

LOCKHART ELEMENTARY SCHOOL

SITE CONSTRUCTION PLANS

WAKE COUNTY BOARD OF EDUCATION

1320 N SMITHFIELD RD

KNIGHTDALE, NC 27545

DP # -----

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PROJECT TEAM

ARCHITECTURAL

DTW ARCHITECTS & PLANNERS, LTD.
333 DURHAM CHAPEL HILL BLVD, SUITE D100
DURHAM, NC 27702

CIVIL ENGINEERING AND LANDSCAPE ARCHITECTURE

CLH DESIGN, PA
400 REGENCY FOREST DR., STE. 120
CARY, NC 27518

SITE DATA

PROJECT: LOCKHART ELEMENTARY SCHOOL
OWNER: WAKE COUNTY BOARD OF EDUCATION
OWNER CONTACT: SHANE WEBSTER - SENIOR FACILITIES PLANNER, PD & C
111 CORNING ROAD, STE 190
CARY, NC 27518
PHONE: 919-588-3608

LANDSCAPE ARCHITECT: CLH DESIGN, PA
DESIGNER CONTACT: RENE PFEFFER - LANDSCAPE ARCHITECT
400 REGENCY FOREST DR., SUITE 120
CARY, NC 27518
PHONE: 919-319-6716
FAX: 919-319-7516

CIVIL ENGINEER: CLH DESIGN, PA
DESIGNER CONTACT: KEN LORING - CIVIL ENGINEER
400 REGENCY FOREST DR., SUITE 120
CARY, NC 27518
PHONE: 919-319-6716
FAX: 919-319-7516

ARCHITECTURAL DESIGNER CONTACT: DTW ARCHITECTS AND PLANNERS, LTD.
PAUL YOUNG - ARCHITECT
333 DURHAM CHAPEL HILL BLVD, SUITE D100
DURHAM, NC 27702
PHONE: 919-317-4020

PROJECT ADDRESS: 1320 N SMITHFIELD RD
KNIGHTDALE, NC 27545

PIN: 1754279615

ZONING: RMX
OVERLAY DISTRICTS: NONE
EXISTING USE: SCHOOL
PROPOSED USE: SCHOOL

TRACT ACREAGE: 16.29 ACRES

REQUIRED SETBACKS: FRONT: 10', SIDE: 10', REAR: 30'

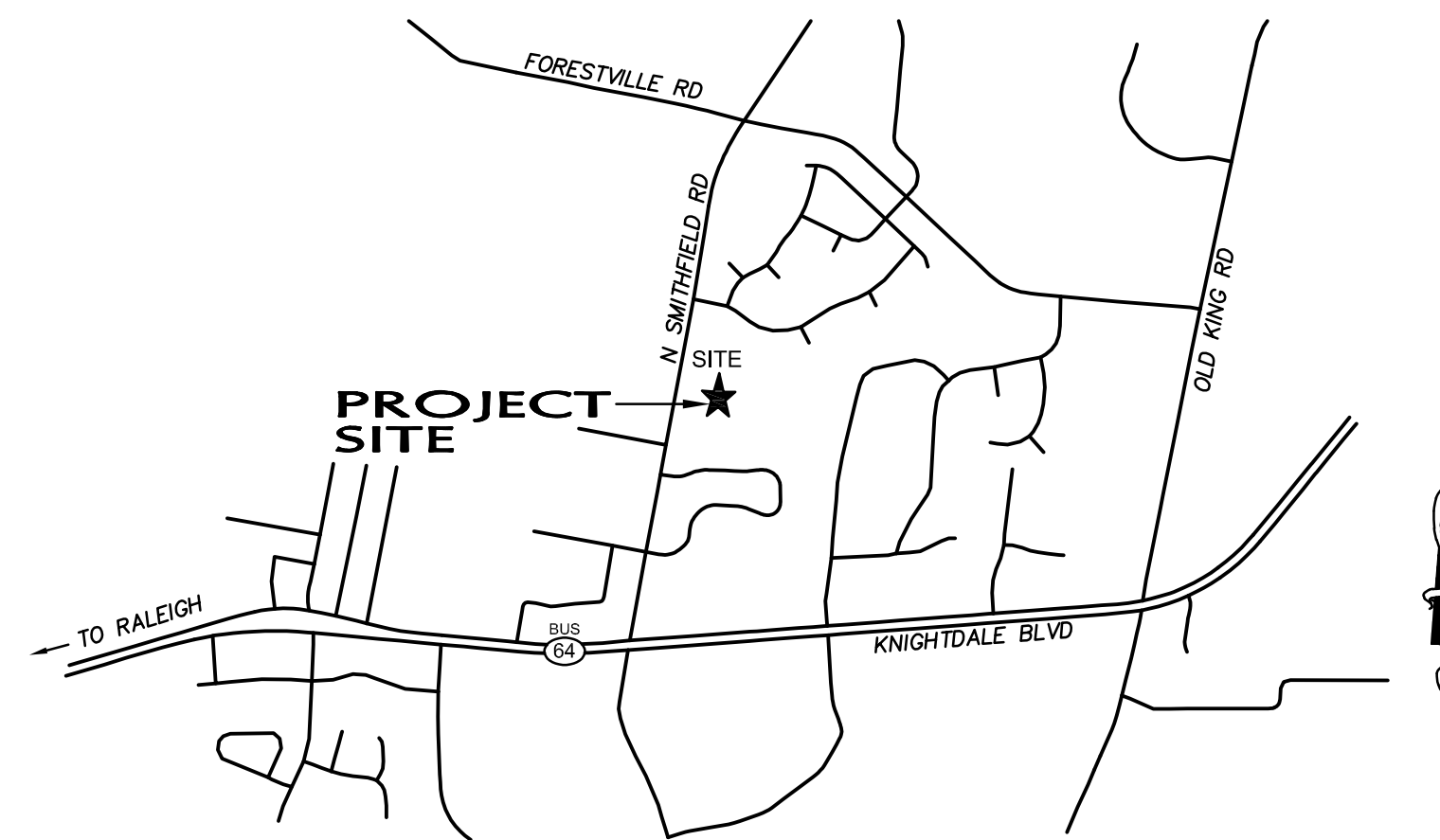
PARKING: REQUIRED MAXIMUM 0.35 SPACE PER STUDENT
MINIMUM 1/2 SPACE OF MAXIMUM
PROVIDED 129 SPACES

ACCESSIBLE PARKING: REQUIRED - 4 ADA SPACES (1 VAN)
PROVIDED - 4 ADA SPACES (1 VAN)

BICYCLE PARKING PROVIDED: 12 SPACES (6 RACKS)

WATERSHED: LOWER NEUSE RIVER
RIVER BASIN: NEUSE RIVER BASIN
FEMA MAP PANEL #: 3720175400K

VICINITY MAP - NTS



SHEET INDEX

SITE/CIVIL

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C01.00 OVERALL PLAN
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C01.02 STAKING PLAN - AREA 2
C02.00 OVERALL EXISTING CONDITIONS AND DEMOLITION PLAN
C02.01 EXISTING CONDITIONS AND DEMOLITION PLAN - AREA 1
C02.02 EXISTING CONDITIONS AND DEMOLITION PLAN - AREA 2
C03.00 OVERALL GRADING PLAN
C03.01 GRADING PLAN - AREA 1
C03.02 GRADING PLAN - AREA 2
C06.00 OVERALL LANDSCAPE PLAN
C06.01 LANDSCAPE PLAN - AREA 1
C06.02 LANDSCAPE PLAN - AREA 2

ARCHITECT

A04.00 ELEVATIONS

Renovation & Addition to:

LOCKHART
ELEMENTARY
SCHOOL

KNIGHTDALE, NC

PROJECT NUMBER:
23-127

NOT FOR
CONSTRUCTION

CLH DESIGN, PA
400 Regency Forest Drive
Cary, North Carolina 27518
Phone: (919) 319-6716
Fax: (919) 319-7516
LL: C-106
PA: C-106

DTW
Architects &
Planners, Ltd.

229 North Gregson Street
P.O. Box 3636
Durham, NC 27702
919.317.4020

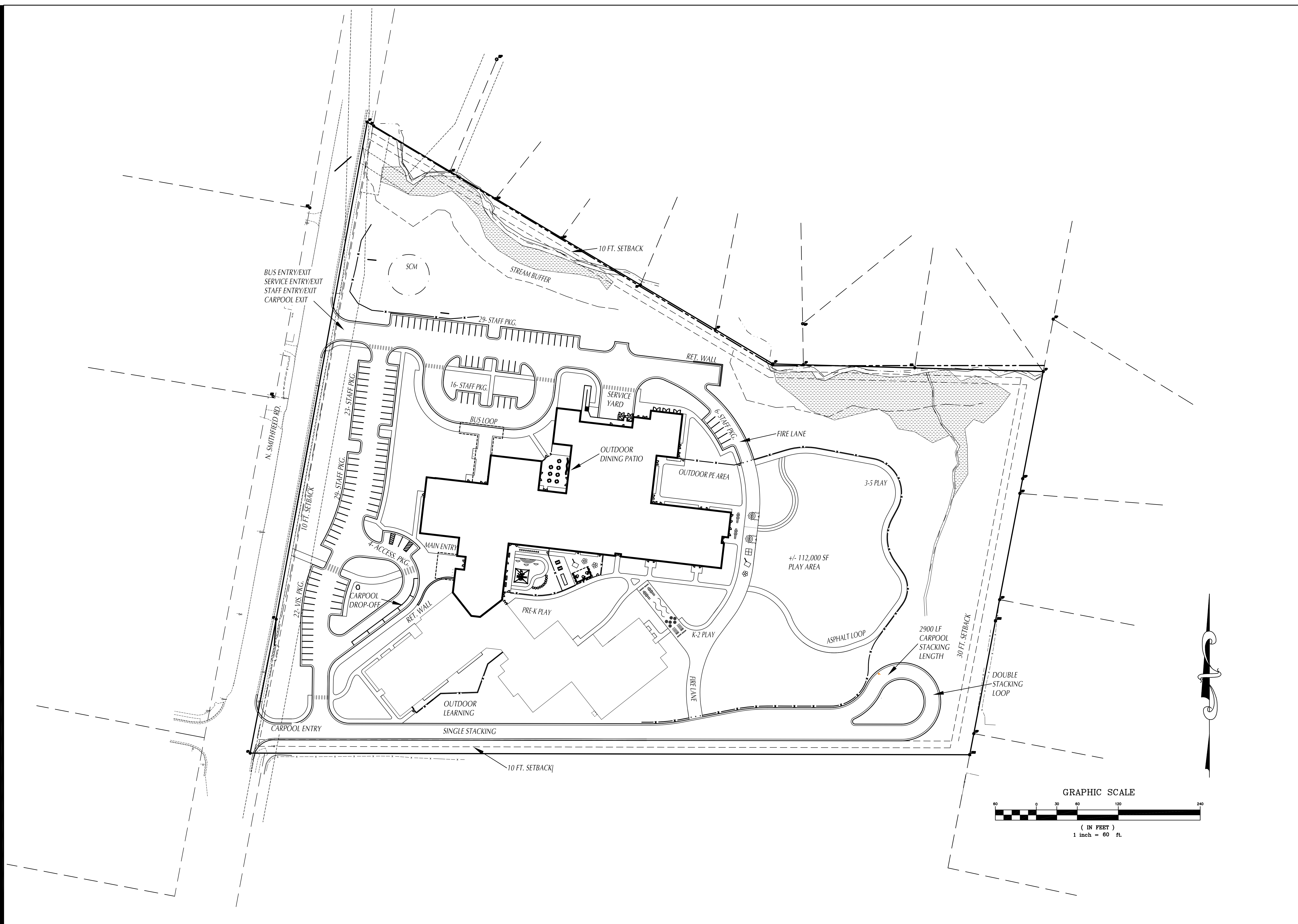
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COVER SHEET

C00.00

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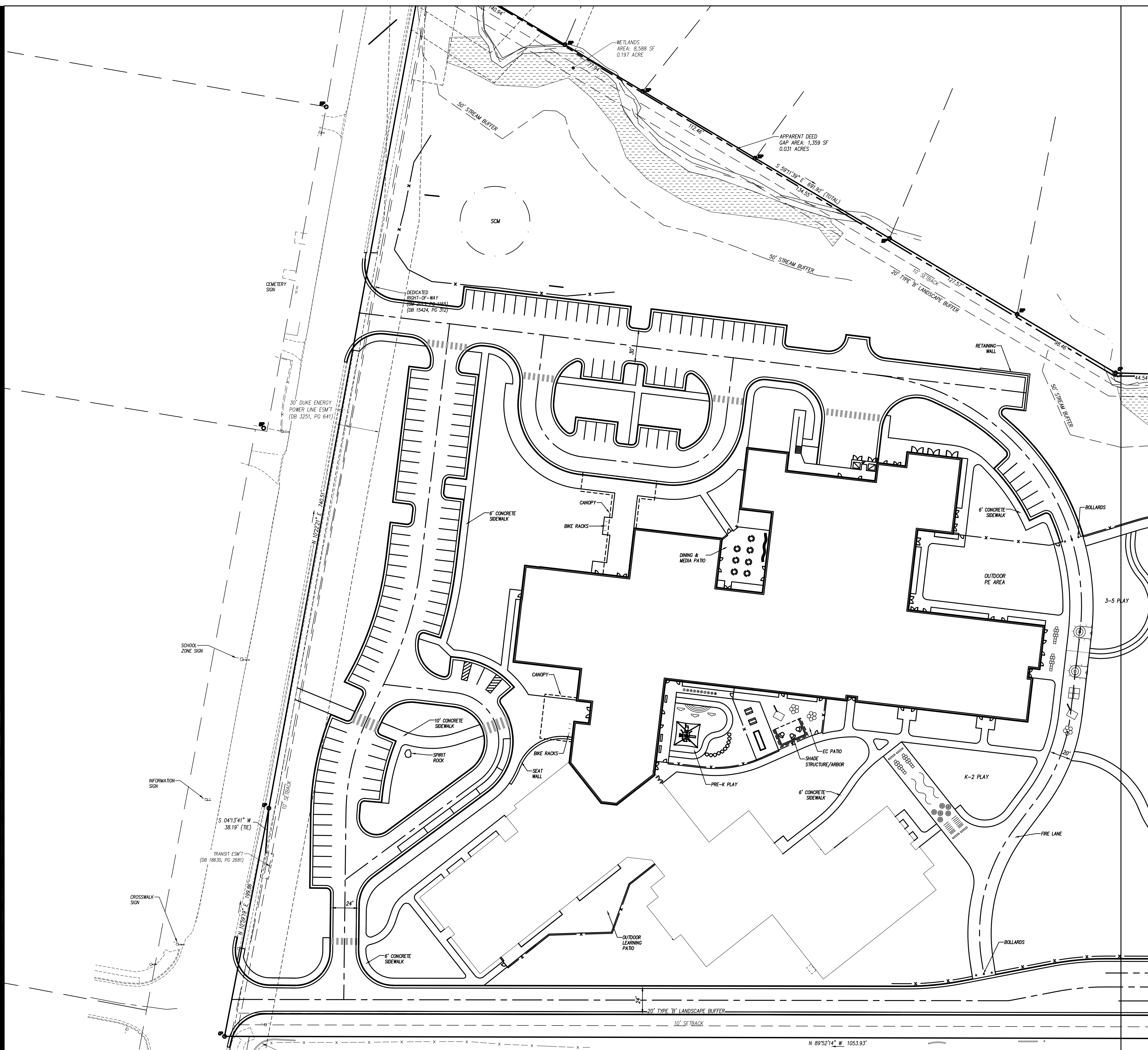
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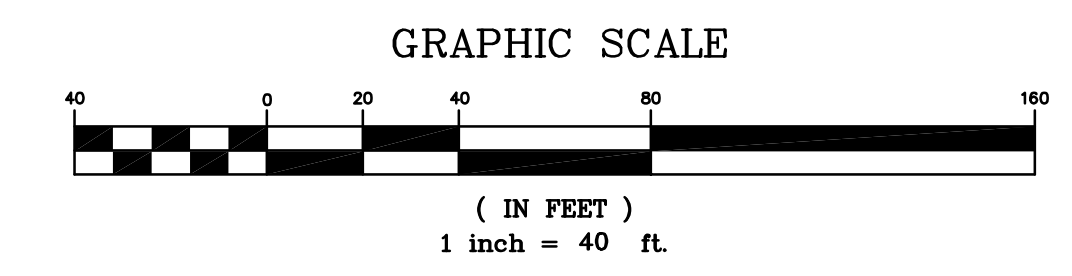
SITE OVERALL PLAN

C01.00



- KEY NOTES**
- (A) 24" CURB & GUTTER, SEE DETAIL SHEET
 - (B) 30" CURB & GUTTER, SEE DETAIL SHEET
 - (C) CONCRETE PAVEMENT, SEE DETAIL SHEET
 - (D) HEAVY DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET
 - (E) LIGHT DUTY ASPHALT PAVEMENT, SEE DETAIL SHEET
 - (F) 24" TO 30" CURB TRANSITION
 - (G) STANDARD CURB & GUTTER TERMINUS, SEE DETAIL SHEET
 - (H) CONCRETE FLUSH WITH PAVEMENT, SEE DETAIL SHEET
 - (I) CONCRETE SIDEWALK, SEE DETAIL SHEET
 - (J) ACCESSIBLE CURB RAMP, SEE DETAIL SHEET
 - (K) ACCESSIBLE PARKING, SEE SIGNAGE AND STRIPING PLAN
 - (L) 10' WIDE RAISED CROSSWALK, SEE DETAIL SHEET
 - (M) SEE ARCHITECTURAL PLANS FOR CANOPY, SCREEN AND STRUCTURAL WALLS, BUILDING COLUMNS, LOADING DOCK, RAMPS, STAIRS, HANDRAILS, GUARDRAILS, BOLLARDS AND MECHANICAL SERVICE YARD.
 - (N) 4" CONCRETE SERVICE COURT WITH MECHANICAL EQUIPMENT, SEE MECHANICAL PLANS FOR EQUIPMENT LAYOUT AND RELATED INFORMATION.
 - (O) STEEL BOLLARD, SEE DETAIL SHEET
 - (P) BLACK VINYL COATED CHAIN LINK FENCE, SEE DETAIL SHEET
 - (Q) BLACK VINYL COATED CHAIN LINK GATE, SEE DETAIL SHEET
 - (R) 4' ORNAMENTAL ALUMINUM FENCE AND GATES, SEE DETAIL SHEET & STRUCTURAL DWGS.
 - (S) LOCKED PIPE GATE, SEE DETAIL SHEET
 - (T) CONCRETE RETAINING WALL, SEE STRUCTURAL DRAWINGS FOR DETAILS
 - (U) PASSENGER LOADING ZONE, SEE DETAIL SHEET
 - (V) PRECAST PAVER, SEE DETAIL SHEET
 - (W) PRECAST CONCRETE WHEELSTOP, SEE DETAIL SHEET
 - (X) DUMPSTER, PROVIDED BY OWNER
 - (Y) SEATWALL AROUND RAISED PLANTER, SEE DETAIL SHEET
 - (Z) FLAGPOLE, SEE DETAIL SHEET
 - (AA) SOFTBALL FIELD, SEE DETAIL SHEET
 - (BB) BLACK VINYL COATED CHAIN-LINK BACK-STOP, SEE DETAIL SHEET
 - (CC) BALL FIELD BLEACHERS PROVIDED BY OWNER.
 - (DD) TRACK AND FIELD EVENT FACILITIES, SEE DETAIL SHEETS &
 - (EE) SCOREBOARD, SEE SPECIFICATIONS.
 - (FF) BASKETBALL COURT AND LAYOUT, SEE DETAIL SHEET
 - (GG) BENCH, SEE SPECIFICATIONS; "LEXICON WAVE" BY MAGLIN SITE FURNISHINGS
 - (HH) BENCH, SEE SPECIFICATIONS; "LEXICON Y-SHAPE" BY MAGLIN SITE FURNISHINGS
 - (II) BENCH, SEE SPECIFICATIONS; "OGDEN OGM1900-00017" BY MAGLIN SITE FURNISHINGS
 - (JJ) BENCH, SEE SPECIFICATIONS; "OGDEN OGM1900-00022" BY MAGLIN SITE FURNISHINGS
 - (KK) BIKE RACK, SEE SPECIFICATIONS; "LOOP" BY LANDSCAPE FORMS. SEE DETAIL SHEET C07.05.
 - (LL) TABLE, SEE SPECIFICATIONS; "CHARLIE" BY LANDSCAPE FORMS.
 - (MM) TRASH RECEPTACLE, SEE SPECIFICATIONS; "PETOSKEY" BY LANDSCAPE FORMS.
 - (NN) DRIVE APRON, SEE DETAIL SHEET
 - (OO) PLAYER BENCH, SEE SPECIFICATIONS
 - (PP) PROPERTY BOUNDARY MARKER, SEE DETAIL SHEET

- GENERAL NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF ... AND NCDOT STANDARDS AND SPECIFICATIONS.
 2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE SHOWN.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS SHOWN AND CONTACT THE ARCHITECT IF ANY DISCREPANCIES OCCUR.
 4. CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 6. ALL FACE OF RADIUS ARE 4 FT UNLESS OTHERWISE SHOWN.
 7. ALL PARKING SPACES SHALL BE 9' WIDE X 18 FT DEEP MIN.
 8. (AC) DENOTES ACCESSIBLE PARKING SPACE.
 9. (VAC) DENOTES VAN ACCESSIBLE PARKING SPACE.
 10. ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 11. CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/JOINTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
 12. THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%.
 13. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.



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ELEMENTARY
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PROJECT NUMBER:
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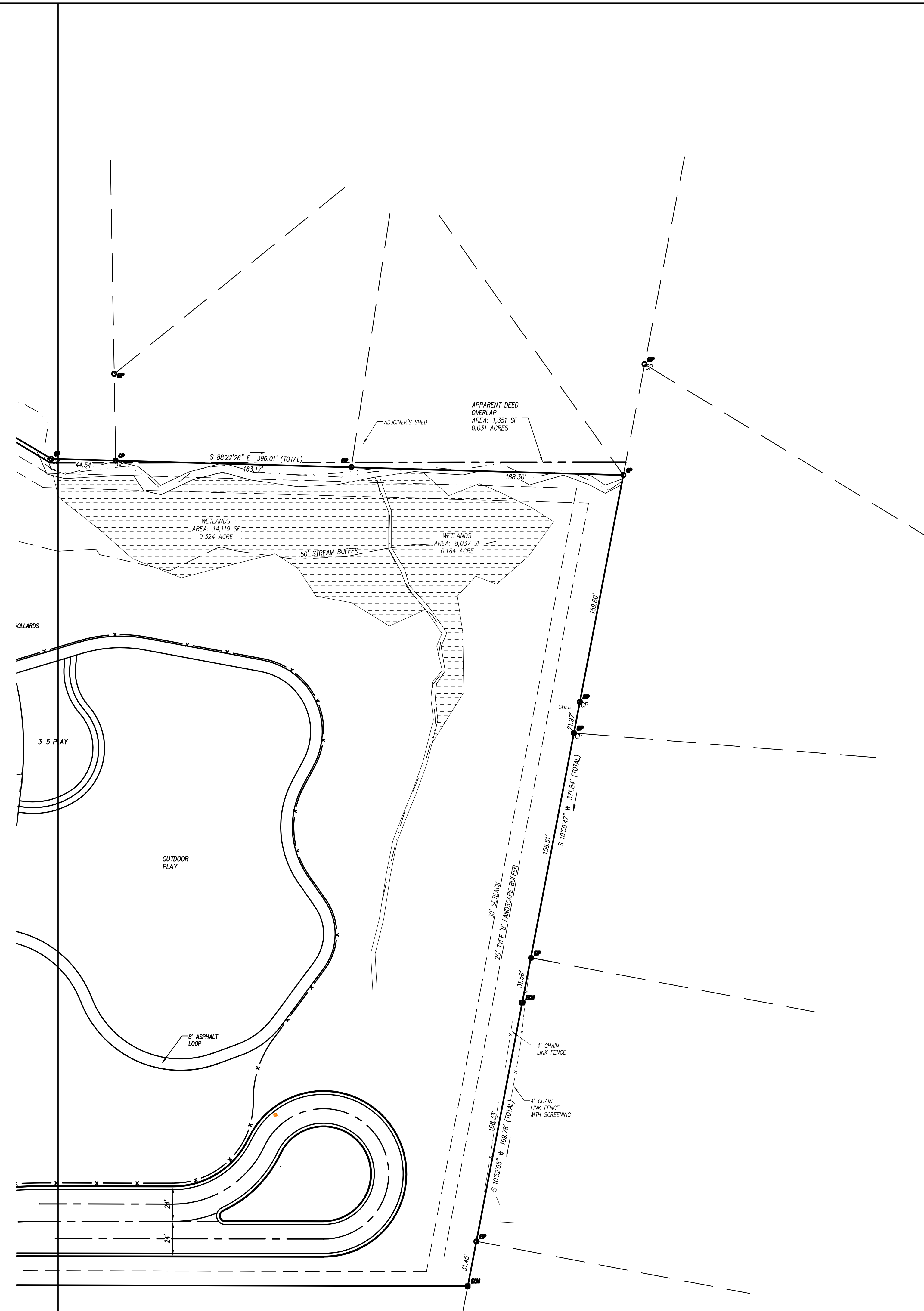
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P.O. Box 5636
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919.317.4020

Revisions:

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SITE STAKING PLAN
AREA 1

C01.01

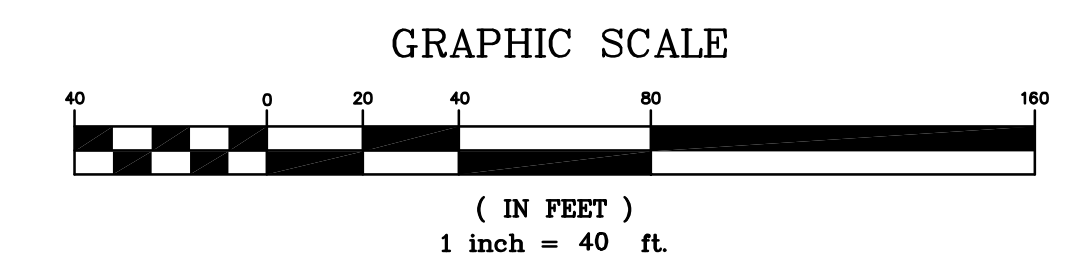


KEY NOTES

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KNIGHTDALE, NC

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229 North Gregson Street
P.O. Box 3636
Durham, NC 27702
919.317.4020

Revisions:

Drawn: DH/SLKS/YA
Checked: YA/RCP/SJM
Date: 06/28/24

SITE STAKING PLAN
AREA 2

C-102

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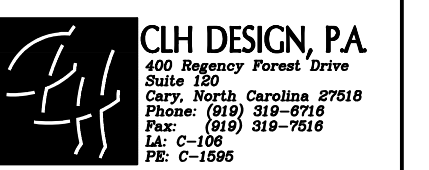
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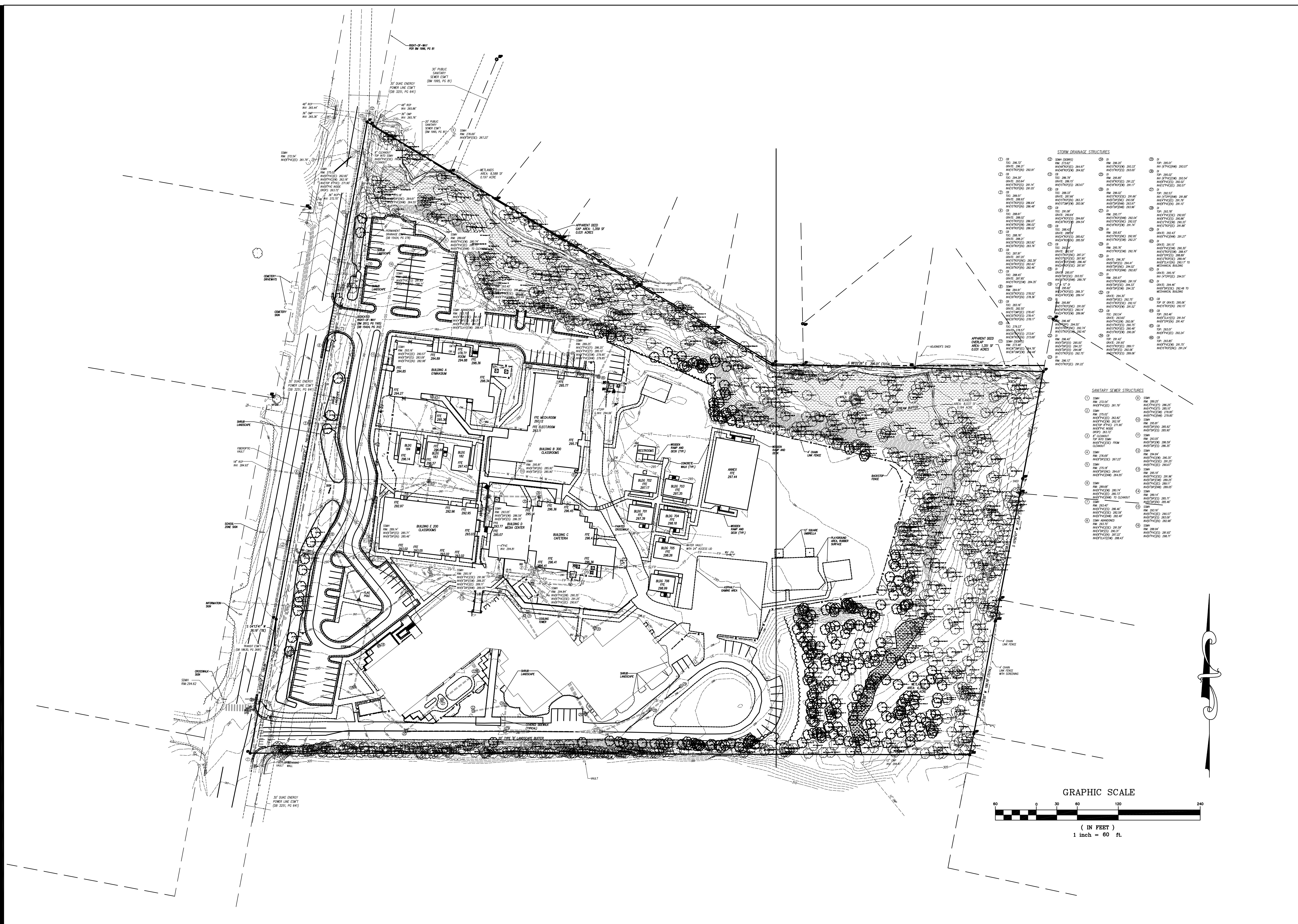
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SITE OVERALL PLAN

C02.00

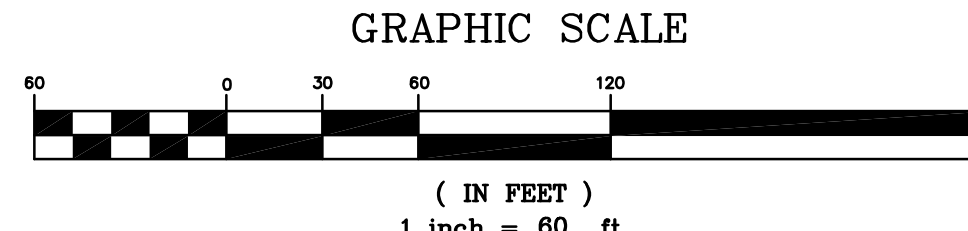


STORM DRAINAGE STRUCTURES

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SANITARY SEWER STRUCTURES

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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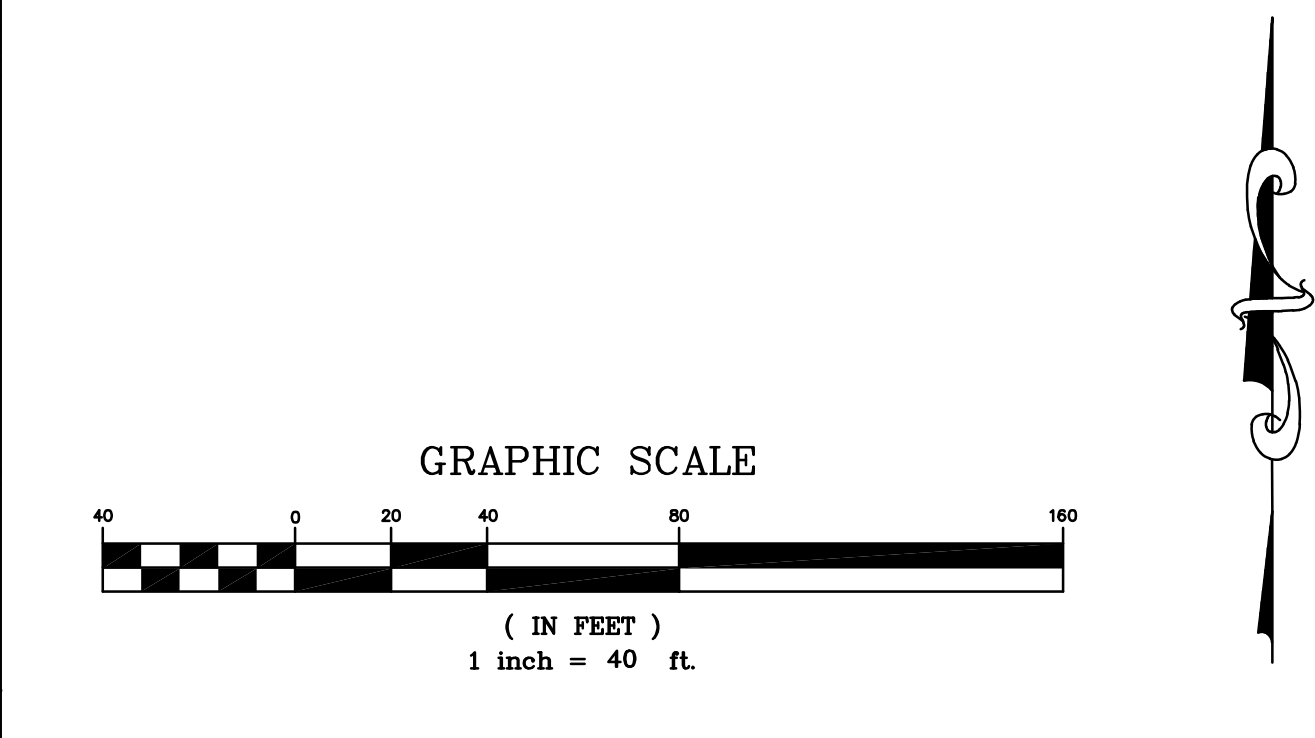




STRUCTURES/UTILITIES TO BE REMOVED	STRUCTURES/UTILITIES TO REMAIN
OVERHEAD ELECTRICAL ----- E -----	OVERHEAD ELECTRICAL ----- E -----
UNDERGROUND ELECTRICAL ----- UE -----	UNDERGROUND ELECTRICAL ----- UE -----
FIRE PROTECTION ----- FP -----	FIRE PROTECTION ----- FP -----
GAS ----- G -----	GAS ----- G -----
SANITARY SEWER ----- SS -----	SANITARY SEWER ----- SS -----
TELEPHONE ----- T -----	TELEPHONE ----- T -----
UNDERGROUND TELEPHONE ----- UT -----	UNDERGROUND TELEPHONE ----- UT -----
FIBER OPTIC ----- FO -----	FIBER OPTIC ----- FO -----
WATER ----- W -----	WATER ----- W -----
FORCE MAIN ----- FM -----	FORCE MAIN ----- FM -----
STORM DRAIN ----- SD -----	STORM DRAIN ----- SD -----
INDIVIDUAL TREE TO BE REMOVED:	INDIVIDUAL TREE TO REMAIN:
LIGHT POLE:	LIGHT POLE:
UTILITY POLE:	UTILITY POLE:
MANHOLE:	MANHOLE:
CLEAN OUT:	CLEAN OUT:
DROP INLET, CATCH BASIN:	DROP INLET, CATCH BASIN:
FIRE HYDRANT:	FIRE HYDRANT:
WATER VALVE:	WATER VALVE:
CONSTR./CLEARING LIMITS:	PAVEMENT, S/M, C&G TO BE REMOVED:
TREE PROTECTION FENCE:	BUILDING/STRUCTURE TO BE REMOVED, SEE ARCHITECTURAL PLANS:

- KEY NOTES**
- (A) TEMPORARY TREE PROTECTION FENCE, SEE DETAIL SHEET
 - (B) CLEAR AND GRUB, STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
 - (C) REMOVE STRUCTURE/UTILITY.
 - (D) EXISTING UTILITY LINE/STRUCTURE TO BE REMOVED/RELOCATED BY LOCAL UTILITY COMPANY. LOCAL UTILITY COMPANY SHALL DETERMINE THE LIMITS AND EXTENT OF REMOVAL/RELOCATION OF UTILITIES REQUIRED FOR NEW CONSTRUCTION. COORDINATE SCHEDULE AND WORK WITH LOCAL UTILITY COMPANY AND ARCHITECT/OWNER.
 - (E) REMOVE FENCE.
 - (F) REMOVE SIGN AND POST. RELOCATE SIGN ON NEW POST AS INDICATED ON SITE STAKING PLAN.
 - (G) CAP AND ABANDON UTILITY IN ACCORDANCE WITH SPECIFICATIONS.
 - (H) TEMPORARY CONSTRUCTION FENCING, SEE DETAIL SHEET

- GENERAL NOTES**
1. ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS NEEDED TO ALLOW NEW CONSTRUCTION. IN GENERAL, FEATURES INDICATED IN BOLD ON THIS PLAN SHALL BE REMOVED.
 2. ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. ANY EXISTING PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED).
 3. ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
 4. ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
 5. EXISTING SITE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM SURVEY BY ... PERFORMED THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
 6. INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB ALL AREAS AS SHOWN AND REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS). ALL CONTRACTORS SHALL VISIT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BIDDING.
 7. TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF CLEARING LIMITS, THE CONTRACTOR SHALL CUT 2'-7" DEEP TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR ROOTS.
 8. PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
 9. VERIFY ALL ILLUSTRATED UNDERGROUND ELEMENTS/UTILITIES. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS/UTILITIES. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS/UTILITIES ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
 10. CONTACT UTILITY LOCATING SERVICE AT LEAST 48-HRS PRIOR TO EXCAVATION.
 11. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT. AREAS TO BE PROTECTED, REPAIRED AND CLEANED SHALL ALSO INCLUDE ANY STAGING AREAS, ACCESS ROUTES AND OTHER EXISTING IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS THAT ARE TO REMAIN.
 12. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF ... AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
 13. ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
 14. DEMOLITION AND PATCHING OF PAVEMENT, SIDEWALK, CURB AND GUTTER AND OTHER EXISTING PAVED SURFACES IN ADDITION TO THAT INDICATED ON THIS PLAN SHALL BE PERFORMED AS REQUIRED TO CONSTRUCT AND INSTALL NEW UTILITIES. ALL SUCH DEMOLITION AND PATCHING SHALL BE INCLUDED IN THE BASE BID SCOPE OF WORK. SEE SHEET ... FOR PAVEMENT REPAIR DETAILS.
 15. THIS SITE IS/IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED ON F.E.M.A. MAP. DATED ... AS BEING WITHIN ZONE "X" OTHER AREA.
 16. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.



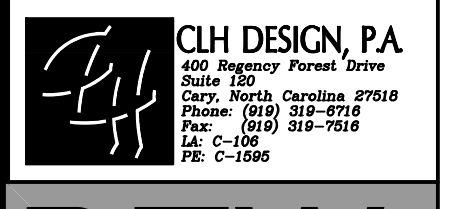
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Renovation & Addition to:
LOCKHART ELEMENTARY SCHOOL

KNIGHTDALE, NC

PROJECT NUMBER:
23-127

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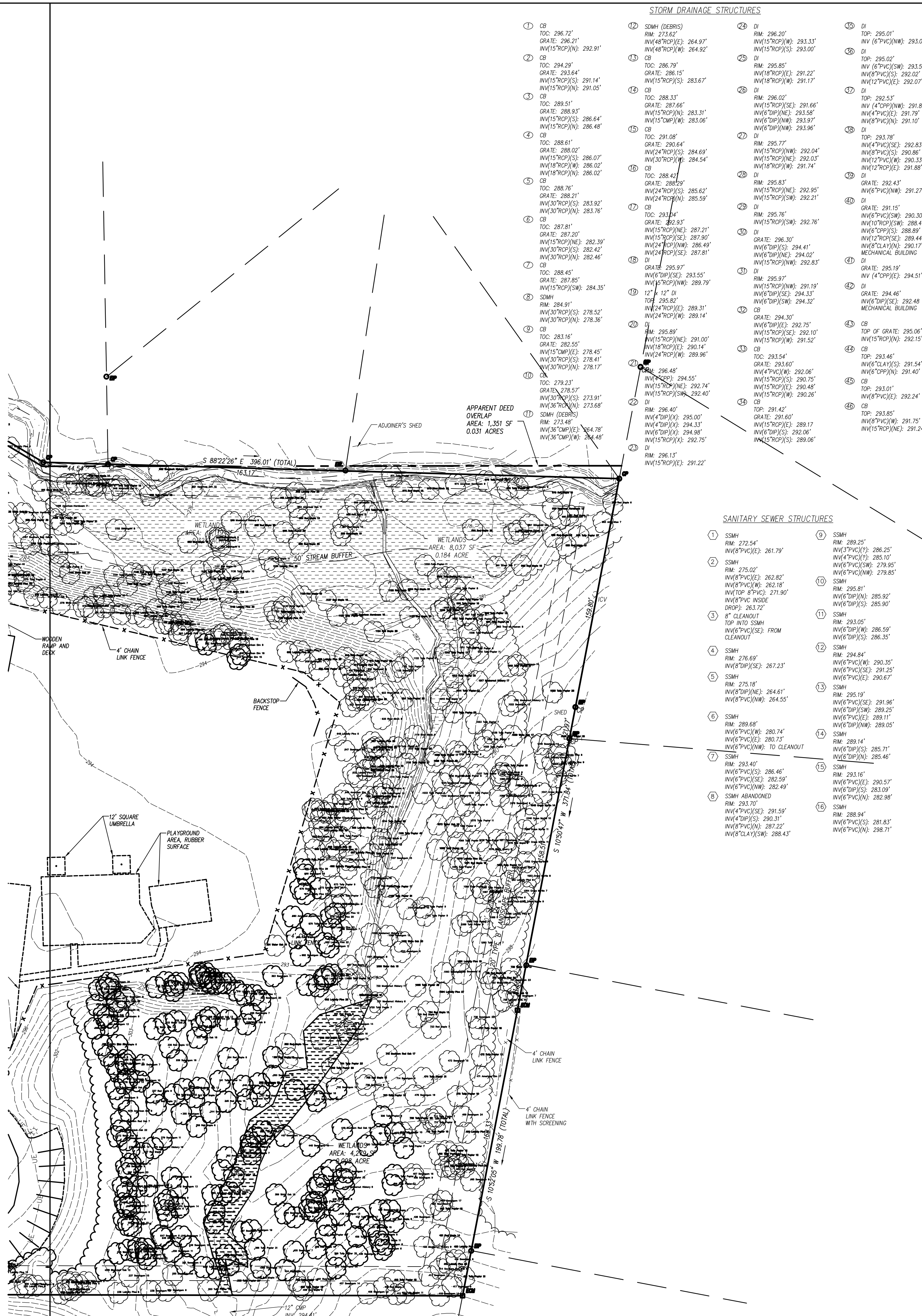
DTW
Architects & Planners, Ltd.

229 North Gregson Street
P. O. Box 3636
Durham, NC 27702
919.317.4020

Revisions:

Drawn: DH/SLKS/YA
Checked: YA/RCP/SJM
Date: 06/28/24

SITE DEMOLITION AND EXISTING CONDITION PLAN - AREA 1
C02.01



STORM DRAINAGE STRUCTURES

- 1 CB TOC: 296.72
GRATE: 296.21
INV(15'RCF)(N): 292.91
- 2 CB TOC: 294.29
GRATE: 293.64
INV(15'RCF)(S): 291.14
INV(15'RCF)(N): 291.05
- 3 CB TOC: 289.51
GRATE: 288.93
INV(15'RCF)(S): 286.64
INV(15'RCF)(N): 286.48
- 4 CB TOC: 288.61
GRATE: 288.02
INV(15'RCF)(S): 286.07
INV(15'RCF)(N): 286.02
- 5 CB TOC: 288.76
GRATE: 288.21
INV(30'RCF)(N): 283.76
INV(30'RCF)(S): 283.92
- 6 CB TOC: 287.81
GRATE: 287.20
INV(15'RCF)(NE): 282.39
INV(30'RCF)(S): 282.42
INV(30'RCF)(N): 282.46
- 7 CB TOC: 288.45
GRATE: 287.85
INV(15'RCF)(SW): 284.35
- 8 SSMH RM: 284.91
INV(30'RCF)(S): 278.52
INV(30'RCF)(N): 278.36
- 9 CB TOC: 283.16
GRATE: 282.55
INV(15'RCF)(E): 278.45
INV(30'RCF)(S): 278.41
INV(30'RCF)(N): 278.17
- 10 CB TOC: 279.23
GRATE: 278.57
INV(30'RCF)(S): 273.91
INV(30'RCF)(N): 273.68
- 11 SSMH (DEBRIS) RM: 273.44
INV(4'DIP)(X): 294.33
INV(36'CMP)(E): 284.78
INV(36'CMP)(S): 284.48
- 12 SSMH (DEBRIS) RM: 273.62
INV(48'RCF)(E): 264.97
INV(48'RCF)(W): 264.92
- 13 CB TOC: 286.79
GRATE: 286.14
INV(15'RCF)(S): 283.67
- 14 CB TOC: 288.33
GRATE: 287.66
INV(15'RCF)(N): 283.31
INV(15'RCF)(W): 283.06
- 15 CB TOC: 291.08
GRATE: 290.64
INV(24'RCF)(S): 284.68
INV(30'RCF)(W): 284.54
- 16 CB TOC: 288.42
GRATE: 288.29
INV(24'RCF)(S): 285.62
INV(24'RCF)(N): 285.59
- 17 CB TOC: 293.14
GRATE: 282.93
INV(15'RCF)(NE): 287.21
INV(24'RCF)(N): 286.49
INV(24'RCF)(SE): 287.81
- 18 DI TOC: 295.82
INV(24'RCF)(E): 289.31
INV(24'RCF)(W): 289.14
- 19 DI RM: 295.89
INV(15'RCF)(NE): 291.00
INV(15'RCF)(S): 291.04
INV(24'RCF)(W): 289.96
- 20 SSMH (DEBRIS) RM: 296.48
INV(4'DIP)(X): 295.00
INV(4'DIP)(X): 294.33
INV(6'DIP)(E): 294.98
INV(15'RCF)(X): 292.75
INV(15'RCF)(S): 291.22
- 21 DI TOC: 296.40
INV(4'DIP)(X): 295.00
INV(4'DIP)(X): 294.33
INV(6'DIP)(E): 294.98
INV(15'RCF)(X): 292.75
INV(15'RCF)(S): 291.22
- 22 DI TOC: 296.13
INV(15'RCF)(E): 291.22
- 23 DI TOC: 295.07
INV(6'PVC)(NW): 293.07
- 24 DI TOC: 295.02
INV(6'PVC)(SW): 293.54
INV(6'PVC)(S): 292.02
INV(12'PVC)(E): 292.07
- 25 DI TOC: 292.53
INV(4'CP)(NW): 291.88
INV(4'PVC)(SE): 292.83
INV(8'PVC)(N): 291.10
- 26 DI TOC: 293.78
INV(4'PVC)(SE): 292.83
INV(8'PVC)(S): 290.86
INV(12'PVC)(W): 290.33
INV(12'RCF)(E): 291.88
- 27 DI TOC: 292.45
GRATE: 292.45
INV(6'PVC)(NW): 291.27
- 28 DI TOC: 291.15
GRATE: 291.15
INV(6'PVC)(SW): 290.30
INV(10'RCF)(SW): 288.47
INV(6'CP)(S): 288.89
INV(12'RCF)(SE): 289.44
INV(8'CLAY)(N): 290.17
MECHANICAL BUILDING
- 29 DI TOC: 294.45
GRATE: 294.45
INV(6'PVC)(S): 292.48
MECHANICAL BUILDING
- 30 DI TOC: 295.19
INV(15'RCF)(NW): 291.19
INV(6'DIP)(SE): 294.33
INV(6'DIP)(SW): 294.32
- 31 DI TOC: 293.54
GRATE: 293.60
INV(4'PVC)(W): 292.06
INV(15'RCF)(S): 290.75
INV(15'RCF)(E): 290.48
INV(15'RCF)(W): 290.26
- 32 CB TOC: 294.50
INV(6'DIP)(SE): 292.75
INV(15'RCF)(SE): 292.10
INV(15'RCF)(W): 291.52
- 33 CB TOC: 293.60
GRATE: 293.60
INV(4'PVC)(W): 292.06
INV(15'RCF)(S): 290.75
INV(15'RCF)(E): 290.48
INV(15'RCF)(W): 290.26
- 34 DI TOC: 291.42
GRATE: 291.60
INV(15'RCF)(E): 289.17
INV(6'DIP)(S): 292.06
INV(15'RCF)(S): 289.06
- 35 DI TOC: 295.07
INV(6'PVC)(NW): 293.07
- 36 DI TOC: 295.02
INV(6'PVC)(SW): 293.54
INV(6'PVC)(S): 292.02
INV(12'PVC)(E): 292.07
- 37 DI TOC: 292.53
INV(4'CP)(NW): 291.88
INV(4'PVC)(SE): 292.83
INV(8'PVC)(N): 291.10
- 38 DI TOC: 293.78
INV(4'PVC)(SE): 292.83
INV(8'PVC)(S): 290.86
INV(12'PVC)(W): 290.33
INV(12'RCF)(E): 291.88
- 39 DI TOC: 292.45
GRATE: 292.45
INV(6'PVC)(NW): 291.27
- 40 DI TOC: 291.15
GRATE: 291.15
INV(6'PVC)(SW): 290.30
INV(10'RCF)(SW): 288.47
INV(6'CP)(S): 288.89
INV(12'RCF)(SE): 289.44
INV(8'CLAY)(N): 290.17
MECHANICAL BUILDING
- 41 DI TOC: 294.45
GRATE: 294.45
INV(6'PVC)(S): 292.48
MECHANICAL BUILDING
- 42 DI TOC: 295.19
INV(15'RCF)(NW): 291.19
INV(6'DIP)(SE): 294.33
INV(6'DIP)(SW): 294.32
- 43 CB TOC: 294.50
INV(6'DIP)(SE): 292.75
INV(15'RCF)(SE): 292.10
INV(15'RCF)(W): 291.52
- 44 CB TOC: 293.60
GRATE: 293.60
INV(4'PVC)(W): 292.06
INV(15'RCF)(S): 290.75
INV(15'RCF)(E): 290.48
INV(15'RCF)(W): 290.26
- 45 DI TOC: 291.42
GRATE: 291.60
INV(15'RCF)(E): 289.17
INV(6'DIP)(S): 292.06
INV(15'RCF)(S): 289.06
- 46 DI TOC: 295.07
INV(6'PVC)(NW): 293.07

SANITARY SEWER STRUCTURES

- 1 SSMH RM: 272.54
INV(3'PVC)(E): 261.79
- 2 SSMH RM: 275.02
INV(6'PVC)(E): 262.82
INV(6'PVC)(S): 262.18
INV(TOP 8'PVC): 271.90
INV(6'PVC INSIDE DROP): 263.22
- 3 8' CLEANOUT TOP INTO SSMH INV(6'PVC)(SE): FROM CLEANOUT
- 4 SSMH RM: 276.69
INV(6'DIP)(SE): 267.23
- 5 SSMH RM: 275.18
INV(6'DIP)(NE): 264.61
INV(6'PVC)(NW): 264.55
- 6 SSMH RM: 289.68
INV(6'PVC)(W): 280.74
INV(6'PVC)(E): 280.73
INV(6'PVC)(NW): TO CLEANOUT
- 7 SSMH RM: 293.40
INV(6'PVC)(SE): 286.46
INV(6'PVC)(SE): 282.59
INV(6'PVC)(NW): 282.49
- 8 SSMH ABANDONED RM: 293.70
INV(4'PVC)(SE): 291.59
INV(4'DIP)(S): 290.31
INV(6'PVC)(N): 287.22
INV(8'CLAY)(SW): 288.43
- 9 SSMH RM: 289.25
INV(3'PVC)(S): 286.25
INV(4'PVC)(S): 285.10
INV(6'PVC)(W): 279.85
INV(6'PVC)(NW): 279.85
- 10 SSMH RM: 295.81
INV(6'PVC)(W): 285.92
INV(6'DIP)(S): 285.90
- 11 SSMH RM: 293.05
INV(6'DIP)(W): 286.59
INV(6'DIP)(S): 286.35
- 12 SSMH RM: 294.84
INV(6'PVC)(W): 290.35
INV(6'PVC)(SE): 291.25
INV(6'PVC)(E): 290.67
- 13 SSMH RM: 295.19
INV(6'PVC)(SE): 291.96
INV(6'DIP)(SW): 289.25
INV(6'PVC)(E): 289.11
INV(6'DIP)(NW): 289.05
- 14 SSMH RM: 289.14
INV(6'PVC)(S): 285.71
INV(6'DIP)(N): 285.46
- 15 SSMH RM: 293.15
INV(6'PVC)(E): 290.57
INV(6'DIP)(S): 283.09
INV(6'PVC)(N): 282.98
- 16 SSMH RM: 288.94
INV(6'PVC)(S): 281.83
INV(6'PVC)(N): 296.71

LEGEND

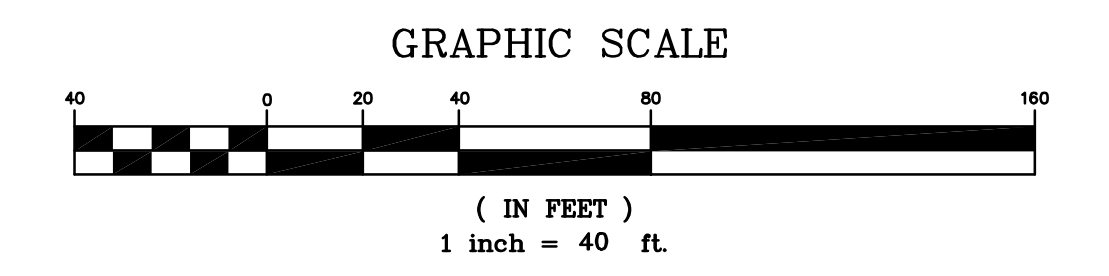
STRUCTURES/UTILITIES TO BE REMOVED	STRUCTURES/UTILITIES TO REMAIN
OVERHEAD ELECTRICAL ----- E -----	OVERHEAD ELECTRICAL ----- E -----
UNDERGROUND ELECTRICAL ----- UE -----	UNDERGROUND ELECTRICAL ----- UE -----
FIRE PROTECTION ----- FP -----	FIRE PROTECTION ----- FP -----
GAS ----- G -----	GAS ----- G -----
SANITARY SEWER ----- SS -----	SANITARY SEWER ----- SS -----
TELEPHONE ----- T -----	TELEPHONE ----- T -----
UNDERGROUND TELEPHONE ----- UT -----	UNDERGROUND TELEPHONE ----- UT -----
FIBER OPTIC ----- FO -----	FIBER OPTIC ----- FO -----
WATER ----- W -----	WATER ----- W -----
FORCE MAIN ----- FM -----	FORCE MAIN ----- FM -----
STORM DRAIN ----- SD -----	STORM DRAIN ----- SD -----
INDIVIDUAL TREE TO BE REMOVED	INDIVIDUAL TREE TO REMAIN
LIGHT POLE	LIGHT POLE
UTILITY POLE	UTILITY POLE
MANHOLE	MANHOLE
CLEAN OUT	CLEAN OUT
DROP INLET/CATCH BASIN	DROP INLET/CATCH BASIN
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
CONSTR./CLEARING LIMITS	PAVEMENT, S/W, C&G TO BE REMOVED
TREE PROTECTION FENCE	BUILDING/STRUCTURE TO BE REMOVED. SEE ARCHITECTURAL PLANS.

KEY NOTES

- (A) TEMPORARY TREE PROTECTION FENCE, SEE DETAIL SHEET ---
- (B) CLEAR AND GRUB, STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
- (C) REMOVE STRUCTURE/UTILITY.
- (D) EXISTING UTILITY LINE/STRUCTURE TO BE REMOVED/RELOCATED BY LOCAL UTILITY COMPANY. LOCAL UTILITY COMPANY SHALL DETERMINE THE LIMITS AND EXTENT OF REMOVAL/RELOCATION OF UTILITIES REQUIRED FOR NEW CONSTRUCTION. COORDINATE SCHEDULE AND WORK WITH LOCAL UTILITY COMPANY AND ARCHITECT/OWNER.
- (E) REMOVE FENCE.
- (F) REMOVE SIGN AND POST. RELOCATE SIGN ON NEW POST AS INDICATED ON SITE STAKING PLAN.
- (G) CAP AND ABANDON UTILITY IN ACCORDANCE WITH SPECIFICATIONS.
- (H) TEMPORARY CONSTRUCTION FENCING, SEE DETAIL SHEET ---

GENERAL NOTES

1. ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS NEEDED TO ALLOW NEW CONSTRUCTION. IN GENERAL, FEATURES INDICATED IN BOLD ON THIS PLAN SHALL BE REMOVED.
2. ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, OR CURB AND GUTTER, ETC. ANY EXISTING PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS) TO BE REMOVED.
3. ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
4. ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
5. EXISTING SITE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM SURVEY BY --- PERFORMED THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
6. INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB ALL AREAS AS SHOWN AND REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS). ALL CONTRACTORS SHALL VISIT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BIDDING.
7. TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF CLEARING LIMITS, THE CONTRACTOR SHALL CUT 2-FT DEEP TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR ROOTS.
8. PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
9. VERIFY ALL ILLUSTRATED UNDERGROUND ELEMENTS/UTILITIES. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS/UTILITIES. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS/UTILITIES ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
10. CONTACT UTILITY LOCATING SERVICE AT LEAST 48-HRS PRIOR TO EXCAVATION.
11. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT. AREAS TO BE PROTECTED, REPAIRED AND CLEANED SHALL ALSO INCLUDE ANY STAGING AREAS, ACCESS ROUTES AND OTHER EXISTING IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS THAT ARE TO REMAIN.
12. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF --- AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
13. ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
14. DEMOLITION AND PATCHING OF PAVEMENT, SIDEWALK, CURB AND GUTTER AND OTHER EXISTING PAVED SURFACES IN ADDITION TO THAT INDICATED ON THIS PLAN SHALL BE PERFORMED AS REQUIRED TO CONSTRUCT AND INSTALL NEW UTILITIES. ALL SUCH DEMOLITION AND PATCHING SHALL BE INCLUDED IN THE BASE BID SCOPE OF WORK. SEE SHEET --- FOR PAVEMENT REPAIR DETAILS.
15. THIS SITE IS/IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED ON FIRM MAP --- DATED --- AS BEING WITHIN ZONE "X" OTHER AREA.
16. NO WORK SHALL BE PERFORMED ON RIGHT-OF-WAYS OR ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENT OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.



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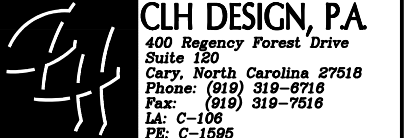
Renovation & Addition to:

LOCKHART ELEMENTARY SCHOOL

KNIGHTDALE, NC

PROJECT NUMBER: 23-127

NOT FOR CONSTRUCTION



DTW Architects & Planners, Ltd.

229 North Gregson Street
F. O. Box 3636
Durham, NC 27702
919.317.4020

Revisions:

Drawn: DH/SLKS/YA
Checked: YA/RCP/SJM
Date: 06/28/24

SITE DEMOLITION AND EXISTING CONDITION PLAN - AREA 2

C-202

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Renovation & Addition to:

**LOCKHART
 ELEMENTARY
 SCHOOL**

KNIGHTDALE, NC

PROJECT NUMBER:
 23-127

NOT FOR
 CONSTRUCTION

CLH DESIGN, PA
 201 S. Salisbury Street
 Suite 200
 Cary, NC 27513
 Phone: (919) 218-8718
 Fax: (919) 218-7018
 E-Mail: c-h@clhdesign.com
 Web: www.clhdesign.com

DTW
 Architects &
 Planners, Ltd.
 229 North Gregson Street
 P.O. Box 3636
 Durham, NC 27702
 919.317.4020

Revisions:

 Drawn: DH/SL/KS/YA
 Checked: YA/RCP/SJM
 Date: 06/28/24

SITE OVERALL PLAN

C03.00

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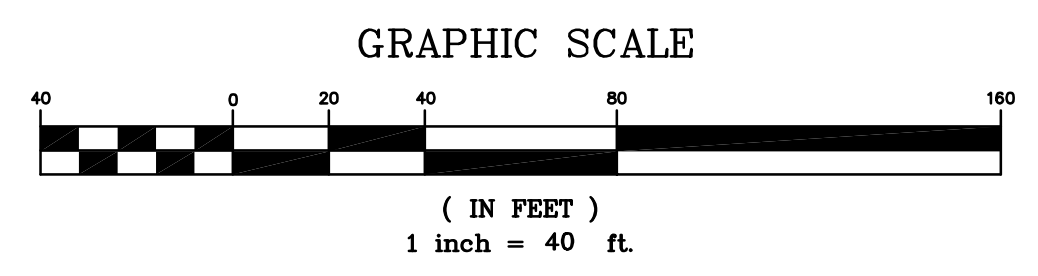


GRADING LEGEND

- EXISTING CONTOURS
- 270.4' +
EXISTING SURVEY SPOT ELEVATION
- 270.501
PROPOSED TOP OF CURB SPOT ELEVATION
- 270.501
PROPOSED GROUND/PAVEMENT ELEVATION
- 270.501W
PROPOSED FINISHED GRADE AT TOP OF WALL ELEVATION
- 270.501B
PROPOSED FINISHED GRADE AT BOTTOM OF WALL ELEVATION
- (A4)
STORM STRUCTURE NUMBER
- EXISTING STORM DRAIN PIPE
- PROPOSED STORM DRAIN PIPE
- FD
PROPOSED FOUNDATION DRAIN DISCHARGE LINE. SEE ARCH. PLANS FOR DRAIN PIPE LOCATIONS ALONG BUILDING WALLS.
- RD
PROPOSED ROOF DRAIN
- TREE PROTECTION FENCE

TYP. GRADE DESIGNATIONS AT SITE WALLS

- GENERAL NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.
 2. ALL SPOT ELEVATIONS INDICATED AT CURB AND GUTTER AND ARE DENOTED TO TOP OF CURB, UNLESS OTHERWISE SHOWN.
 3. TOTAL DENIED AREA = . AC
 4. CONTRACTOR SHALL ADJUST ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. AS NEEDED TO MATCH FINISH GRADE.
 5. ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNERS INDEPENDENT TESTING LABORATORY. (SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION)
 6. ALL STORM DRAIN PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER STOPPAGE OF WORK EACH DAY. SEE DETAIL ON SHEET C-...
 7. EXISTING VEGETATION WITHIN TREE PROTECTION AREAS SHALL REMAIN UNDISTURBED, UNLESS NOTED OTHERWISE.
 8. ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 9. THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE.
 10. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY STATE AUTHORITIES OR THE ARCHITECT.
 11. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING CONSTRUCTION AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
 12. THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%.
 13. CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS WHERE NEW CONSTRUCTION JOIN OR CONNECT TO EXISTING PAVEMENT, CURB AND OTHER RIGID STRUCTURES. NOTIFY ARCHITECT IF DISCREPANCIES OCCUR.



Renovation & Addition to:

**LOCKHART
ELEMENTARY
SCHOOL**

KNIGHTDALE, NC

PROJECT NUMBER:
23-127

NOT FOR
CONSTRUCTION

CLH DESIGN, PA
 201 Gregory Forest Drive
 Suite 200
 Cary, North Carolina 27513
 Phone: (919) 210-8718
 Fax: (919) 210-8718
 E-Mail: c-h@clhdesign.com
 P.E. C-100
 P.E. C-1005

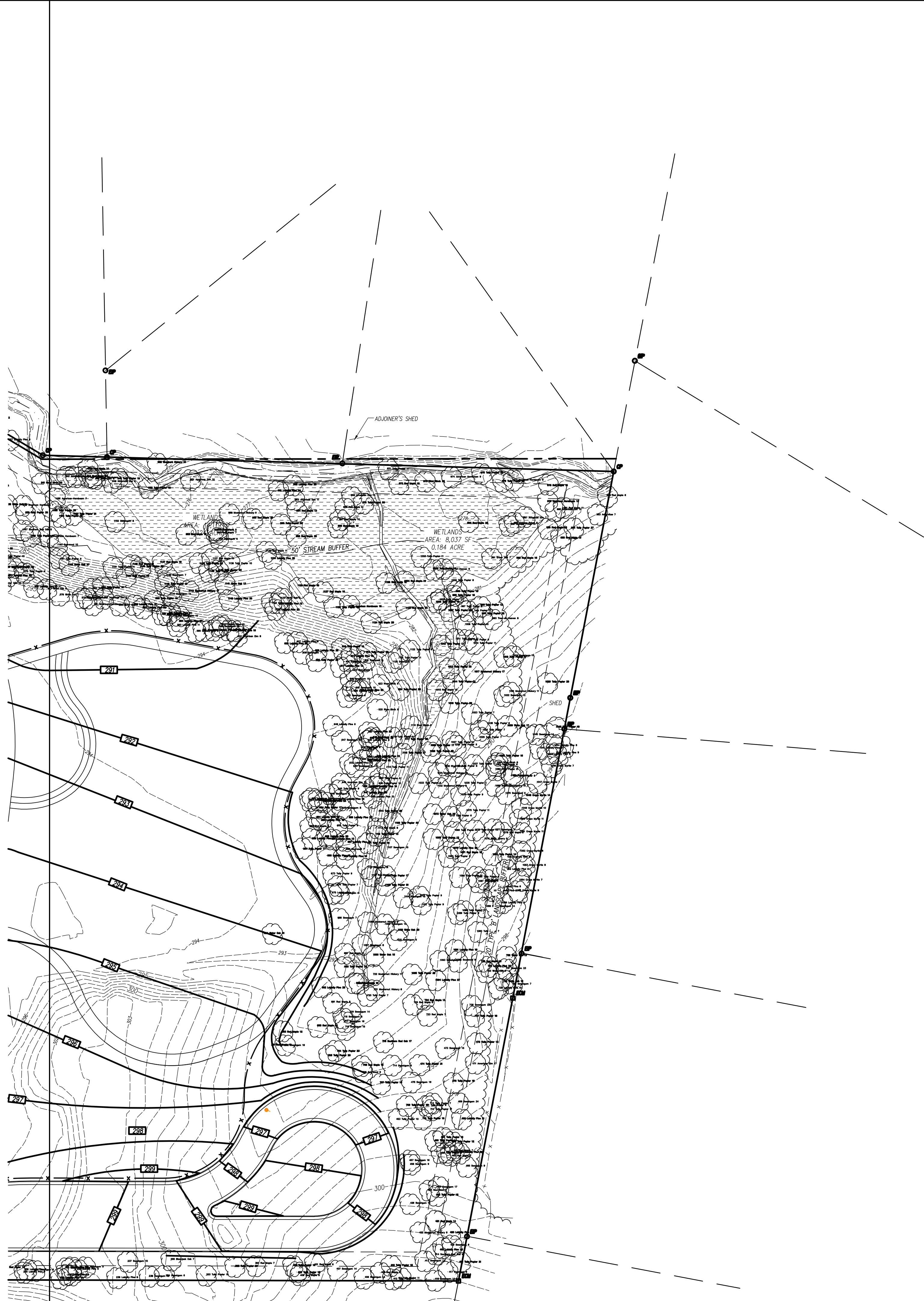
DTW
 Architects &
 Planners, Ltd.
 229 North Gregson Street
 P.O. Box 3636
 Durham, NC 27702
 919.317.4020

Revisions:

Drawn: DH/SLKS/YA
 Checked: YA/RCP/SJM
 Date: 06/28/24

SITE GRADING PLAN
AREA 1

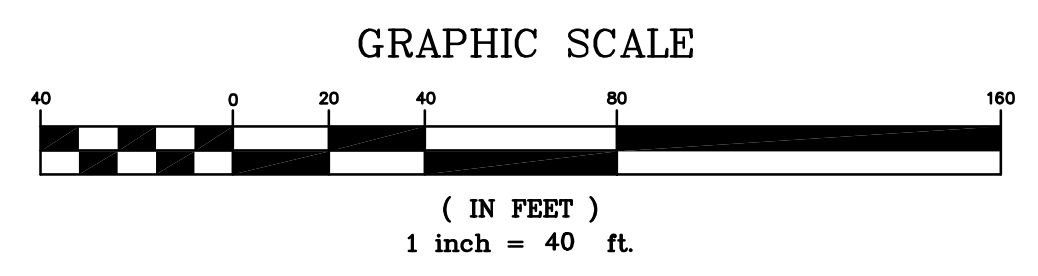
C03.01



GRADING LEGEND

	EXISTING CONTOURS	
	FINAL CONTOURS	
	EXISTING SURVEY SPOT ELEVATION	
	PROPOSED TOP OF CURB SPOT ELEVATION	
	PROPOSED GROUND/PAVEMENT ELEVATION	
	PROPOSED FINISHED GRADE AT TOP OF WALL ELEVATION	
	PROPOSED FINISHED GRADE AT BOTTOM OF WALL ELEVATION	
	STORM STRUCTURE NUMBER	
	EXISTING STORM DRAIN PIPE	
	PROPOSED STORM DRAIN PIPE	
	PROPOSED FOUNDATION DRAIN DISCHARGE LINE. SEE ARCH. PLANS FOR DRAIN PIPE LOCATIONS ALONG BUILDING WALLS.	
	PROPOSED ROOF DRAIN	
	TREE PROTECTION FENCE	

- GENERAL NOTES**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND NCDOT STANDARDS AND SPECIFICATIONS.
 2. ALL SPOT ELEVATIONS INDICATED AT CURB AND GUTTER AND ARE DENOTED TO TOP OF CURB, UNLESS OTHERWISE SHOWN.
 3. TOTAL DENIED AREA = _ AC
 4. CONTRACTOR SHALL ADJUST ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. AS NEEDED TO MATCH FINISH GRADE.
 5. ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNERS INDEPENDENT TESTING LABORATORY. (SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION)
 6. ALL STORM DRAIN PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER STOPPAGE OF WORK EACH DAY. SEE DETAIL ON SHEET C_
 7. EXISTING VEGETATION WITHIN TREE PROTECTION AREAS SHALL REMAIN UNDISTURBED, UNLESS NOTED OTHERWISE.
 8. ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 9. THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE.
 10. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY STATE AUTHORITIES OR THE ARCHITECT.
 11. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING CONSTRUCTION AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS.
 12. THE CROSS-SLOPE ON ALL SIDEWALKS SHALL BE A MAXIMUM OF 2.0%.
 13. CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS WHERE NEW CONSTRUCTION JOIN OR CONNECT TO EXISTING PAVEMENT, CURB AND OTHER RIGID STRUCTURES. NOTIFY ARCHITECT IF DISCREPANCIES OCCUR.



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ELEMENTARY
SCHOOL**

KNIGHTDALE, NC

PROJECT NUMBER:
23-127

NOT FOR
CONSTRUCTION

CLH DESIGN, P.A.
 201 Gregory Forest Drive
 Suite 200
 Holly Springs, NC 27536
 Phone: (919) 818-8718
 Fax: (919) 818-8718
 Lic. C-100
 Exp. 6-1-2025

DTW
 Architects &
 Planners, Ltd.
 229 North Gregson Street
 P.O. Box 3636
 Durham, NC 27702
 919.317.4020

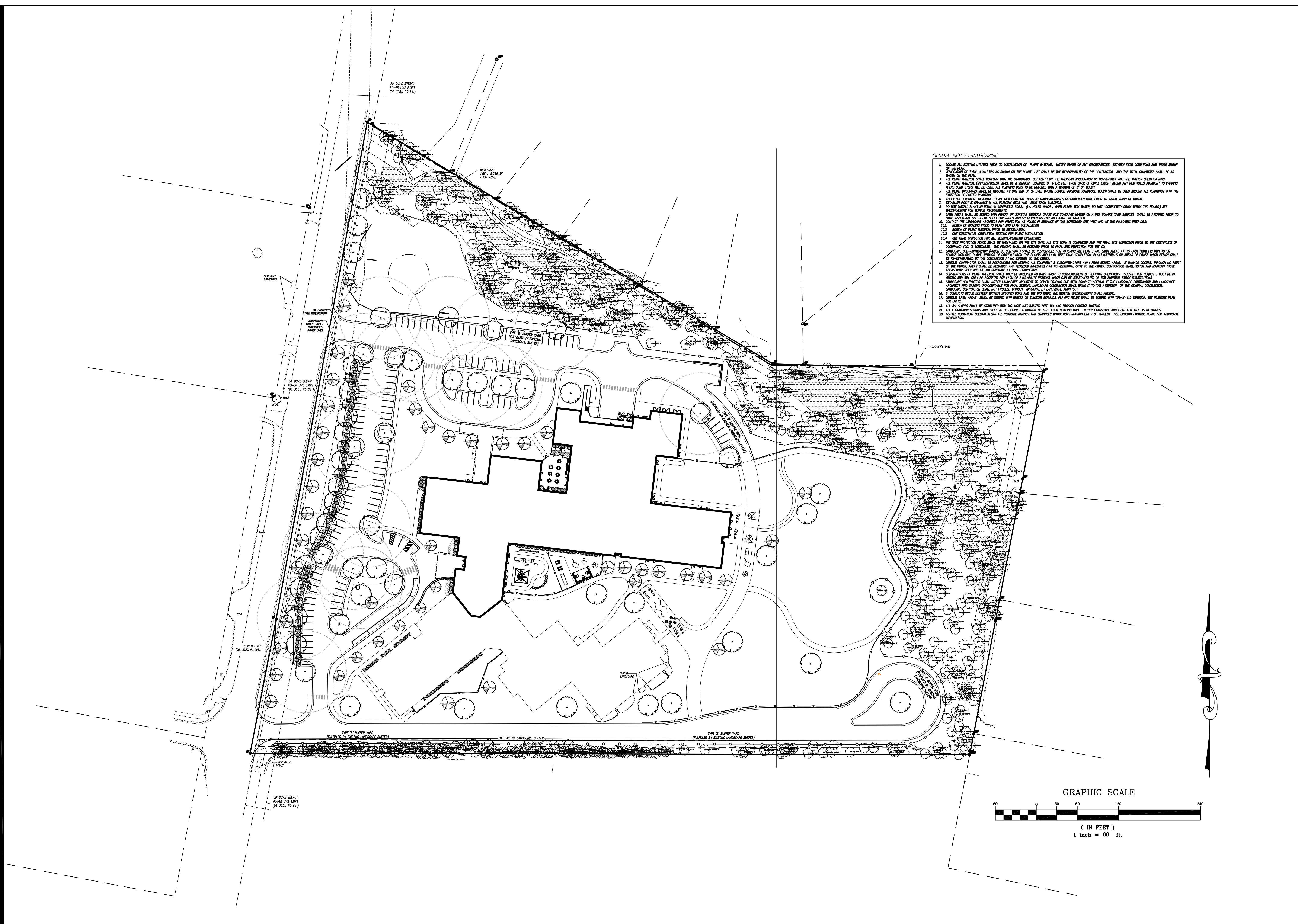
Revisions:

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SITE GRADING PLAN
AREA 2

C03.02

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- GENERAL NOTES-LANDSCAPING**
1. LOCATE ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THE PLAN.
 2. INDICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLAN LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS SHOWN ON THE PLAN.
 3. ALL PLANT MATERIAL SHALL CONFORM WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND THE WRITTEN SPECIFICATIONS. ALL PLANT MATERIAL (TREES/SHRUBS) SHALL BE A MINIMUM DISTANCE OF 4 1/2 FEET FROM BACK OF CURB, EXCEPT ALONG ANY NEW WALLS ADJACENT TO PARKING WHERE CURB STOPS WILL BE USED. ALL PLANTING BEDS TO BE MAINTAINED WITH A MINIMUM OF 3" OF MULCH.
 4. ALL PLANT GROUPINGS SHALL BE MAINTAINED AS ONE ROW. 3" OF FINE BROWN SOILS, SHIPPED HARDWOOD MULCH SHALL BE USED AROUND ALL PLANTINGS WITH THE EXCEPTION OF BUFFER PLANTINGS.
 5. APPLY PRE-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDED RATE PRIOR TO INSTALLATION OF MULCH.
 6. ESTABLISH POSITIVE DRAINAGE IN ALL PLANTING BEDS AND AWAY FROM BUILDINGS.
 7. DO NOT INSTALL PLANT MATERIAL IN IMPROPER SOILS. (i.e. AREAS WHICH ARE FILLED WITH WATER, DO NOT COMPLETELY DRAIN WITHIN TWO HOURS.) SEE SPECIFICATIONS FOR TOPSOIL REQUIREMENTS.
 8. LAWN AREAS SHALL BE SEEDS WITH PERMA OR SUNSTAR BERMOUDA GRASS SEED COVERAGE (BASED ON A PER SQUARE YARD SAMPLE) SHALL BE OBTAINED PRIOR TO FINAL INSPECTION. SEE DETAIL SHEET FOR RATES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 9. CONTACT THE LANDSCAPE ARCHITECT FOR INSPECTION AS REQUESTED IN ADVANCE OF THE SCHEDULED SITE VISIT AND AT THE FOLLOWING INTERVALS:
10.1. REVIEW OF GRADING PRIOR TO PLANT AND LAWN INSTALLATION.
10.2. REVIEW OF PLANT MATERIAL PRIOR TO INSTALLATION.
10.3. ONE SUBSTANTIAL COMPLETION MEETING FOR PLANT INSTALLATION.
10.4. ONE FINAL INSPECTION FOR ALL SEEDING/PLANTING OPERATIONS.
 11. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.
 12. LANDSCAPE SUB-CONTRACTOR (UNDER SC CONTRACT) SHALL BE RESPONSIBLE FOR WATERING ALL PLANTS AND LAWN AREAS AT HIS COST FROM HIS OWN WATER SOURCE HOLDING DURING PERIODS OF DROUGHT UNTIL THE PLANTS AND LAWN MEET FINAL COMPLETION. PLANT MATERIALS OR AREAS OF GRASS WHICH FORTH SHALL BE RE-ESTABLISHED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
 13. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL EQUIPMENT & SUBCONTRACTORS AWAY FROM SEEDS AREAS. IF DAMAGE OCCURS THROUGH NO FAULT OF THE OWNER, AREAS SHALL BE RESEEDS AND RESEEDS IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL WATER AND MAINTAIN THESE AREAS UNTIL THEY ARE AT 50% COVERAGE AT FINAL COMPLETION.
 14. SUBSTITUTIONS OF PLANT MATERIAL SHALL ONLY BE ACCEPTED 60 DAYS PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. SUBSTITUTION REQUESTS MUST BE IN WRITING AND WILL ONLY BE ACCEPTED FOR LACK OF AVAILABILITY REASONS WHICH CAN BE SUBSTITUTED OR FOR SUPERIOR STOCK SUBSTITUTIONS.
 15. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT TO REVIEW GRADING ONE WEEK PRIOR TO SEEDING. IF THE LANDSCAPE CONTRACTOR AND LANDSCAPE ARCHITECT FIND GRADING UNSATISFACTORY FOR FINAL SEEDING, LANDSCAPE CONTRACTOR SHALL BRING IT TO THE ATTENTION OF THE GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR SHALL NOT PROCEED WITHOUT APPROVAL BY LANDSCAPE ARCHITECT.
 16. IF CONFLICTS OCCUR BETWEEN WRITTEN SPECIFICATIONS AND THE DRAWINGS, THE WRITTEN SPECIFICATIONS SHALL PREVAIL.
 17. GENERAL LAWN AREAS SHALL BE SEEDS WITH PERMA OR SUNSTAR BERMOUDA. PLAYING FIELDS SHALL BE SEEDS WITH TFWAY-419 BERMOUDA. SEE PLANTING PLAN FOR LAWN.
 18. ALL 3:1 SLOPES SHALL BE STABILIZED WITH TWO-WAY NATURALIZED SEED MIX AND EROSION CONTROL MATTING.
 19. ALL FOUNDATION SHORES AND TRENCHES TO BE PLANTED WITH A MINIMUM OF 5'-FT FROM BUILDING WALL. NOTIFY LANDSCAPE ARCHITECT FOR ANY DISCREPANCIES.
 20. INSTALL PERMANENT SEEDING ALONG ALL ROADSIDE DITCHES AND CHANNELS WITHIN CONSTRUCTION LIMITS OF PROJECT. SEE EROSION CONTROL PLAN FOR ADDITIONAL INFORMATION.

Renovation & Addition to:

**LOCKHART
ELEMENTARY
SCHOOL**

KNIGHTDALE, NC

PROJECT NUMBER:
23-127

NOT FOR
CONSTRUCTION

CLH DESIGN, PA
 301 Gregory Forest Drive
 Suite 200
 Morrisville, Carolina 27560
 Phone: (919) 280-8718
 Fax: (919) 280-8718
 E-Mail: c-h@clhdesign.com

DTW
 Architects &
 Planners, Ltd.
 229 North Gregson Street
 P.O. Box 3636
 Durham, NC 27702
 919.317.4020

Revisions:

Drawn: DH/SL/KS/YA
 Checked: YA/RCP/SJM
 Date: 06/28/24

SITE OVERALL PLAN

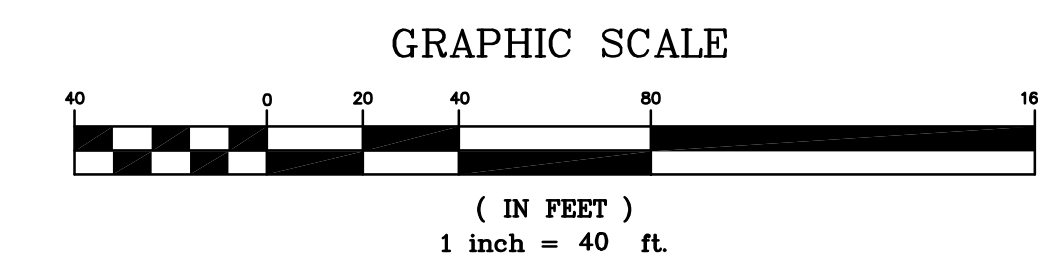
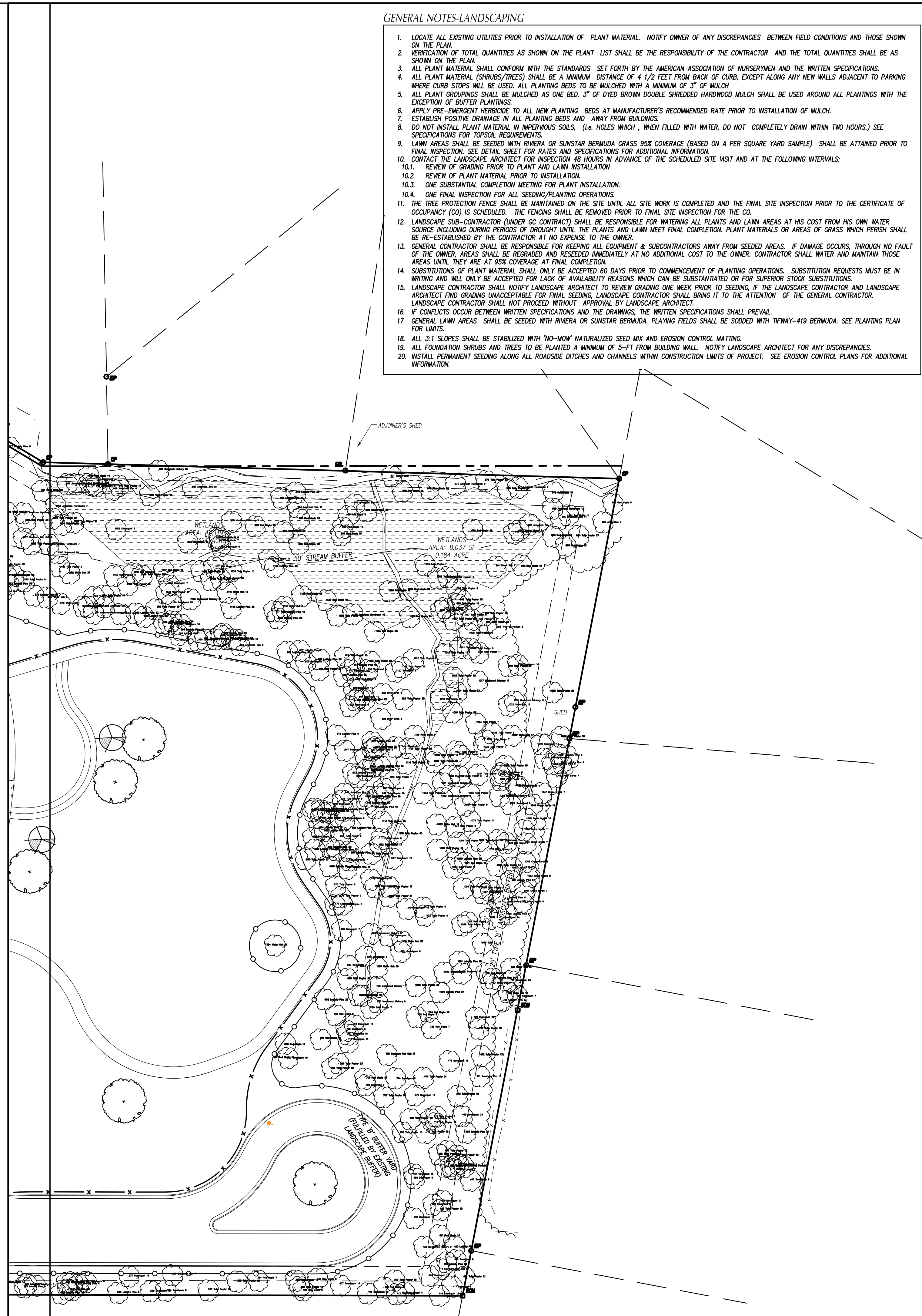
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GENERAL NOTES-LANDSCAPING

1. LOCATE ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THE PLAN.
2. VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS SHOWN ON THE PLAN.
3. ALL PLANT MATERIAL SHALL CONFORM WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERMEN AND THE WRITTEN SPECIFICATIONS.
4. ALL PLANT MATERIAL (SHRUBS/TREES) SHALL BE A MINIMUM DISTANCE OF 4 1/2 FEET FROM BACK OF CURB, EXCEPT ALONG ANY NEW WALLS ADJACENT TO PARKING WHERE CURB STOPS WILL BE USED. ALL PLANTING BEDS TO BE MULCHED WITH A MINIMUM OF 3" OF MULCH.
5. ALL PLANT GROUPINGS SHALL BE MULCHED AS ONE BED. 3" OF DYED BROWN DOUBLE SHREDDED HARDWOOD MULCH SHALL BE USED AROUND ALL PLANTINGS WITH THE EXCEPTION OF BUFFER PLANTINGS.
6. APPLY PRE-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT MANUFACTURER'S RECOMMENDED RATE PRIOR TO INSTALLATION OF MULCH.
7. ESTABLISH POSITIVE DRAINAGE IN ALL PLANTING BEDS AND AWAY FROM BUILDINGS.
8. DO NOT INSTALL PLANT MATERIAL IN IMPERVIOUS SOILS, (i.e. HOLES WHICH, WHEN FILLED WITH WATER, DO NOT COMPLETELY DRAIN WITHIN TWO HOURS.) SEE SPECIFICATIONS FOR TOPSOIL REQUIREMENTS.
9. LAWN AREAS SHALL BE SEEDED WITH RIVERA OR SUNSTAR BERMUDA GRASS 95% COVERAGE (BASED ON A PER SQUARE YARD SAMPLE) SHALL BE ATTAINED PRIOR TO FINAL INSPECTION. SEE DETAIL SHEET FOR RATES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
10. CONTACT THE LANDSCAPE ARCHITECT FOR INSPECTION 48 HOURS IN ADVANCE OF THE SCHEDULED SITE VISIT AND AT THE FOLLOWING INTERVALS:
 - 10.1. REVIEW OF GRADING PRIOR TO PLANT AND LAWN INSTALLATION.
 - 10.2. REVIEW OF PLANT MATERIAL PRIOR TO INSTALLATION.
 - 10.3. ONE SUBSTANTIAL COMPLETION MEETING FOR PLANT INSTALLATION.
 - 10.4. ONE FINAL INSPECTION FOR ALL SEEDING/PLANTING OPERATIONS.
11. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED UNTIL THE FINAL SITE INSPECTION FOR THE CO.
12. LANDSCAPE SUB-CONTRACTOR (UNDER GC CONTRACT) SHALL BE RESPONSIBLE FOR WATERING ALL PLANTS AND LAWN AREAS AT HIS COST FROM HIS OWN WATER SOURCE INCLUDING DURING PERIODS OF DROUGHT UNTIL THE PLANTS AND LAWN MEET FINAL COMPLETION. PLANT MATERIALS OR AREAS OF GRASS WHICH PERISH SHALL BE RE-ESTABLISHED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
13. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL EQUIPMENT & SUBCONTRACTORS AWAY FROM SEEDING AREAS. IF DAMAGE OCCURS, THROUGH NO FAULT OF THE OWNER, AREAS SHALL BE REGRADED AND RESEEDED IMMEDIATELY AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL WATER AND MAINTAIN THOSE AREAS UNTIL THEY ARE AT 95% COVERAGE AT FINAL COMPLETION.
14. SUBSTITUTIONS OF PLANT MATERIAL SHALL ONLY BE ACCEPTED 60 DAYS PRIOR TO COMMENCEMENT OF PLANTING OPERATIONS. SUBSTITUTION REQUESTS MUST BE IN WRITING AND WILL ONLY BE ACCEPTED FOR LACK OF AVAILABILITY REASONS WHICH CAN BE SUBSTANTIATED OR FOR SUPERIOR STOCK SUBSTITUTIONS.
15. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT TO REVIEW GRADING ONE WEEK PRIOR TO SEEDING, IF THE LANDSCAPE CONTRACTOR AND LANDSCAPE ARCHITECT FIND GRADING UNACCEPTABLE FOR FINAL SEEDING, LANDSCAPE CONTRACTOR SHALL BRING IT TO THE ATTENTION OF THE GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR SHALL NOT PROCEED WITHOUT APPROVAL BY LANDSCAPE ARCHITECT.
16. IF CONFLICTS OCCUR BETWEEN WRITTEN SPECIFICATIONS AND THE DRAWINGS, THE WRITTEN SPECIFICATIONS SHALL PREVAIL.
17. GENERAL LAWN AREAS SHALL BE SEEDED WITH RIVERA OR SUNSTAR BERMUDA. PLAYING FIELDS SHALL BE SOODED WITH TIFWAY-419 BERMUDA. SEE PLANTING PLAN FOR LIMITS.
18. ALL 3:1 SLOPES SHALL BE STABILIZED WITH "NO-MOW" NATURALIZED SEED MIX AND EROSION CONTROL MATTING.
19. ALL FOUNDATION SHRUBS AND TREES TO BE PLANTED A MINIMUM OF 5-FT FROM BUILDING WALL. NOTIFY LANDSCAPE ARCHITECT FOR ANY DISCREPANCIES.
20. INSTALL PERMANENT SEEDING ALONG ALL ROADSIDE DITCHES AND CHANNELS WITHIN CONSTRUCTION LIMITS OF PROJECT. SEE EROSION CONTROL PLANS FOR ADDITIONAL INFORMATION.

LANDSCAPE REQUIREMENTS

BUFFER YARD REQUIREMENTS
ADJACENT TO RESIDENTIAL (NORTH, EAST, & SOUTH SIDE)
- TYPE 'B' BUFFER REQUIRED
- EXISTING BUFFER USED TO FULFILL BUFFER REQUIREMENTS
STREET YARD REQUIREMENTS
IN SETBACK (S.W. IN SETBACK AREA)
- 1 CANOPY TREE PER 40 LF
- UNDERSTORY TREES UNDER EXISTING POWER LINES
- 80 LF STREET FRONTAGE (940 - 127 LF DRIVEWAY)
- (85/90) 20 STREET TREES REQUIRED / 20 PROVIDED
PARKING LOT YARDS
- NO PARKING SPACE FARTHER THAN 60' FROM CANOPY TREE
- PLANTING ISLAND EVERY 30 PARKING SPACES
- 1 CANOPY TREE PER PLANTING ISLAND
VIA AREAS
EXISTING PUBLIC B.O.M. (IN SETBACK AREA)
- TYPE 'A' BUFFER REQUIRED
- 20 FT TYPE 'A' BUFFER YARD PROVIDED
OTHER VIAL AREAS
- MUST BE SEEDING FROM OFF-SITE NEW WITH TYPE 'B' BUFFER
- EXISTING BUFFERS USED TO FULFILL BUFFER REQUIREMENTS
TREE SAVE AREAS
- TREES GREATER THAN 24" DBH SHALL REMAIN UNDISTURBED OUTSIDE OF REQUIRED T.S.A. OR REPLACED AT A RATE OF 1 NEW TREE PER 12" DBH EX. TREE REMOVED
- 24" DBH TREES REMOVED: 15
- DBH TOTAL REMOVED: 432"
- TREES REMOVED MUST BE REPLACED AT A RATE OF 1 NEW TREE PER 12" DBH EX. TREE REMOVED
- NEW TREES TO REPLACE 24" DBH TREES: 39 (432 / 12 = 364)
- 39 NEW TREES REQUIRED / 39 NEW TREES PROVIDED
LANDSCAPE QUANTITIES
54 CANOPY TREES
57 UNDERSTORY TREES
198 SHRUBS
PERENNIALS & GROUNDCOVER: 93



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Renovation & Addition to:

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 ELEMENTARY
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CLH DESIGN, P.A.
 501 Gregory Forest Drive
 Suite 200
 Cary, North Carolina 27513
 Phone: (919) 210-8718
 Fax: (919) 210-8718
 E-Mail: c-h@clhdesign.com
 P.O. Box 1000

DTW
 Architects &
 Planners, Ltd.
 229 North Gregson Street
 P.O. Box 3636
 Durham, NC 27702
 919.317.4020

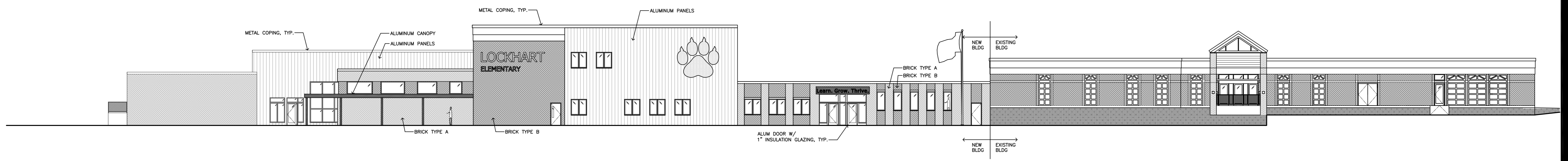
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Drawn:	DH/SLKS/YA
Checked:	YA/RCP/SJM
Date:	06/28/24

SITE LANDSCAPE PLAN
 AREA 2

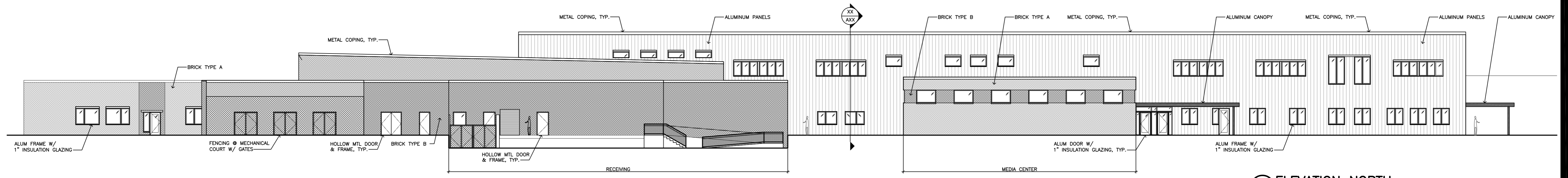
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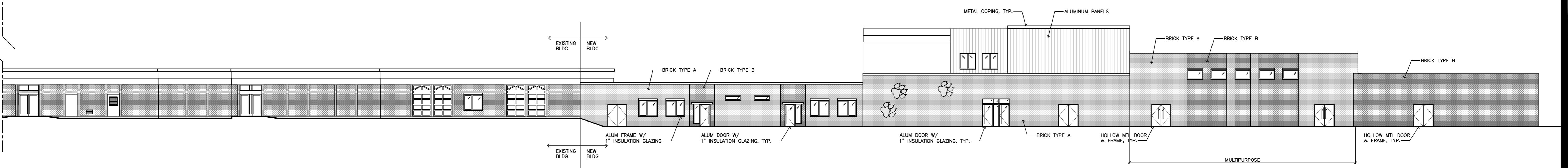
DTW
Architects & Planners, Ltd.
3333 Durham-Chapel Hill Blvd
Suite D-100
Durham, NC 27707
919.317.4020



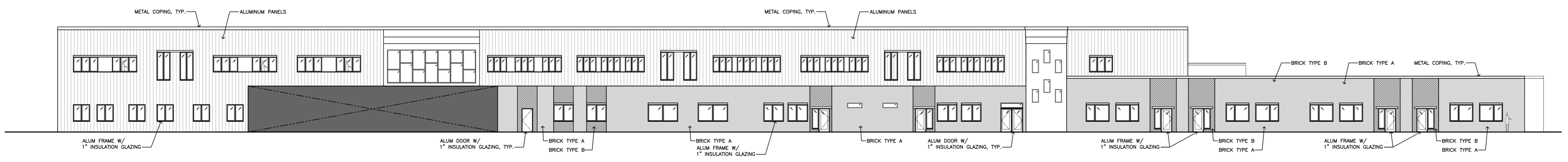
1 ELEVATION WEST (FRONT)
SCALE: 1/16"=1'-0"



2 ELEVATION NORTH
SCALE: 1/16"=1'-0"

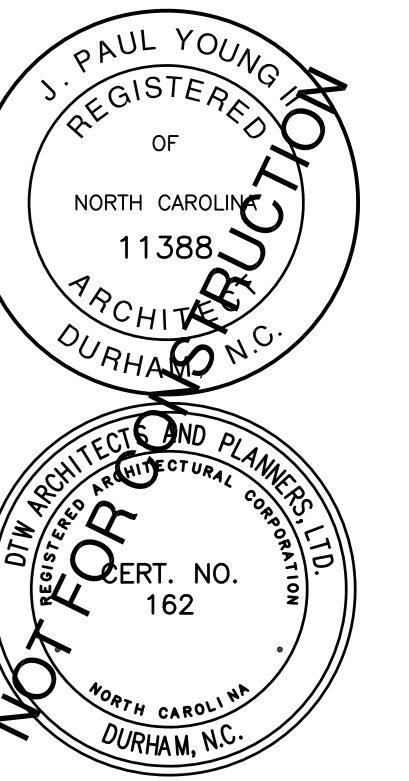


3 ELEVATION EAST
SCALE: 1/16"=1'-0"



4 ELEVATION SOUTH
SCALE: 1/16"=1'-0"

LOCKHART ES RENO/REPLACEMENT:
LOCKHART ELEMENTARY SCHOOL
1320 N. SMITHFIELD RD. KNIGHTDALE, NC 27545
WCPSS PROJECT ID: 862-453
WCPSS PROJECT MANAGER: SHANE WEBSTER
DTW PROJECT NUMBER: 23025



DESIGN DEVELOPMENT
Revisions

Drawn B.N.
Checked J.P.Y.
Date 2024-06-27
Title
ELEVATIONS

Sheet
A04.00