDALE BLVD - HWY 64 (PUBLIC R/W VARIES)



LANDSCAPE NOTES

- AT TIME OF INSTALLATION, CANOPY TREES SHALL BE A MINIMUM OF 2" CALIBER AND 8' IN HEIGHT; UNDERSTORY TREES SHALL BE A MINIMUM OF 1 1/4" CALIBER AND 6' IN HEIGHT; AND SHRUBS SHALL BE AT LEAST 18" IN HEIGHT AND A 3 GALLON CONTAINER SIZE.
- ANY ABOVE GROUND UTILITIES HAVE TO BE SCREENED IN ACCORDANCE WITH UDO SECTION 8.7.
- 40-60% OF CANOPY TREES AND 40-60% OF UNDERSTORY TREES HAVE TO BE EVERGREEN PER UDO SECTION 8.6.

ZMA-16-21

Town Certification. This design has been reviewed by the Development Services Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: _____ Date: _____
 Development Services Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: _____ Date: _____
 Administrator

PLAN PREPARED BY:

51 Kilmorye Drive, Suite 102
 Cary, North Carolina 27511
 ph 919.481.6590
 fax 919.336.5127

PLAN PREPARED FOR:

500 East Main Street
 Raleigh, North Carolina 27601
 Tel. 704.597.7757
 Fax 704.598.6335

5901 Farmwell Road, Knightdale, NC 27610 - Wake County

**KNIGHTDALE GATEWAY
 CONSTRUCTION PLAN
 FOR
 BEACON PARTNERS
 LANDSCAPE PLAN**

11/10/2023

Issue Dates:

- 03/03/2023 - Construction Plan Submittal #5
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- 11/10/2023 - Revision #5

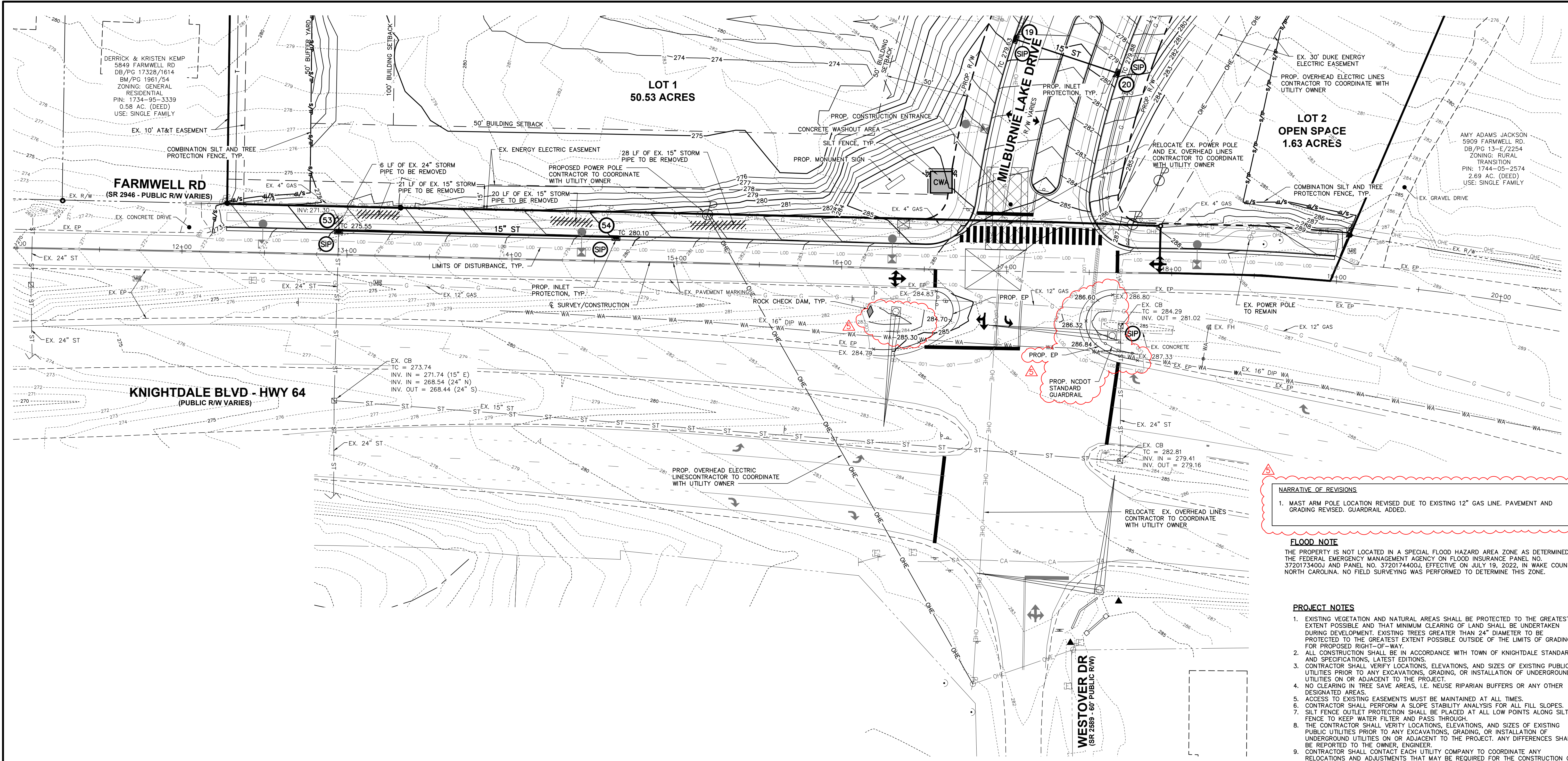
Date: 11/10/2023
 Scale: 1" = 60'

Drawn By: AMK
 Checked By: JRR

Project Number:
21-0011-504

Drawing Number:
C.7.1

C:\V1-0011-504NC\DWG\Production Drawings\SITE CONSTRUCTION\0011-504NC FARMWELL RD GRADING & EROSION CONTROL PLAN REV5.dwg ROAD GRADING & EROSION Nov 10, 2023 - 4:28:09pm Froyd



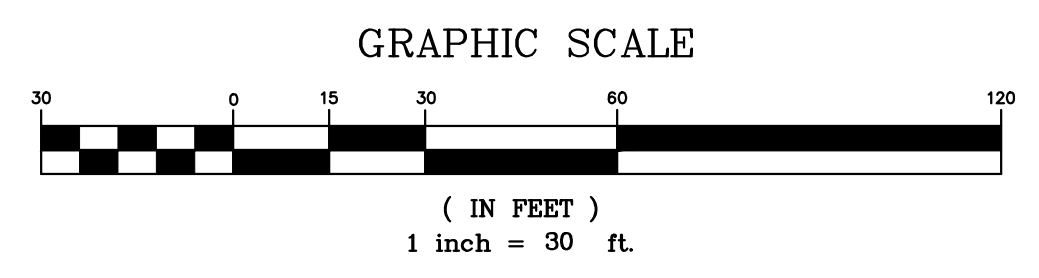
NARRATIVE OF REVISIONS
1. MAST ARM POLE LOCATION REVISED DUE TO EXISTING 12" GAS LINE. PAVEMENT AND GRADING REVISED. GUARDRAIL ADDED.

FLOOD NOTE
THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE PANEL NO. 3720173400J AND PANEL NO. 3720174400J, EFFECTIVE ON JULY 19, 2022, IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.

- PROJECT NOTES**
- EXISTING VEGETATION AND NATURAL AREAS SHALL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE AND THAT MINIMUM CLEARING OF LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT. EXISTING TREES GREATER THAN 24" DIAMETER TO BE PROTECTED TO THE GREATEST EXTENT POSSIBLE OUTSIDE OF THE LIMITS OF GRADING FOR PROPOSED RIGHT-OF-WAY.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF KNIGHTDALE STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
 - CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING PUBLIC UTILITIES PRIOR TO ANY EXCAVATIONS, GRADING, OR INSTALLATION OF UNDERGROUND UTILITIES ON OR ADJACENT TO THE PROJECT.
 - NO CLEARING IN TREE SAVE AREAS, I.E. NEUSE RIPARIAN BUFFERS OR ANY OTHER DESIGNATED AREAS.
 - ACCESS TO EXISTING EASEMENTS MUST BE MAINTAINED AT ALL TIMES.
 - CONTRACTOR SHALL PERFORM A SLOPE STABILITY ANALYSIS FOR ALL FILL SLOPES.
 - SILT FENCE OUTLET PROTECTION SHALL BE PLACED AT ALL LOW POINTS ALONG SILT FENCE TO KEEP WATER FILTER AND PASS THROUGH.
 - THE CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING PUBLIC UTILITIES PRIOR TO ANY EXCAVATIONS, GRADING, OR INSTALLATION OF UNDERGROUND UTILITIES ON OR ADJACENT TO THE PROJECT. ANY DIFFERENCES SHALL BE REPORTED TO THE OWNER, ENGINEER.
 - CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY TO COORDINATE ANY RELOCATIONS AND ADJUSTMENTS THAT MAY BE REQUIRED FOR THE CONSTRUCTION OF THE PROJECT.
 - DESIGN, INSTALLATION, AND COORDINATION OF ELECTRIC SERVICE, NATURAL GAS, AND COMMUNICATIONS CABLE BY RESPECTIVE UTILITY COMPANIES.
 - SILT FENCE AND TREE PROTECTION FENCE SHALL BE PLACED AT THE LIMITS OF DISTURBANCE LINE. SILT FENCE AND TREE PROTECTION FENCE SHOWN OFFSET FROM LIMITS OF DISTURBANCE LINE ON THIS PLAN FOR CLARITY PURPOSES ONLY.

EROSION CONTROL LEGEND

	SF	SILT FENCE / LOD
	S/TP	SILT & TREE PROTECTION FENCE / LOD
	TP	TREE PROTECTION FENCE / LOD
	LOD	LIMITS OF DISTURBANCE
		PROP. DIVERSION DITCH
	12" ST	PROP. STORM SEWER
	261	EX. MINOR CONTOUR
	260	EX. MAJOR CONTOUR
	261	PROP. MINOR CONTOUR
	260	PROP. MAJOR CONTOUR
	SIP	INLET PROTECTION
		ROCK CHECK DAM
		DIVERSION BERM
		CONCRETE WASHOUT AREA



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.
City of Raleigh Development Approval
Raleigh Water Review Officer

Town Certification. This design has been reviewed by the Development Services Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.
By: _____ Date: _____
Development Services Engineer
These plans are approved by the Town of Knightdale and serve as construction plans for this project.
By: _____ Date: _____
Administrator

PLAN PREPARED BY: ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
51 Kilmorye Drive, Suite 102 Cary, North Carolina 27511
919.481.6990
919.336.5127

PLAN PREPARED FOR: BEACON PARTNERS
500 East Mainhead St. Suite 200 Charlotte, North Carolina 28249
Tel. 704.597.7757 Fax 704.598.6335

5901 Farmwell Road, Knightdale, NC 27610 - Wake County
KNIGHTDALE GATEWAY CONSTRUCTION PLAN
FOR
BEACON PARTNERS
FARMWELL ROAD GRADING & EROSION CONTROL PLAN

11/10/2023

Issue Dates:	03/03/2023 - Construction Plan Submittal #5
	03/20/2023 - Construction Plan Signature Set
	03/29/2023 - Revision #1
	05/01/2023 - Revision #2
	05/09/2023 - Revision #3
	08/02/2023 - Revision #4
	11/10/2023 - Revision #5

Date: 11/10/2023
Scale: 1" = 30'

Drawn By: AMK
Checked By: JRR

Project Number: 21-0011-504
Drawing Number: C.11.1

