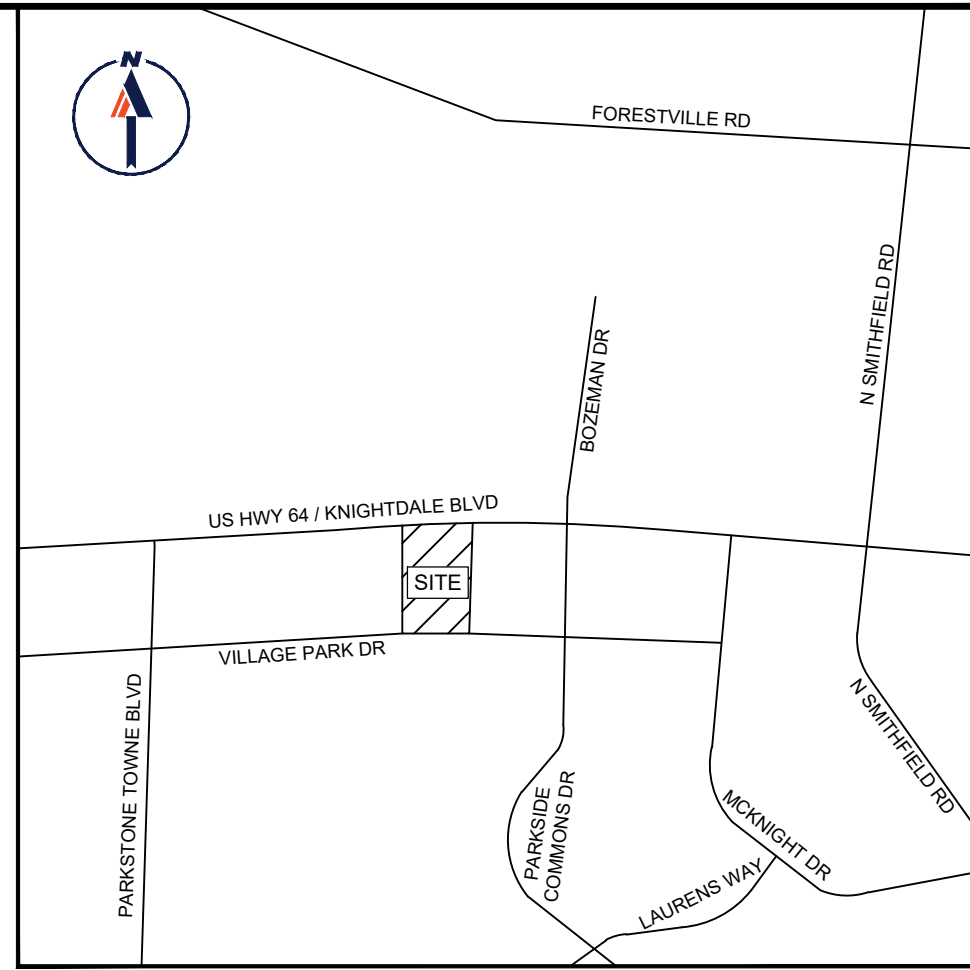


NOTES:

- THE FIRM HAS NEITHER REVIEWED, NOR RELIED UPON A TITLE COMMITMENT OR ANY TITLE REPORT IN AND WHILE PREPARING THIS SURVEY AND THE CLIENT SHOULD NOT RELY UPON THIS SURVEY AS ASSURANCE OF OWNERSHIP, AS A GUARANTEE OF MARKETABLE TITLE OR FOR DISCLOSURE OF TITLE EXCEPTIONS THAT MAY, COULD OR DO ENCUMBER THE PROPERTY. THE CLIENT MUST ENGAGE A TITLE AGENT/TITLE INSURANCE COMPANY FOR REVIEW AND CONFIRMATION OF, AND INSURANCE REGARDING MARKETABLE TITLE.
- AREAS COMPUTED BY COORDINATE METHOD.
- PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- RIGHTS-OF-WAY INFORMATION IS BASED ON DEEDS AND MAPS OF RECORD.
- NC GRID COORDINATES (NAD83) OBTAINED BY USING GPS, PER THE NCVRS NETWORK.
- BASIS OF BEARING SHOWN HEREON IS NC GRID (NAD 83 NRSRS 2011).
- VERTICAL DATUM SHOWN HEREON IS NAVD88.
- THE PROPERTY SHOWN HEREON IS LOCATED IN FLOODZONE "ZONE X", AREA OF MINIMAL FLOODING, PER FLOOD INSURANCE RATE MAP 3720174400J PANEL 1744 EFFECTIVE DATE MAY 2, 2006.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED AT THE TIME OF THE SURVEY.
- NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED AT THE TIME OF THE SURVEY.
- BUILDING SETBACKS SHOWN ON THE SURVEY ARE PER THE TOWN OF KNIGHTDALE UDO, UNLESS OTHERWISE STATED.



VICINITY MAP
NOT TO SCALE

REFERENCES:

- DB 17729, PG 1385
- DB 10999, PG 1089
- DB 15594, PG 1462
- DB 9886, PG 146
- BM 2001, PG 424
- BM 2001, PG 1382
- BM 2002, PG 2070
- BM 2007, PG 1216
- BM 2013, PG 1521

ZONING & SETBACK TABLE:
ZONING: NMX (NEIGHBORHOOD MIXED-USE)

MINIMUM BUILDING SETBACKS (SEE NOTE #12):	
FRONT10'
SIDE10'
REAR0'
MINIMUM LOT WIDTH.....80'	
MAXIMUM BUILDING HEIGHT.....56'	

SURVEYOR CERTIFICATION

I, THOMAS E. TEABO, PLS, HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP. THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP.

THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY OF THE SURVEY AS CALCULATED IS 1:10,000. THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION OF RECORD. THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH TITLE 21, CHAPTER 56, NCAC, AS AMENDED.

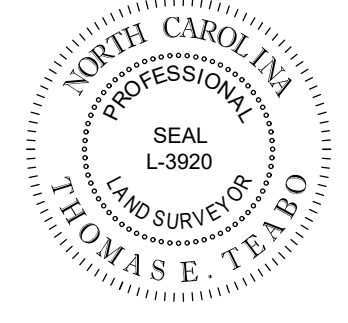
I HEREBY CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- CLASS OF SURVEY: CLASS A*
- POSITIONAL ACCURACY: 0.04"
- TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NETWORKS-NCVRS
- DATES OF SURVEY: 12/02/2021-12/30/2022
- DATUM/EPOCH: NAD 83 (2011) EPOCH 2010.00
- PUBLISHED/FIXED-CONTROL USE: NCVRS
- GEOID MODEL: 2012 (CONUS)
- COMBINED GRID FACTOR(S): 0.999913410
- UNITS: US SURVEY FEET

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 4TH DAY OF JANUARY A.D., 2022.

PRELIMINARY - NOT FOR RECORDATION, SALES OR CONVEYANCES

SURVEYOR NC L-3920



US HIGHWAY 64 /
KNIGHTDALE ROULEVARD
VARIABLE WIDTH PUBLIC RIGHT-OF-WAY
BM 2013, PG 1521

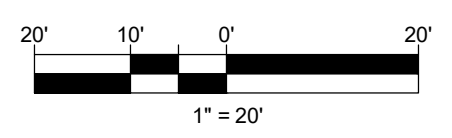
LANE RAW LAND LLC
PIN: 1744-95-3860
ZONED: NMX (NEIGHBORHOOD MIXED-USE)
DB 17729, PG 1385
LOT 7
BM 2013, PG 1521
40,684 SF
OR
0.934 AC

N/A
ITAC 25 LLC
PIN: 1744-95-2708
DB 10999, PG 1089
LOT 6
BM 2013, PG 1521

N/A
JIB HOLDINGS VI LLC
PIN: 1744-95-5718
DB 15594, PG 1462
LOT 2
BM 2013, PG 1521

LEGEND

	LINE SURVEYED		WATER METER
	LINE NOT SURVEYED		WATER VALVE
	EXISTING CONTOUR		FIRE HYDRANT
	EXISTING SPOT ELEVATION		STREET LIGHT
	APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT		SIGN
	APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT		MAIL BOX
	APPROX. LOC. UNDERGROUND FIBER OPTIC LINE PER UTILITY MARKOUT		FENCE
	SANITARY MANHOLE		AREA LIGHT
	STORM DRAINAGE GRATE		CLEAN OUT
	TREE		IRON PIPE FOUND
	BUSH		IRON PIPE SET
	TEST HOLE BORING		PK NAIL SET
			COMPUTED POINT



TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(B), 7(A), 8, 9, 11(A)(B), 13, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 30, 2021.

ALTA/NSPS LAND TITLE SURVEY FOR

DURBAN DEVELOPMENT
PIN: 1744-95-3860
DB 17729, PG 1385

SITE ADDRESS: 4012 VILLAGE PARK DR
TOWN OF KNIGHTDALE, ST. MATTHEWS TOWNSHIP
WAKE COUNTY, NORTH CAROLINA

THOMAS E. TEABO, PLS

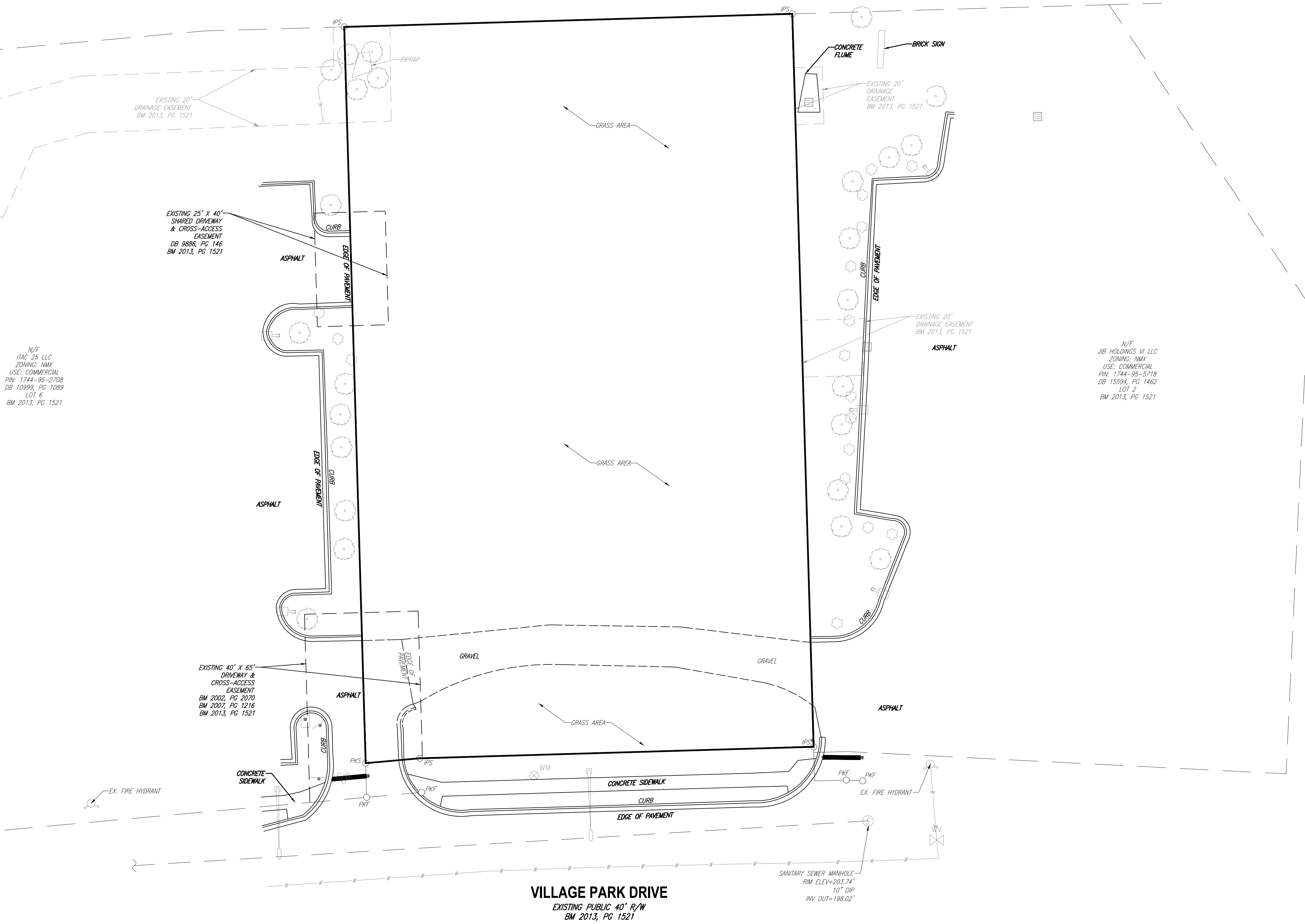
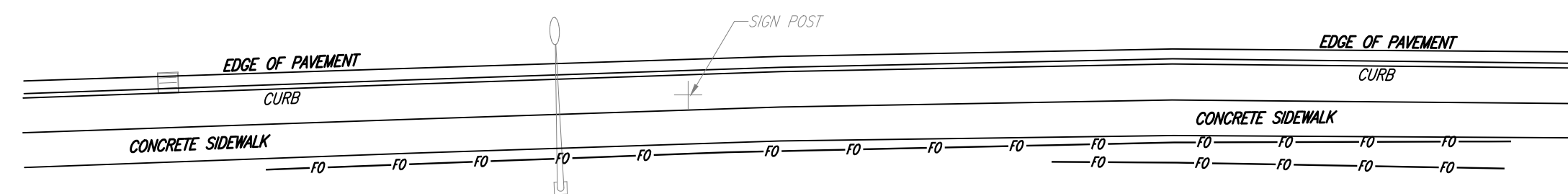
NORTH CAROLINA PROFESSIONAL LAND SURVEYOR NO. L-3920
THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AT FEASIBILITY, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

FILE NO. NS211122	DATE 01/04/2022	FILED DATE 12/30/2021	CREW CHIEF AS	DRAWN DET	REVIEWED TET	APPROVED TET	SCALE 1" = 20'	DWG. NO. 1 OF 1
----------------------	--------------------	--------------------------	------------------	--------------	-----------------	-----------------	-------------------	--------------------

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**US HIGHWAY 64 /
KNIGHTDALE BOULEVARD**
VARIABLE WIDTH PUBLIC
RIGHT-OF-WAY
BM 2013, PG 1521

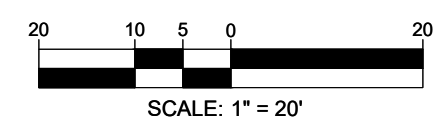


N/F
ITAC 25 LLC
ZONING: NMX
USE: COMMERCIAL
PIN: 1744-95-2708
DB 10999, PG 1089
LOT 6
BM 2013, PG 1521

N/F
JIB HOLDINGS VI LLC
ZONING: NMX
USE: COMMERCIAL
PIN: 1744-95-5718
DB 15594, PG 1462
LOT 2
BM 2013, PG 1521

VILLAGE PARK DRIVE
EXISTING PUBLIC 40' R/W
BM 2013, PG 1521

SANITARY SEWER MANHOLE
RIM ELEV=203.74'
10" DIP
INV. OUT=198.02'



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REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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CONSTRUCTION**

PROJECT No.: NCB230070
DRAWN BY: DW
CHECKED BY: RG
DATE: 02/05/2024
CAD ID:

MASTER PLAN
FOR _____

PROPOSED DEVELOPMENT
4012 VILLAGE PARK DRIVE
KNIGHTDALE, NC 27545
WAKE COUNTY

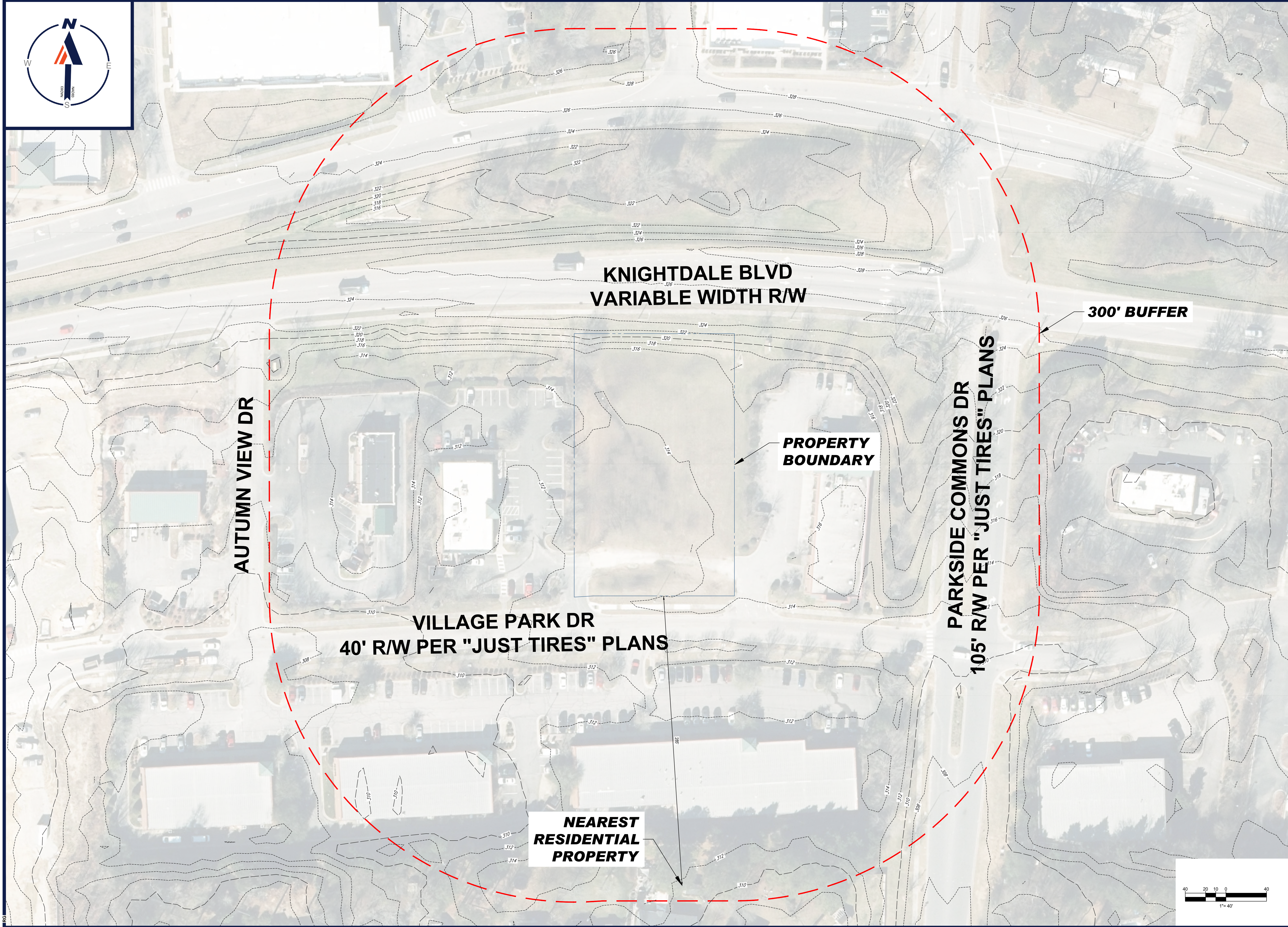
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SC COA NO. 4810
4130 PARKLAKE AVENUE, SUITE 200
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com

SHEET TITLE:
**DEMOLITION
PLAN**

SHEET NUMBER:
C-201

ORG. DATE - 02/05/2024

BOHLER ENGINEERING NC, PLLC PROJECT: NCB230070-4012 VILLAGE PARK DRIVE DEMOLITION PLAN - LAYOUT C-201 DEMO



REVISIONS

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PROJECT No.: NCB230070
DRAWN BY: DW
CHECKED BY: RG
DATE: 02/05/2024
CAD ID: TOPO - 0

PROJECT:

SKETCH PLAN

FOR _____

PROPOSED DEVELOPMENT

4012 VILLAGE PARK DRIVE
KNIGHTDALE, NC 27545
WAKE COUNTY



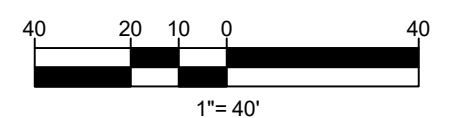
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Phone: (919) 578-9000
NC@BohlerEng.com

SHEET TITLE:

OVERALL VICINITY MAP

SHEET NUMBER:
C-301

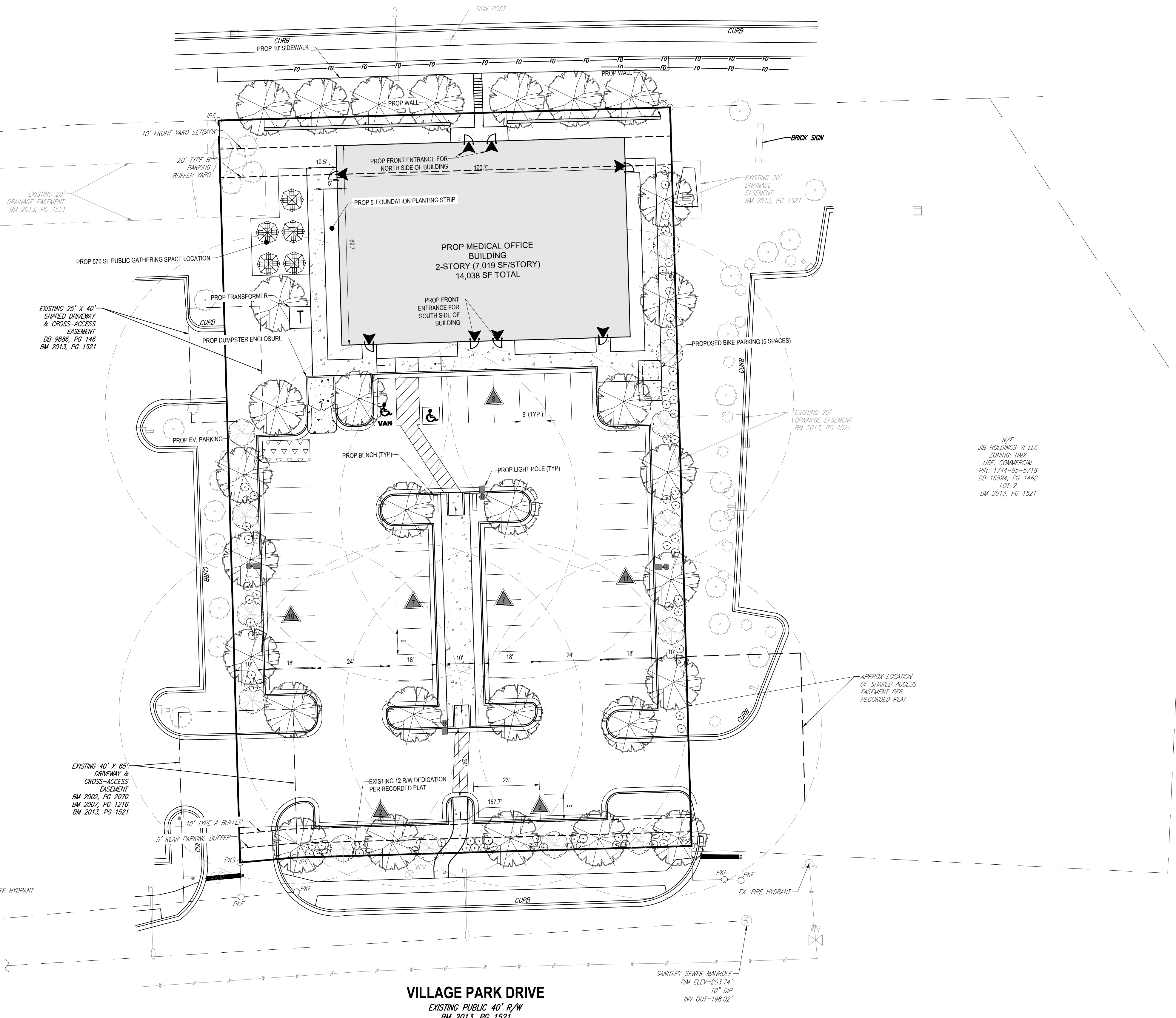
ORG. DATE - 02/05/2024



H:\2023\NC\230070\01\LAND DEVELOPMENT\CAD\DRAWINGS\EXHIBITS\240206 - SKETCH PLAN - TOPO - LAYOUT - C-301 OVERALL VICINITY MAP.dwg



**US HIGHWAY 64 /
KNIGHTDALE BOULEVARD**
VARIABLE WIDTH PUBLIC
RIGHT-OF-WAY
BM 2013, PG 1521



VILLAGE PARK DRIVE
EXISTING PUBLIC 40' R/W
BM 2013, PG 1521

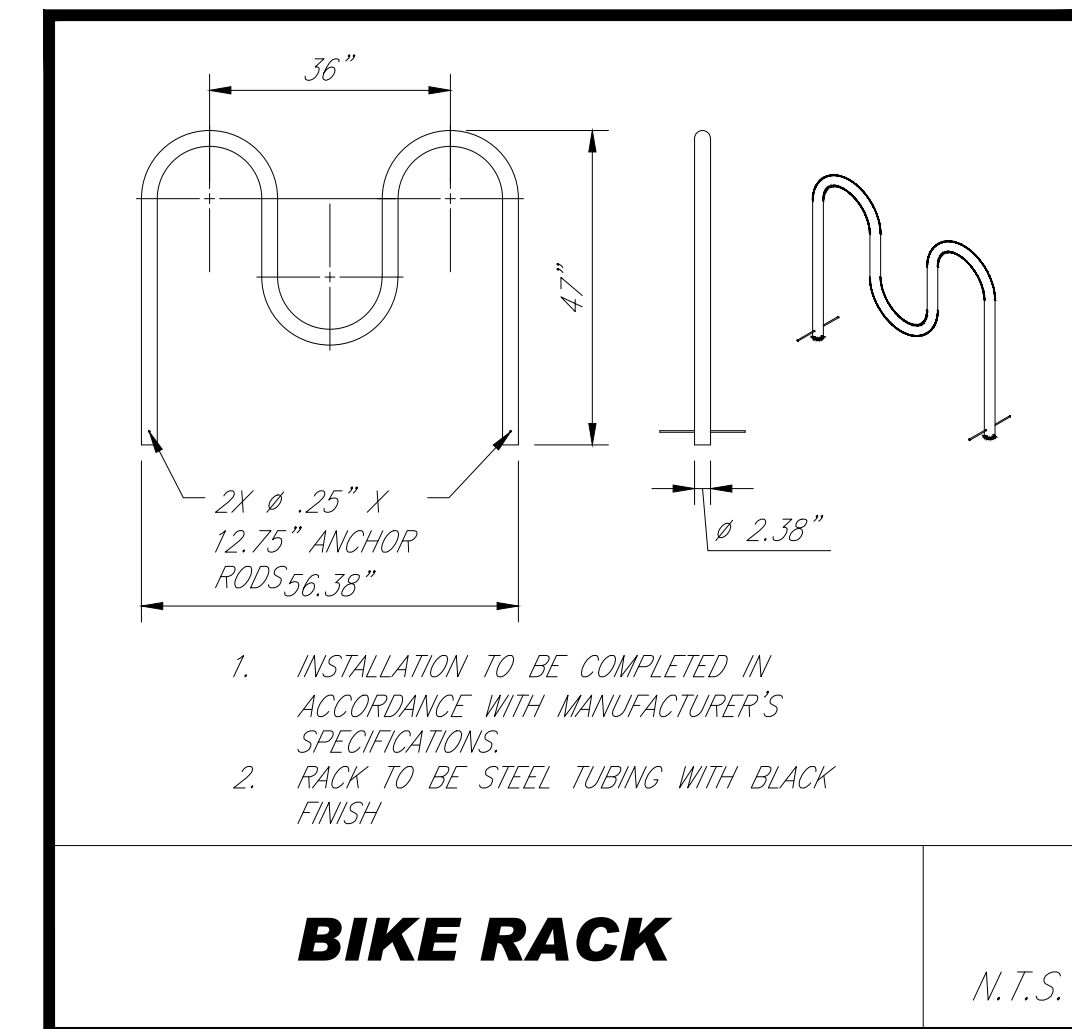
SITE PLAN & ZONING NOTES:

- SITE ADDRESS: 4012 VILLAGE PARK DRIVE
KNIGHTDALE, NC 27545
- OWNER: OPSJH LLC
821 COUNTRY CLUB ROAD
ROCKY MOUNT, NC 27804
- PIN: 1744-95-3860
- SITE ACREAGE: 0.93 AC
- ZONING: NMX
- LAND USE: EXISTING LAND USE: VACANT
PROPOSED LAND USE: MEDICAL OFFICE
- VEHICLE PARKING: PROPOSED BUILDING SF: 6,000 SF
MAXIMUM PARKING ALLOWED: 22.5 PER KSF GFA
(3,561 SF / 1000 SF) =
3.56 * 22.5 = 80 SPACES
MINIMUM PARKING REQUIRED: 3 MAXIMUM = 80 SPACES / 2 =
40 SPACES
PROPOSED PARKING: 47 SPACES
PROPOSED BICYCLE PARKING: 6 SPACES

10' TYPE A BUFFER YARD PLANTING REQUIREMENTS ALONG
VILLAGE PARK DR:
CANOPY TREES - (10' LF) - 100' * 3 = 5 REQUIRED
UNDERSTORY TREES - (6' LF) - 100' * 2 = 4 REQUIRED
SHRUBS - (4' LF) - 100' * 20 = 32 REQUIRED

SITE PLAN NOTES:

- ALL PAVEMENT MARKINGS, INCLUDING TRAFFIC CONTROL, STOP BARS, FIRE LANES, CROSSWALKS, ETC. SHALL BE MADE WITH REFLECTORIZED THERMOPLASTIC STRIPING WITH A MINIMUM THICKNESS IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES
- ALL PROPOSED SIGNAGE IS REVIEWED AND APPROVED THROUGH A SEPARATE SIGN PERMIT REVIEW PROCESS. ALL SIGNAGE MUST COMPLY WITH CHAPTER 8 OF THE UDO



BIKE RACK

N.T.S.

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PROJECT No.: NCB230070
DRAWN BY: DW
CHECKED BY: RG
DATE: 02/05/2024
CAD ID:

PROJECT:

MASTER PLAN

FOR _____

PROPOSED DEVELOPMENT
4012 VILLAGE PARK DRIVE
KNIGHTDALE, NC 27545
WAKE COUNTY

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RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

C-301

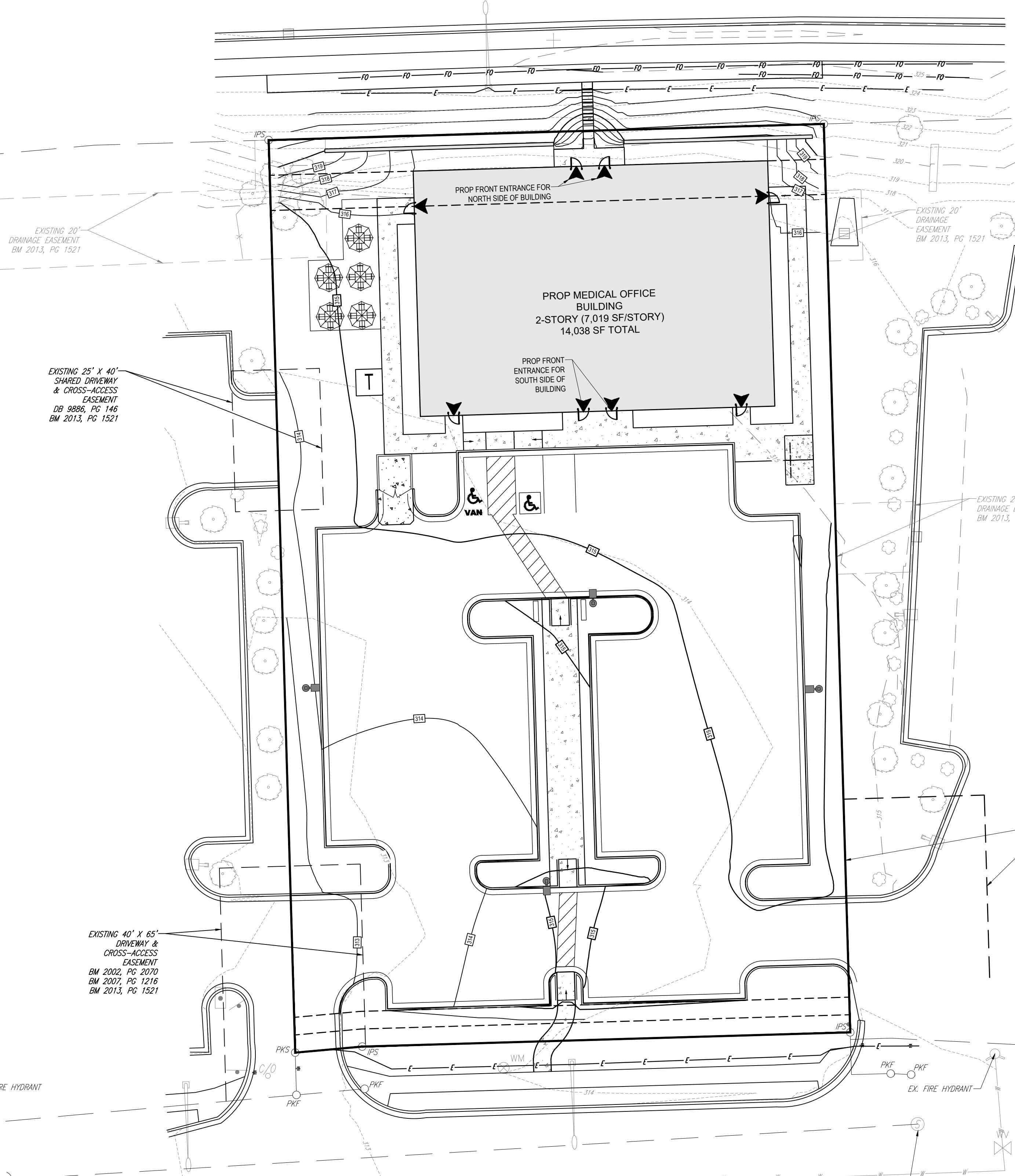
ORG. DATE - 02/05/2024



BOHLER ENGINEERING NC, PLLC - PROJECT: 230223-NCB230070-69-LAND DEVELOPMENT/CADD/DRAWINGS/PLAN SET/NCB230070-SITE 69-LAYOUT: C-301 SITE



**US HIGHWAY 64 /
KNIGHTDALE BOULEVARD**
VARIABLE WIDTH PUBLIC
RIGHT-OF-WAY
BM 2013, PG 1521



VILLAGE PARK DRIVE
EXISTING PUBLIC 40' R/W
BM 2013, PG 1521

N/F
ITAC 25 LLC
ZONING: NMX
USE: COMMERCIAL
PIN: 1744-95-2708
DB 10999, PG 1089
LOT 6
BM 2013, PG 1521

N/F
JIB HOLDINGS VI LLC
ZONING: NMX
USE: COMMERCIAL
PIN: 1744-95-5718
DB 15594, PG 1462
LOT 2
BM 2013, PG 1521



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PROJECT No.: NCB230070
DRAWN BY: DW
CHECKED BY: RG
DATE: 02/05/2024
CAD ID:

PROJECT:
MASTER PLAN
FOR

PROPOSED DEVELOPMENT
4012 VILLAGE PARK DRIVE
KNIGHTDALE, NC 27545
WAKE COUNTY

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SHEET TITLE:
**GRADING
PLAN**

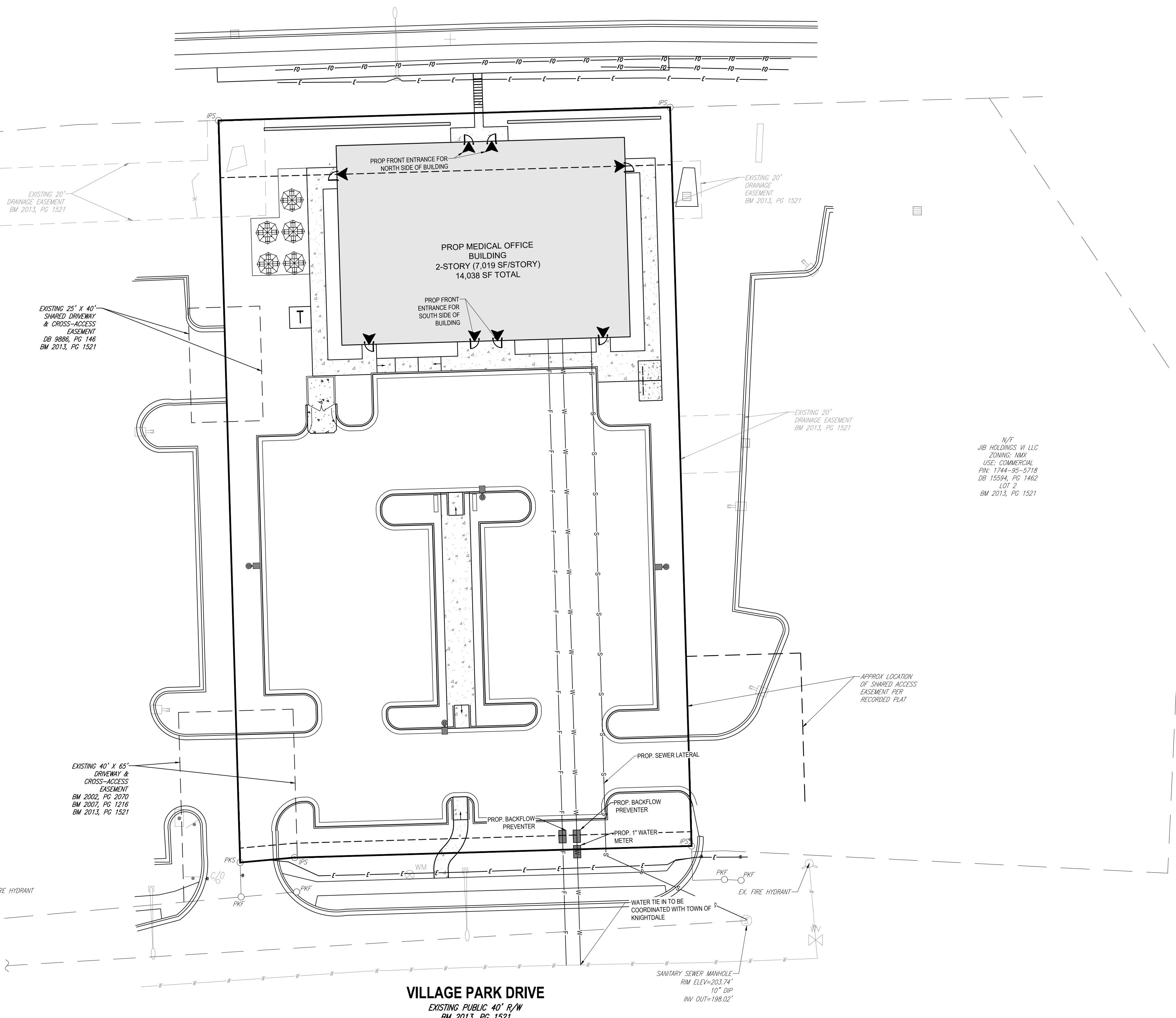
SHEET NUMBER:
C-401

ORG. DATE - 02/05/2024

BOHLER ENGINEERING NC, PLLC PROJECT: NCB230070 4012 VILLAGE PARK DRIVE, KNIGHTDALE, NC 27545 - LAYOUT - C-401 GRAD



**US HIGHWAY 64 /
KNIGHTDALE BOULEVARD**
VARIABLE WIDTH PUBLIC
RIGHT-OF-WAY
BM 2013, PG 1521



VILLAGE PARK DRIVE
EXISTING PUBLIC 40' R/W
BM 2013, PG 1521

SITE PLAN & ZONING NOTES:

- SITE ADDRESS: 4012 VILLAGE PARK DRIVE
KNIGHTDALE, NC 27545
- OWNER: OPSJH LLC
821 COUNTRY CLUB ROAD
ROCKY MOUNT, NC 27804
- PIN: 1744-95-3860
- SITE ACREAGE: 0.93 AC
- ZONING: NMX
- LAND USE: EXISTING LAND USE: VACANT
PROPOSED LAND USE: MEDICAL OFFICE
- VEHICLE PARKING: PROPOSED BUILDING SF: 6,000 SF
MAXIMUM PARKING ALLOWED: 22.5 PER KSF GFA
(3,561 SF / 1000 SF) =
3.56 * 22.5 = 80 SPACES
MINIMUM PARKING REQUIRED: 3 MAXIMUM = 80 SPACES / 2 =
40 SPACES
PROPOSED PARKING: 47 SPACES
PROPOSED BICYCLE PARKING: 5 SPACES

10' TYPE A BUFFER YARD PLANTING REQUIREMENTS ALONG
VILLAGE PARK DR:
CANOPY TREES - (10' LF) - 1/8" * 3 = 5 REQUIRED
UNDERSTORY TREES - (6' LF) - 1/8" * 2 = 4 REQUIRED
SHRUBS - (4' LF) - 1/8" * 20 = 32 REQUIRED

SITE PLAN NOTES:

- ALL PAVEMENT MARKINGS, INCLUDING TRAFFIC CONTROL, STOP BARS, FIRE LANES, CROSSWALKS, ETC. SHALL BE MADE WITH REFLECTORIZED THERMOPLASTIC STRIPING WITH A MINIMUM THICKNESS IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES
- ALL PROPOSED SIGNAGE IS REVIEWED AND APPROVED THROUGH A SEPARATE SIGN PERMIT REVIEW PROCESS. ALL SIGNAGE MUST COMPLY WITH CHAPTER 8 OF THE UDO

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PROJECT No.: NCB230070
DRAWN BY: DW
CHECKED BY: RG
DATE: 02/05/2024
CAD ID:

PROJECT:

MASTER PLAN

FOR

PROPOSED DEVELOPMENT
4012 VILLAGE PARK DRIVE
KNIGHTDALE, NC 27545
WAKE COUNTY

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SC COA NO. 4810
4130 PARKLAKE AVENUE, SUITE 200
RALEIGH, NC 27612
Phone: (919) 578-9000
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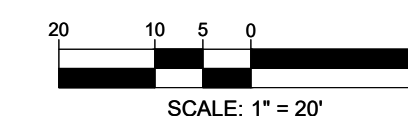
SHEET TITLE:

**UTILITY
PLAN**

SHEET NUMBER:

C-501

ORG. DATE - 02/05/2024



No	Rev./Submissions	Date
	PLANNING	//
SCALE	PROJECT NO	
1/4" = 1'-0"	231202	
DESIGNED	DATE	
RSR	25 JUNE 24	
DRAWN	CHECKED	
RSR	RSR	

NOTE:
ALL ROOFTOP EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.



NOTE:
ALL ROOFTOP EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.

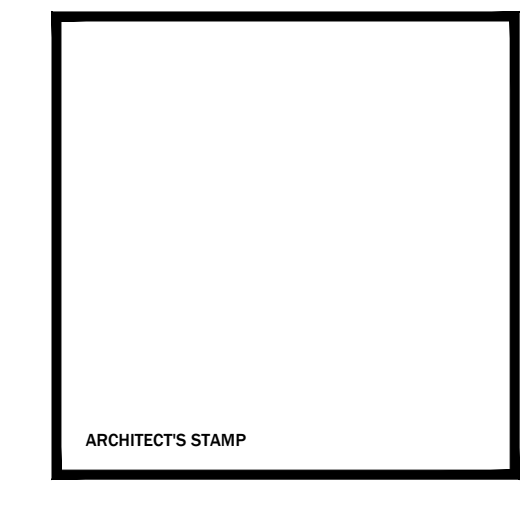
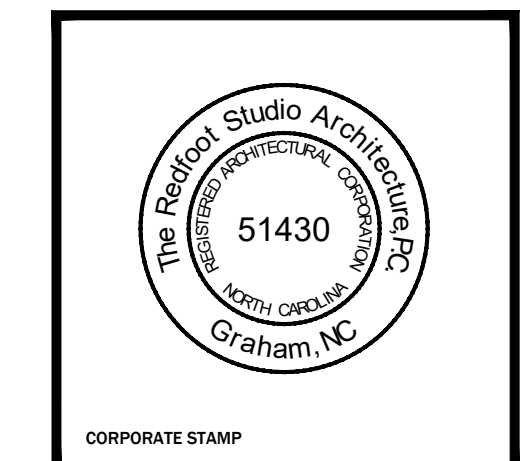


FINISHES:
 STOREFRONT: ANODIZED BLACK ALUMINUM
 METAL WALL PANELS: ANODIZED BLACK ALUMINUM
 METAL AWNING: ANODIZED BLACK ALUMINUM
 BRICK 1: BLACKSON BRICK, LIGHT GREY WIRECUT
 BRICK 2: WATSONTOWN BRICK, DARK GREY WIRECUT
 BRICK 3: WATSONTOWN BRICK, BLACK MATTE



THE REDFOOT STUDIO ARCHITECTURE PC
2015 SAKAIPPAH LANE, ELEM CHURCH ROAD, WELLSVILLE, NC 28691
(817) 867-7130 MAIL@REDFOOTSTUDIO.COM WWW.REDFOOTSTUDIO.COM

MEDICAL OFFICE BUILDING KNIGHTDALE, NORTH CAROLINA



No	Rev./Submissons	Date
	PLANNING	//

SCALE	PROJECT NO
1/4" = 1'-0"	231202
DESIGNED	DATE
RSR	25 JUNE 24
DRAWN	CHECKED
RSR	RSR

SOUTH & WEST ELEVATIONS

DRAWING NO
A2.1



FINISHES:
 STOREFRONT: ANODIZED BLACK ALUMINUM
 METAL WALL PANELS: ANODIZED BLACK ALUMINUM
 METAL AWNING: ANODIZED BLACK ALUMINUM
 BRICK 1: BLACKSON BRICK, LIGHT GREY WIRECUT
 BRICK 2: WATSONTOWN BRICK, DARK GREY WIRECUT
 BRICK 3: WATSONTOWN BRICK, BLACK MATTE