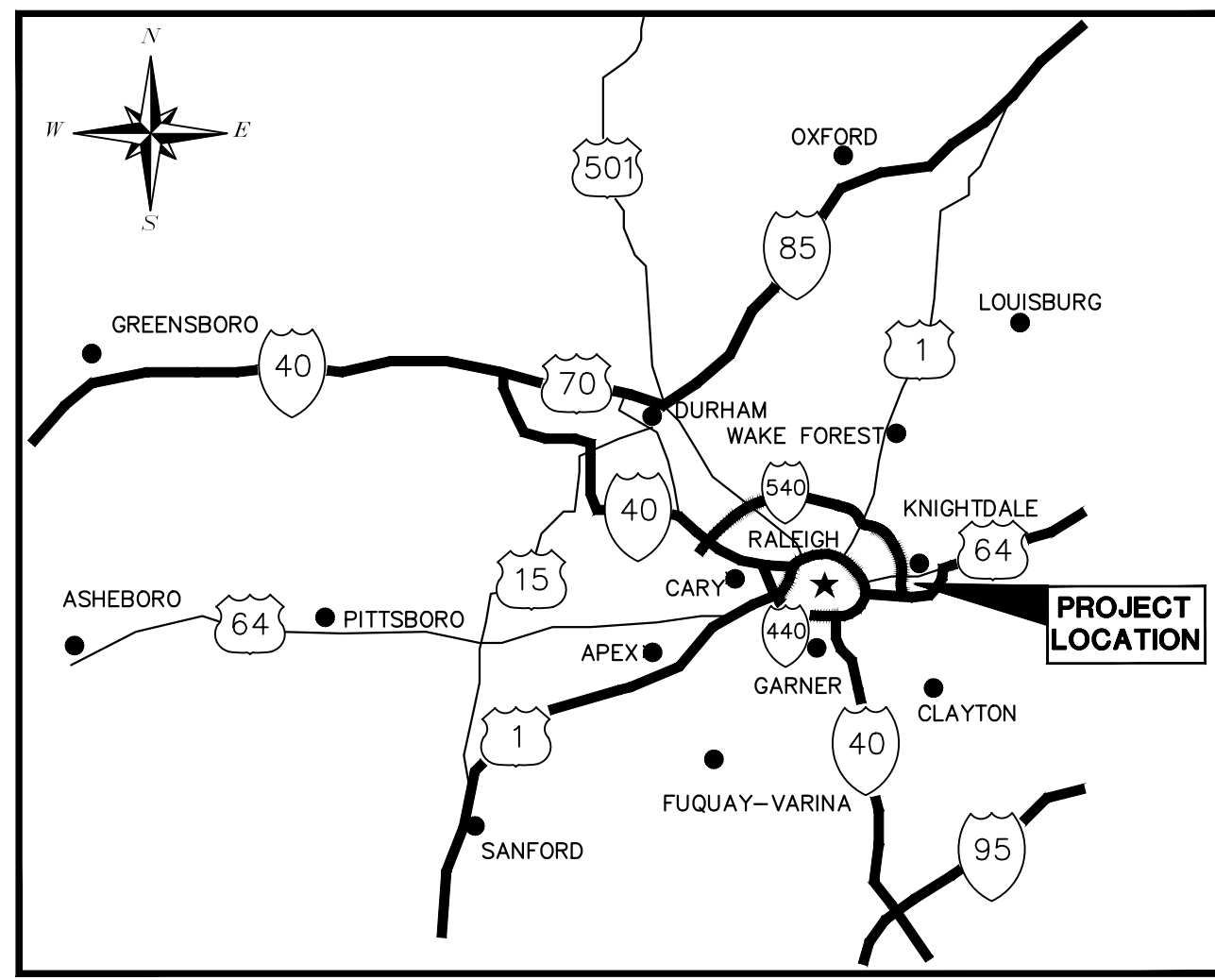


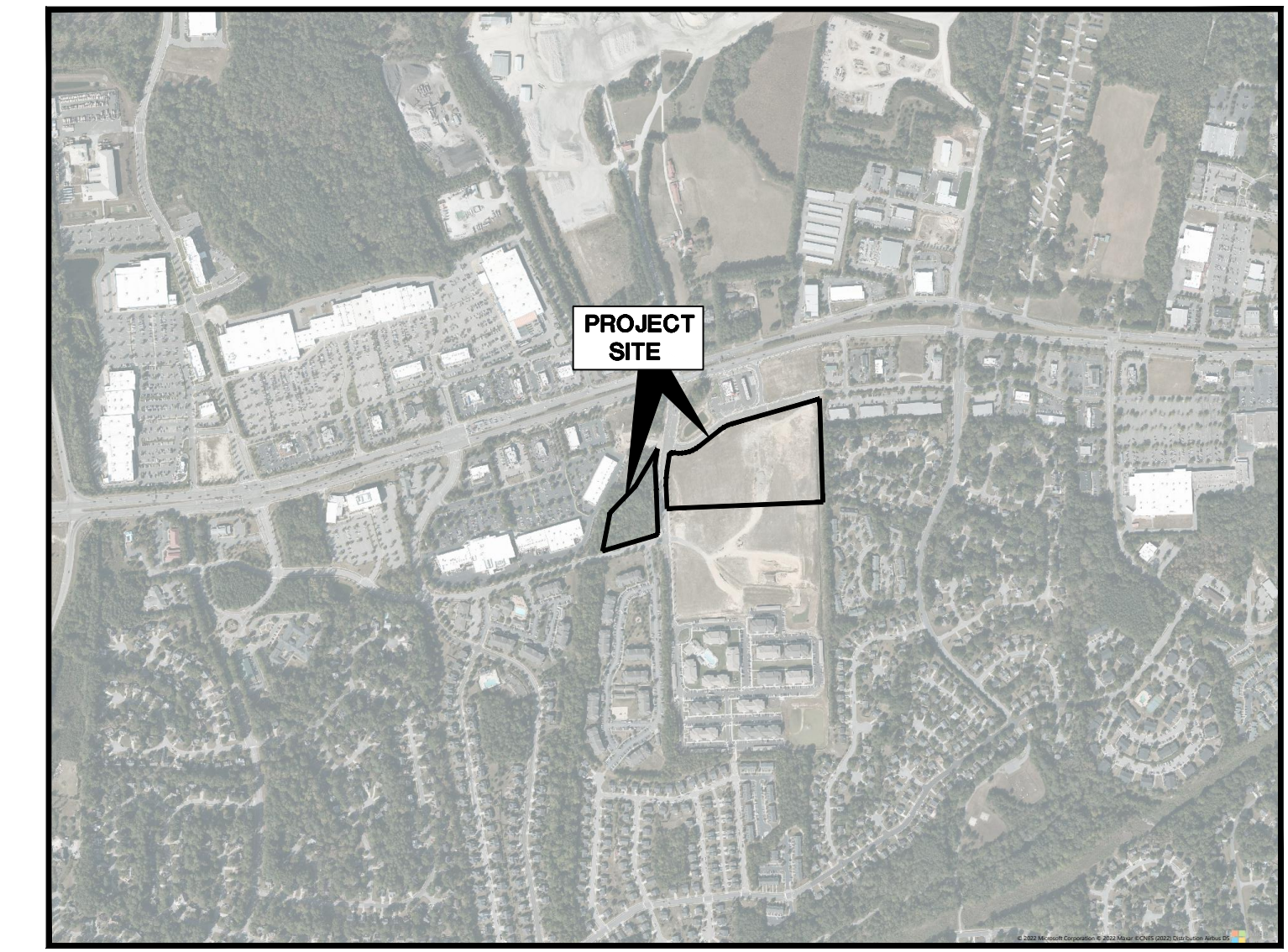
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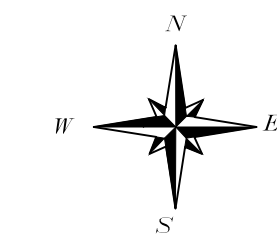
PROJECT LOCATION
NTS

MASTER PLAN SUBMITTAL FOR: DEWITT KNIGHTDALE MIXED-USE

901 PARKSTONE TOWNE BOULEVARD
KNIGHTDALE, NC 27545
TOWN OF KNIGHTDALE PROJECT #ZMA-15-21



VICINITY MAP



SCALE: 1" = 1000'

SITE DATA	
EXISTING ZONING:	HBCD, HB
EXISTING USE:	UNDEVELOPED
PROPOSED ZONING:	NMX
PROPOSED USE:	MIXED USE (MULTI-FAMILY RESIDENTIAL, COMMERCIAL AND HOTEL)
MIXED USE SITE AREA:	11.02 ACRES
HOTEL USE SITE AREA:	3.07 ACRES
TOTAL SITE AREA:	14.02 ACRES
PROPERTY SETBACKS:	PRIMARY STREET = 10' ADJACENT TO UR-12 OR RMX = 10' ADJACENT TO GR8 = 30' ADJACENT TO NMX OR HB = 0'
PROJECT DATA	
PIN#	1744-84-3799
MIXED-USE PROPOSED # OF BUILDINGS	5 (105,250 GSF TOTAL)
BUILDING LOT COVERAGE	21.92% (105,250 SF/480,153 SF)
VEHICULAR SURFACE AREA	36.51% (175,322 SF/480,153 SF)
HOTEL:	
BUILDING LOT COVERAGE:	13.28% (17,327 SF/130,464 SF)
VEHICULAR SURFACE AREA(NEW):	29.83% (38,921 SF/130,464 SF)
PARKING FOR MIXED-USE LOT:	COMMERCIAL: TOTAL RETAIL = 29,200 SF TOTAL NON-RESIDENTIAL = 6,380 SF RETAIL MAXIMUM: 6 PER KSF OF GFA = 29.2 KSF RETAIL * 6 = 175 SPACES MINIMUM: 1/2 OF MAXIMUM=88 SPACES RESIDENTIAL MAXIMUM: 1.5 SPACES PER BED UP TO 3 PER UNIT 1 BED: 104 UNITS = 156 SPACES 2-3 BED: 186 UNITS = 558 SPACES TOTAL RESIDENTIAL MAXIMUM = 714 SPACES MINIMUM: 1/2 OF MAXIMUM=357 SPACES MINIMUM ELECTRIC VEHICLE CHARGING STATIONS REQUIRED: 10 STATIONS MAXIMUM ALLOWED: 889 SPACES MINIMUM REQUIRED: 445 SPACES TOTAL PARKING PROVIDED: 493 SPACES (INCLUDES 10 ADA AND 10 EV) TOTAL GARAGES PROVIDED: 48
PARKING FOR HOTEL LOT:	TOTAL LOUNGE = 3,167 SF TOTAL CONFERENCE ROOM = 1,120 SF TOTAL GATHERING AREA = 1,733 SF MAXIMUM: 1.25 PER GUEST ROOM + 10 PER KSF LOUNGE + 25 PER KSF CONFERENCE ROOM 124 ROOMS * 1.25 + 3,167 KSF LOUNGE * 10 + 1,120 KSF CONFERENCE ROOM * 25 = 210 SPACES =105 SPACES MINIMUM ELECTRIC VEHICLE CHARGING STATIONS REQUIRED: 3 STATIONS TOTAL PROVIDED: 108 SPACES (INCLUDES 3 EV AND 5 ADA)
ON-STREET PARKING PROVIDED:	40 SPACES
TOTAL PARKING PROVIDED:	643 SPACES

ACCESSIBLE PARKING:	REQUIRED SPACES = 14 (INCLUDING 2 VAN SPACES) PROVIDED ADA: 15 SPACES PROVIDED VAN: 2 SPACES
BIKE PARKING FOR MIXED USE LOT:	COMMERCIAL: 1 PER EVERY 10 CAR SPACES 58 CAR SPACES = 6 BIKE SPACES RESIDENTIAL: 1 PER EVERY 20 CAR SPACES 374 CAR SPACES = 19 BIKE SPACES TOTAL REQUIRED: 25 SPACES TOTAL PROVIDED: 25 SPACES
BIKE PARKING FOR HOTEL LOT:	TOTAL REQUIRED: 1 PER EVERY 10 CAR SPACES 108 CAR SPACES = 11 BIKE SPACES TOTAL PROVIDED: 11 SPACES
ALLOWABLE IMPERVIOUS AREA TO POND 2	22.28 AC
EX. IMPERVIOUS AREA	9.57 AC
PROP. MIXED-USE IMP. AREA	7.48 AC
REMAINING ADDITIONAL IMPERVIOUS AREA ALLOWED FOR POND 2	5.23 AC
OPEN SPACE ACREAGE:	SITE AREA: 586,416 SF (13.46 AC) MF UNITS: 290 RESIDENTIAL UNITS BEDROOMS: 516 OUTSIDE 1/4 MILE = 290 BR * 580 = 168,200 SF TOTAL REQUIRED OPEN SPACE: 168,200 SF REQUIRED ACTIVE OPEN SPACE: 50% OF TOTAL (84,100 SF) TOTAL PROVIDED ACTIVE OPEN SPACE: 42,640 SF (51% OF REQUIRED) REQUIRED PASSIVE OPEN SPACE: 50% OF TOTAL (84,100 SF) TOTAL PROVIDED PASSIVE OPEN SPACE: 58,140 SF (69% OF REQUIRED) TOTAL PROVIDED OPEN SPACE: 100,780 SF (60% OF REQUIRED)
TOTAL NUMBER OF PARCELS:	TWO (2)
TOTAL NUMBER OF HOUSING UNITS:	290
GROSS PROJECT DENSITY PER ACRE:	22.44
CONTROL POINT:	NGCS "GORE" ELEV: 324.31 NORTHING: 745865.08 EASTING: 2151017.85

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C2.1	SIGNAGE AND PAVEMENT MARKING PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	UTILITY PLAN
C5.0	OPEN SPACE PLAN
LS1.0	LANDSCAPE PLAN
LS2.0	LANDSCAPE DETAILS
11.0-11.1	LIGHTING PLAN
12.0	LIGHTING DETAILS
A1.0-A1.1	HOTEL ARCHITECTURAL ELEVATIONS
A3.01-A3.08	MULTI-USE BUILDING ARCHITECTURAL ELEVATIONS

PROJECT OWNER AND CONSULTANT

SITE DEVELOPER: KNIGHTDALE DEVELOPMENT COMPANY LLC AND WIDEWATERS KNIGHTDALE II COMPANY
 PO BOX 3
 DE WITT, NY 13214
 PHONE: (704) 746-9844
 ATTN: ERIC CANDEE
 ecandee@widewaters.com

CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC.
 421 FAYETTEVILLE ST., SUITE 600
 RALEIGH, NORTH CAROLINA 27601
 PHONE: (919) 653-2927
 ATTN: CHRIS BOSTIC, P.E.
 chris.bostic@kimley-horn.com

LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC.
 421 FAYETTEVILLE ST., SUITE 600
 RALEIGH, NORTH CAROLINA 27601
 PHONE: (919) 653-2945
 ATTN: RICHARD BROWN, PLA
 richard.brown@kimley-horn.com

SURVEYOR: RWK, P.A.
 101 W. MAIN ST., SUITE 202
 GARNER, NC 27529
 PHONE: (919) 779-4854
 ATTN: CHUCK PIRATZKY
 cpiratzky@rwkpa.com

PREPARED IN THE OFFICE OF:

Kimley»»Horn

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 421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601
 PHONE: (919) 677-2000

NC CERTIFICATE OF AUTHORIZATION: F-0102

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

WATER ALLOCATION: PREVIOUSLY APPROVED WITH OVERALL MIXED-USE PARKSTONE DEVELOPMENT

PRELIMINARY
 NOT FOR CONSTRUCTION

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FEBRUARY 03, 2023

SEAL:

JOB NUMBER:
017254013

DEWITT KNIGHTDALE
 PREPARED FOR
 WIDEWATERS
 TOWN OF KNIGHTDALE
 NORTH CAROLINA

COVER SHEET

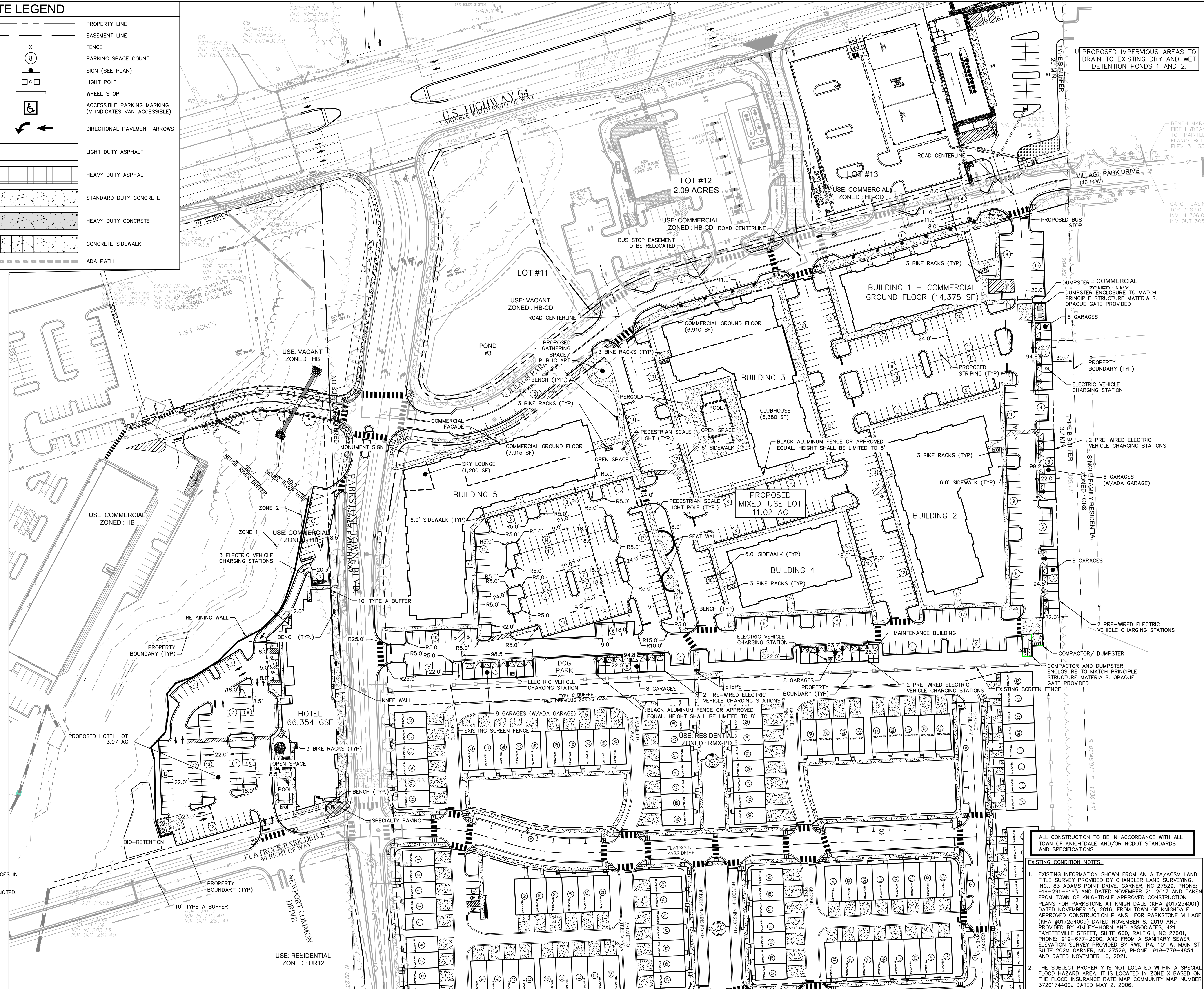
KHA PROJECT
 017254013
 DATE
 02/03/2023
 SCALE AS SHOWN
 DESIGNED BY KEU
 DRAWN BY KEU
 CHECKED BY COB

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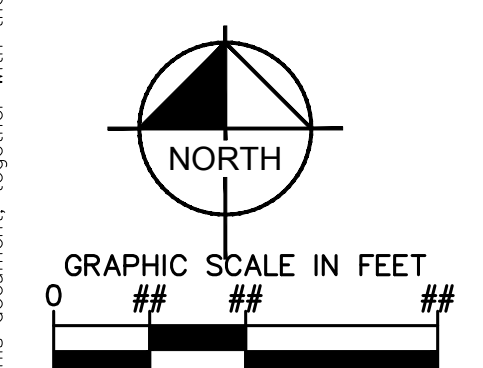
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SITE LEGEND	
	PROPERTY LINE
	EASEMENT LINE
	FENCE
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	STANDARD DUTY CONCRETE
	HEAVY DUTY CONCRETE
	CONCRETE SIDEWALK
	ADA PATH



- NOTE:
1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET. (UNLESS OTHERWISE STATED)
 2. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- EXISTING CONDITION NOTES:
1. EXISTING INFORMATION SHOWN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY CHANDLER LAND SURVEYING, INC., 83 ADAMS POINT DRIVE, GARNER, NC 27529. PHONE: 919-291-9163 AND DATED NOVEMBER 21, 2017 AND TAKEN FROM TOWN OF KNIGHTDALE APPROVED CONSTRUCTION PLANS FOR PARKSTONE AT KNIGHTDALE (KHA #017254001) DATED NOVEMBER 15, 2016, FROM TOWN OF KNIGHTDALE APPROVED CONSTRUCTION PLANS FOR PARKSTONE VILLAGE (KHA #017254009) DATED NOVEMBER 8, 2019 AND PROVIDED BY KIMLEY-HORN AND ASSOCIATES, 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601. PHONE: 919-677-2000, AND FROM A SANITARY SEWER ELEVATION SURVEY PROVIDED BY RWK, PA, 101 W. MAIN ST SUITE 2024 GARNER, NC 27529. PHONE: 919-779-4854 AND DATED NOVEMBER 10, 2021.
 2. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. IT IS LOCATED IN ZONE X BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720174400J DATED MAY 2, 2006.

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KHA PROJECT
017254013
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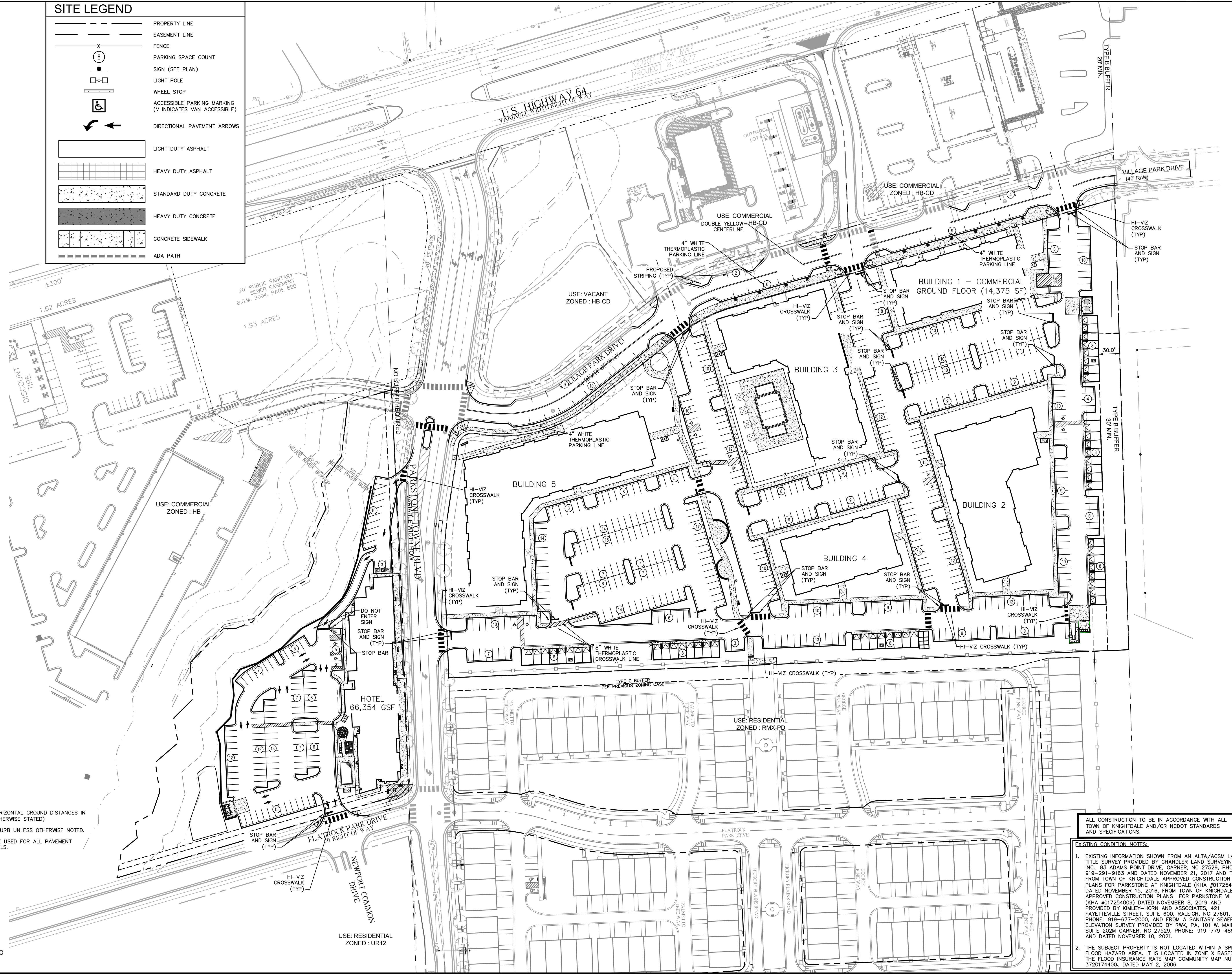
SITE PLAN

DEWITT KNIGHTDALE
 PREPARED FOR
WIDEWATERS
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 SHEET NUMBER
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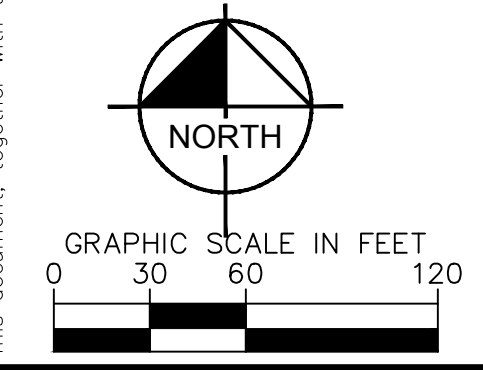
Plotted by: Larson, Sydney; Sheet Set: DeWitt Knightdale; Location: C2.1 SIGNAGE AND PAVEMENT MARKING PLAN; February 03, 2023; 11:14:13am; K:\RAL-LEVA\017254013_DeWitt Knightdale\Planning Phase\15_CAD Files\PlanSheets\C2.1_SIGNAGE AND PAVEMENT MARKING PLAN.dwg; This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

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 - THERMOPLASTIC STRIPING TO BE USED FOR ALL PAVEMENT STRIPING EXCEPT PARKING STALLS.



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KHA PROJECT	017254013
DATE	02/03/2023
SCALE	AS SHOWN
DESIGNED BY	KEU
DRAWN BY	KEU
CHECKED BY	COB

SIGNAGE AND PAVEMENT MARKING PLAN

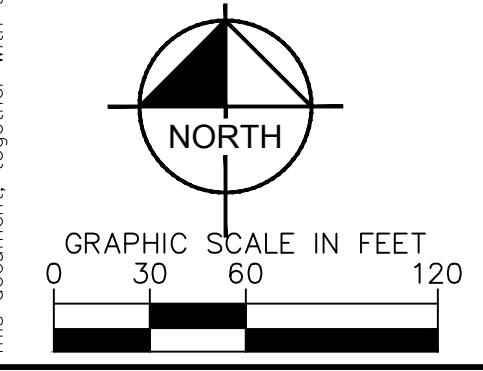
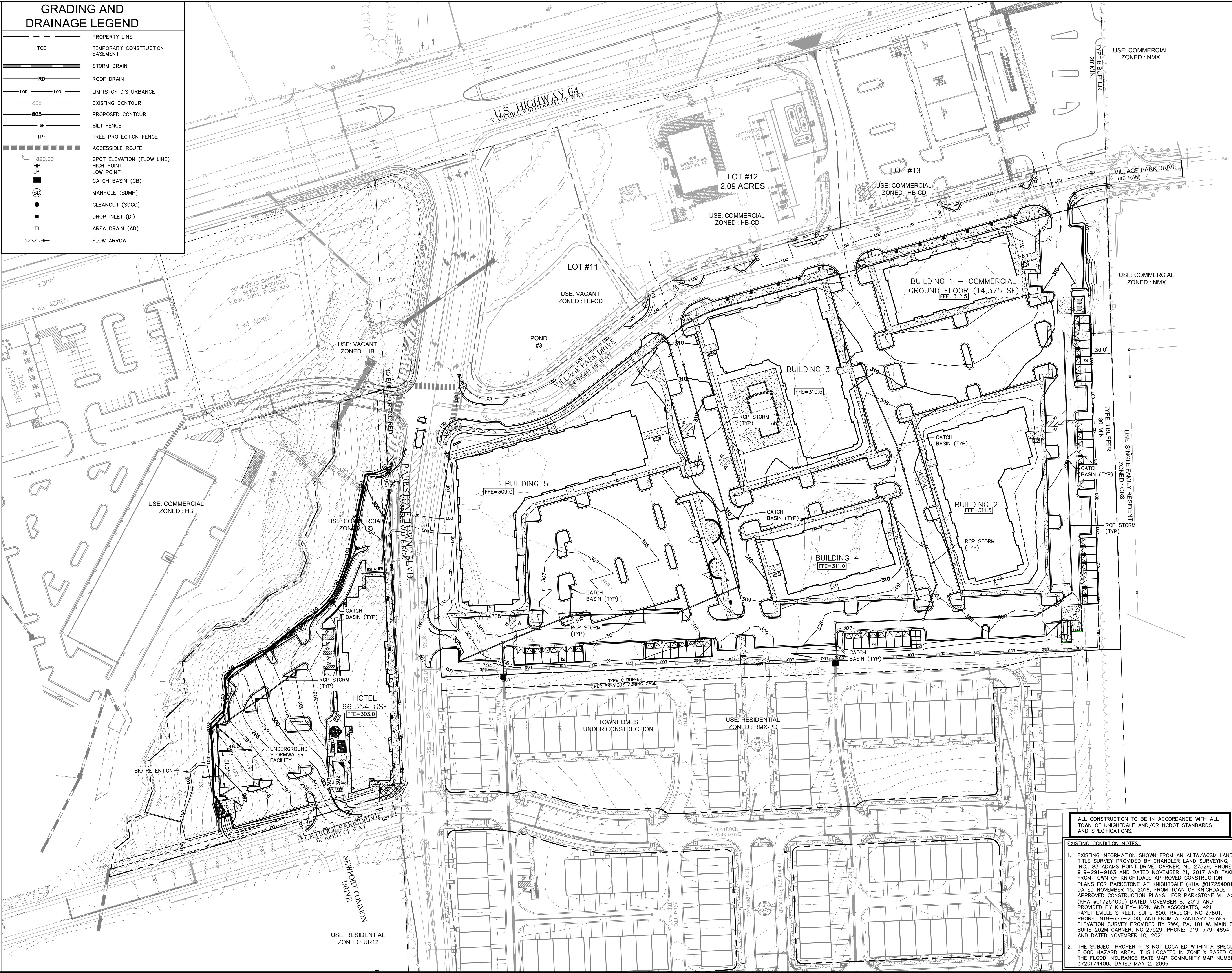
DEWITT KNIGHTDALE
 PREPARED FOR
WIDEWATERS

TOWN OF KNIGHTDALE
 NORTH CAROLINA

SHEET NUMBER
C2.1

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GRADING AND DRAINAGE LEGEND	
	PROPERTY LINE
	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN
	ROOF DRAIN
	LIMITS OF DISTURBANCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SILT FENCE
	TREE PROTECTION FENCE
	ACCESSIBLE ROUTE
	SPOT ELEVATION (FLOW LINE)
	HIGH POINT
	LOW POINT
	CATCH BASIN (CB)
	MANHOLE (SDMH)
	CLEANOUT (SDCO)
	DROP INLET (DI)
	AREA DRAIN (AD)
	FLOW ARROW



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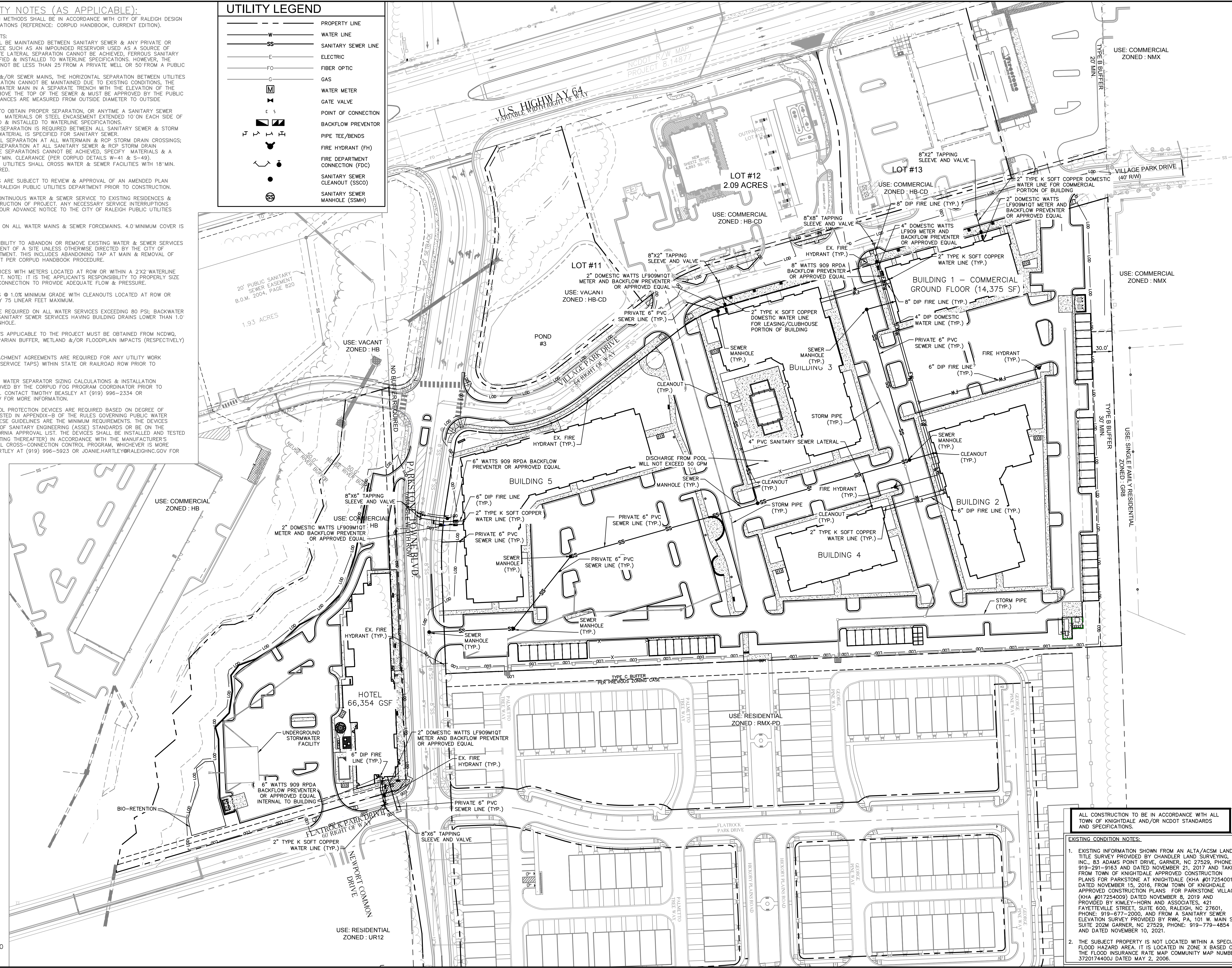
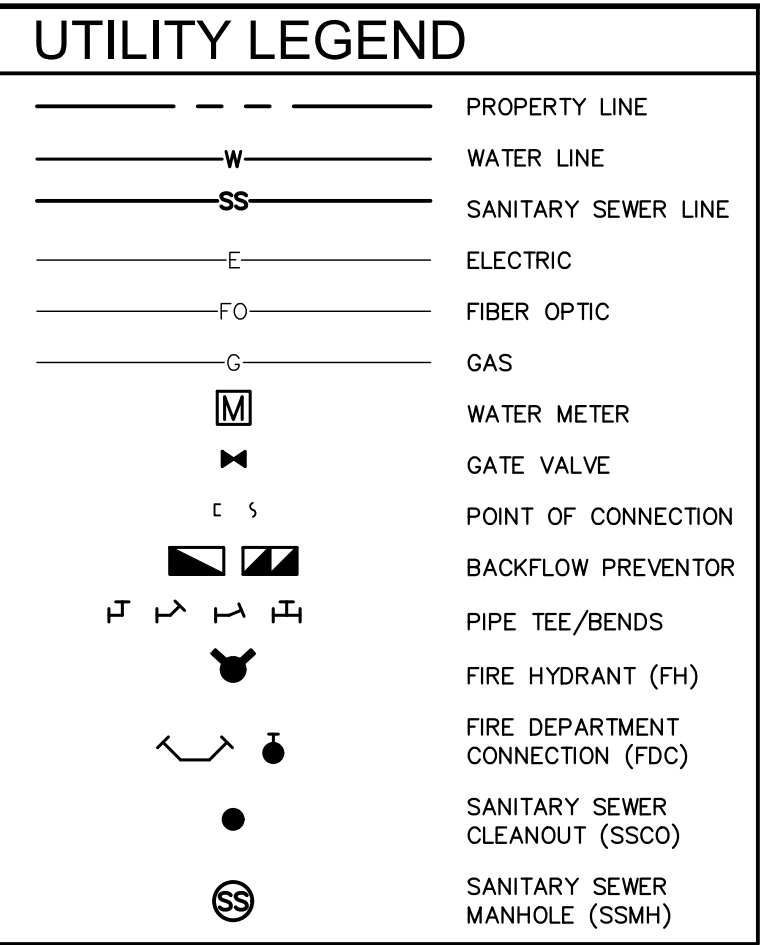
KHA PROJECT	017254013
DATE	02/03/2023
SCALE	AS SHOWN
DESIGNED BY	KEJ
DRAWN BY	KEJ
CHECKED BY	COB

GRADING AND DRAINAGE PLAN

DEWITT KNIGHTDALE
 PREPARED FOR
WIDEWATERS
 NORTH CAROLINA
 TOWN OF KNIGHTDALE
 SHEET NUMBER
C3.0

- STANDARD UTILITY NOTES (AS APPLICABLE):**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10' IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS. THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAL FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIMOTHY BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

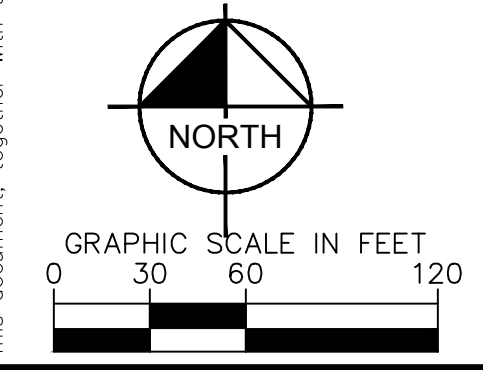
NOTE:
ALL FDC WILL BE WITHIN 50'
OF A FIRE HYDRANT.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

EXISTING CONDITION NOTES:

- EXISTING INFORMATION SHOWN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY CHANDLER LAND SURVEYING, INC., 83 ADAMS POINT DRIVE, GARNER, NC 27529. PHONE: 919-291-9163 AND DATED NOVEMBER 21, 2017 AND TAKEN FROM TOWN OF KNIGHTDALE APPROVED CONSTRUCTION PLANS FOR PARKSTONE AT KNIGHTDALE (KHA #017254001) DATED NOVEMBER 15, 2016, FROM TOWN OF KNIGHTDALE APPROVED CONSTRUCTION PLANS FOR PARKSTONE VILLAGE (KHA #017254009) DATED NOVEMBER 8, 2019 AND PROVIDED BY KIMLEY-HORN AND ASSOCIATES, 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601. PHONE: 919-677-2000, AND FROM A SANITARY SEWER ELEVATION SURVEY PROVIDED BY RWK, PA, 101 W. MAIN ST SUITE 2024 GARNER, NC 27529. PHONE: 919-779-4854 AND DATED NOVEMBER 10, 2021.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. IT IS LOCATED IN ZONE X BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720174400J DATED MAY 2, 2006.



Plotted By: Larson, Sydney; Sheet Set: DeWitt Knightdale; Layout: C4.0 UTILITY PLAN; February 03, 2023; 11:16:35am; K:\RAL-LEDA\017254013_Dewitt Knightdale Planning Phase 3_VAD_Files\PlanSheets\C4.0 UTILITY PLAN.dwg
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NO.	REVISIONS	DATE	BY

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-677-2000 FAX: 919-677-2050
WWW.KIMLEY-HORN.COM
#F-1012

KHA PROJECT	017254013
DATE	02/03/2023
SCALE	AS SHOWN
DESIGNED BY	KEJ
DRAWN BY	KEJ
CHECKED BY	COB

UTILITY PLAN

DEWITT KNIGHTDALE
PREPARED FOR
WIDEWATERS

TOWN OF KNIGHTDALE
NORTH CAROLINA

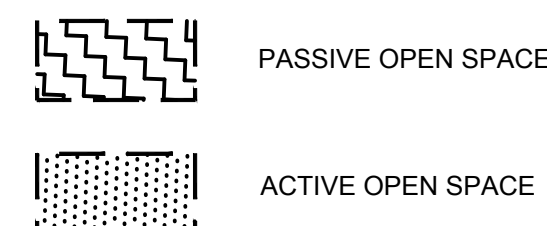
SHEET NUMBER
C4.0

Plotted by: Larson, Sydney | Sheet Set: DeWitt Knightdale - Layout: C5.0 - OPEN SPACE PLAN - February 03, 2023 | 11:17:24am | K:\REAL\LEVA\017254013_Dewitt Knightdale Planning Phase 15-CAD-Files\PlanSheets\C5.0-OPEN SPACE PLAN.dwg
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KEY OPEN SPACE NOTES:

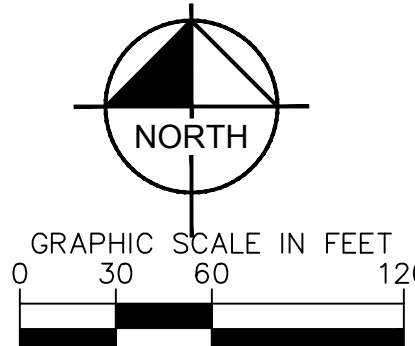
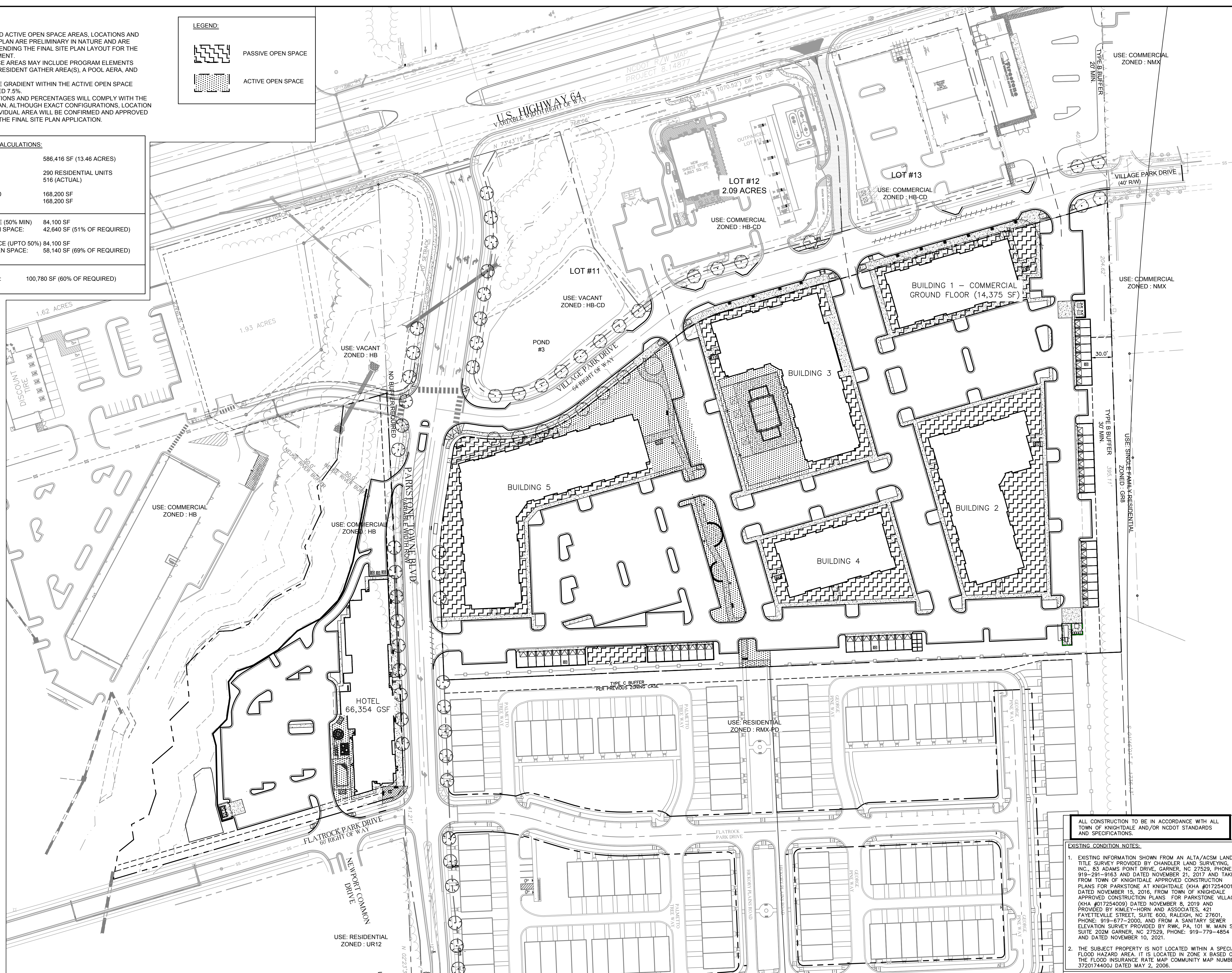
1. THE RECREATIONAL AND ACTIVE OPEN SPACE AREAS, LOCATIONS AND SIZES SHOWN ON THIS PLAN ARE PRELIMINARY IN NATURE AND ARE SUBJECT TO CHANGE PENDING THE FINAL SITE PLAN LAYOUT FOR THE TOWN HOME DEVELOPMENT.
2. THE ACTIVE OPEN SPACE AREAS MAY INCLUDE PROGRAM ELEMENTS SUCH AS A DOG PARK, RESIDENT GATHER AREA(S), A POOL AREA, AND GRILL/PICNIC AREA(S).
3. THE MAXIMUM AVERAGE GRADIENT WITHIN THE ACTIVE OPEN SPACE AREAS WILL NOT EXCEED 7.5%.
4. OPEN SPACE CALCULATIONS AND PERCENTAGES WILL COMPLY WITH THE APPROVED MASTER PLAN, ALTHOUGH EXACT CONFIGURATIONS, LOCATION AND SIZE OF EACH INDIVIDUAL AREA WILL BE CONFIRMED AND APPROVED IN CONJUNCTION WITH THE FINAL SITE PLAN APPLICATION.

LEGEND:



RECREATIONAL OPEN SPACE CALCULATIONS:

SITE AREA:	586,416 SF (13.46 ACRES)
MF UNITS	290 RESIDENTIAL UNITS
BEDROOMS	516 (ACTUAL)
OUTSIDE 1/2 MILE = 290 BR *580	168,200 SF
TOTAL REQUIRED OPEN SPACE	168,200 SF
REQUIRED ACTIVE OPEN SPACE (60% MIN)	84,100 SF
TOTAL PROVIDED ACTIVE OPEN SPACE:	42,640 SF (51% OF REQUIRED)
REQUIRED PASSIVE OPEN SPACE (UPTO 50%)	84,100 SF
TOTAL PROVIDED PASSIVE OPEN SPACE:	58,140 SF (69% OF REQUIRED)
TOTAL PROVIDED OPEN SPACE:	100,780 SF (60% OF REQUIRED)



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

EXISTING CONDITION NOTES:

1. EXISTING INFORMATION SHOWN FROM AN ALTA/ACSM LAND TITLE SURVEY PROVIDED BY CHANDLER LAND SURVEYING, INC., 83 ADAMS POINT DRIVE, GARNER, NC 27529. PHONE: 919-291-9163 AND DATED NOVEMBER 21, 2017 AND TAKEN FROM TOWN OF KNIGHTDALE APPROVED CONSTRUCTION PLANS FOR PARKSTONE AT KNIGHTDALE (KHA #017254001) DATED NOVEMBER 15, 2016, FROM TOWN OF KNIGHTDALE APPROVED CONSTRUCTION PLANS FOR PARKSTONE VILLAGE (KHA #017254009) DATED NOVEMBER 8, 2019 AND PROVIDED BY KIMLEY-HORN AND ASSOCIATES, 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601. PHONE: 919-677-2000, AND FROM A SANITARY SEWER ELEVATION SURVEY PROVIDED BY RWK, PA, 101 W. MAIN ST SUITE 2024 GARNER, NC 27529. PHONE: 919-779-4854 AND DATED NOVEMBER 10, 2021.
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NO.	REVISIONS	DATE	BY

Kimley»Horn
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 WWW.KIMLEY-HORN.COM #F-0102

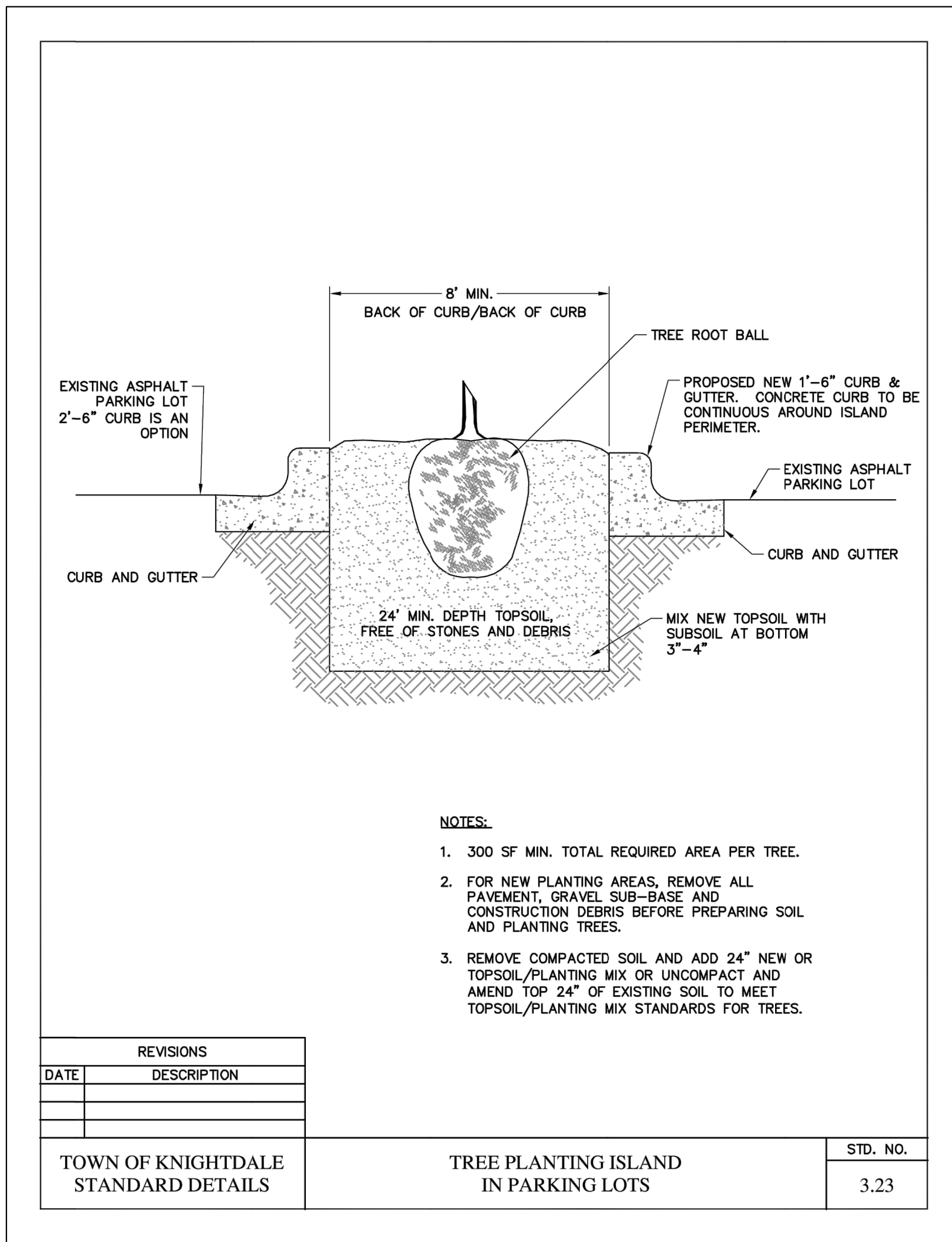
KHA PROJECT	017254013
DATE	02/03/2023
SCALE	AS SHOWN
DESIGNED BY	KEJ
DRAWN BY	KEJ
CHECKED BY	COB

OPEN SPACE PLAN

DEWITT KNIGHTDALE
 PREPARED FOR
WIDEWATERS
 TOWN OF KNIGHTDALE
 NORTH CAROLINA

SHEET NUMBER
C5.0

Plotted By: Larson, Sydney, Sheet Set: DeWitt Knightdale - Landscape Details - February 03, 2023, 11:18:43am, K:\RAL\LOEVA\017254013_Dewitt Knightdale Planting Phase V5_CAD Files\PlanSheets\LS1.1 LANDSCAPE DETAILS.dwg
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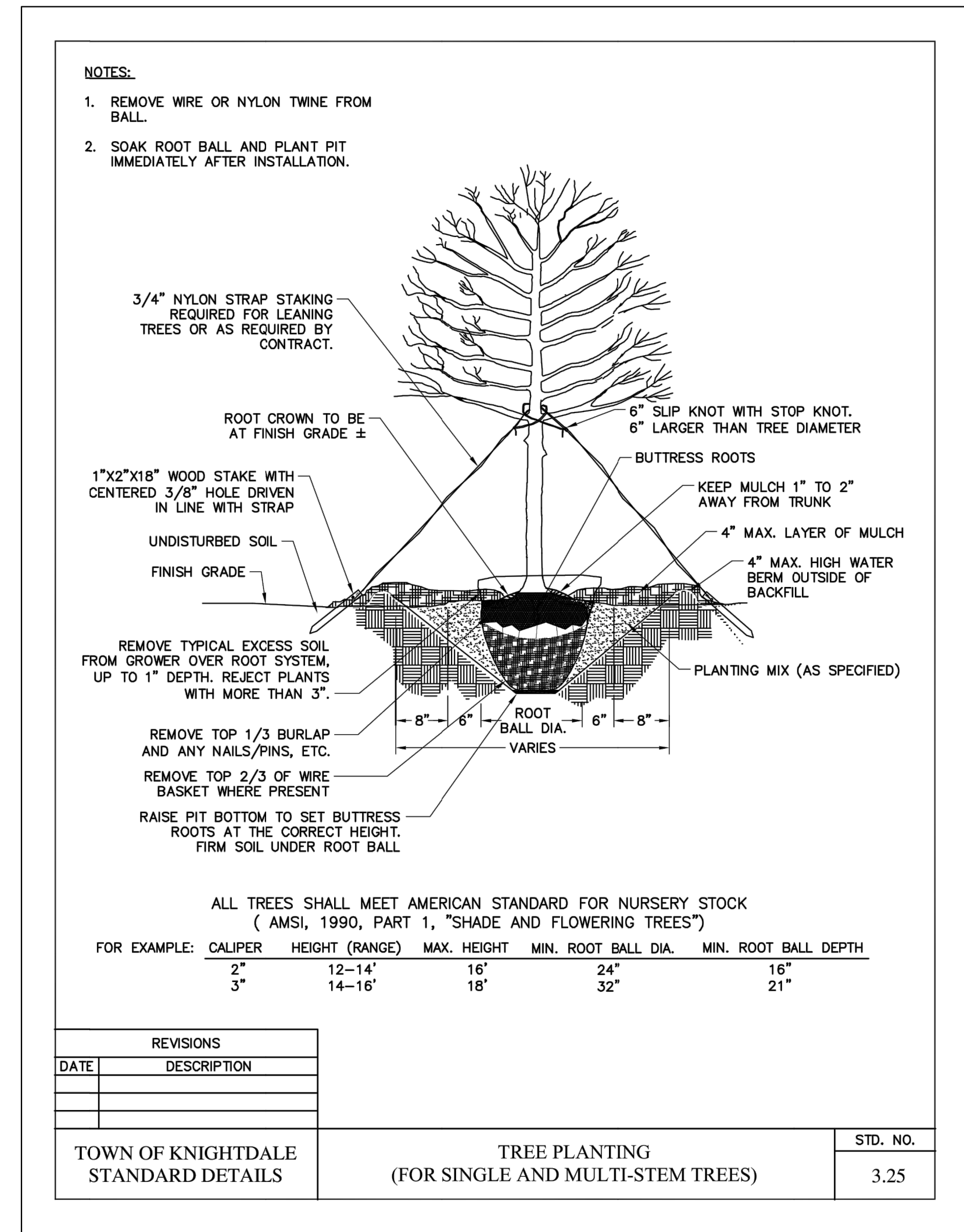


- NOTES:**
- 300 SF MIN. TOTAL REQUIRED AREA PER TREE.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS BEFORE PREPARING SOIL AND PLANTING TREES.
 - REMOVE COMPACTED SOIL AND ADD 24" NEW OR TOPSOIL/PLANTING MIX OR UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES.

REVISIONS		STD. NO.
DATE	DESCRIPTION	

TOWN OF KNIGHTDALE STANDARD DETAILS	TREE PLANTING ISLAND IN PARKING LOTS	3.23
--	---	------

1 TREE PLANTING ISLAND IN PARKING LOTS
L2.0 SCALE: NTS SECTION



- NOTES:**
- REMOVE WIRE OR NYLON TWINE FROM BALL.
 - SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.

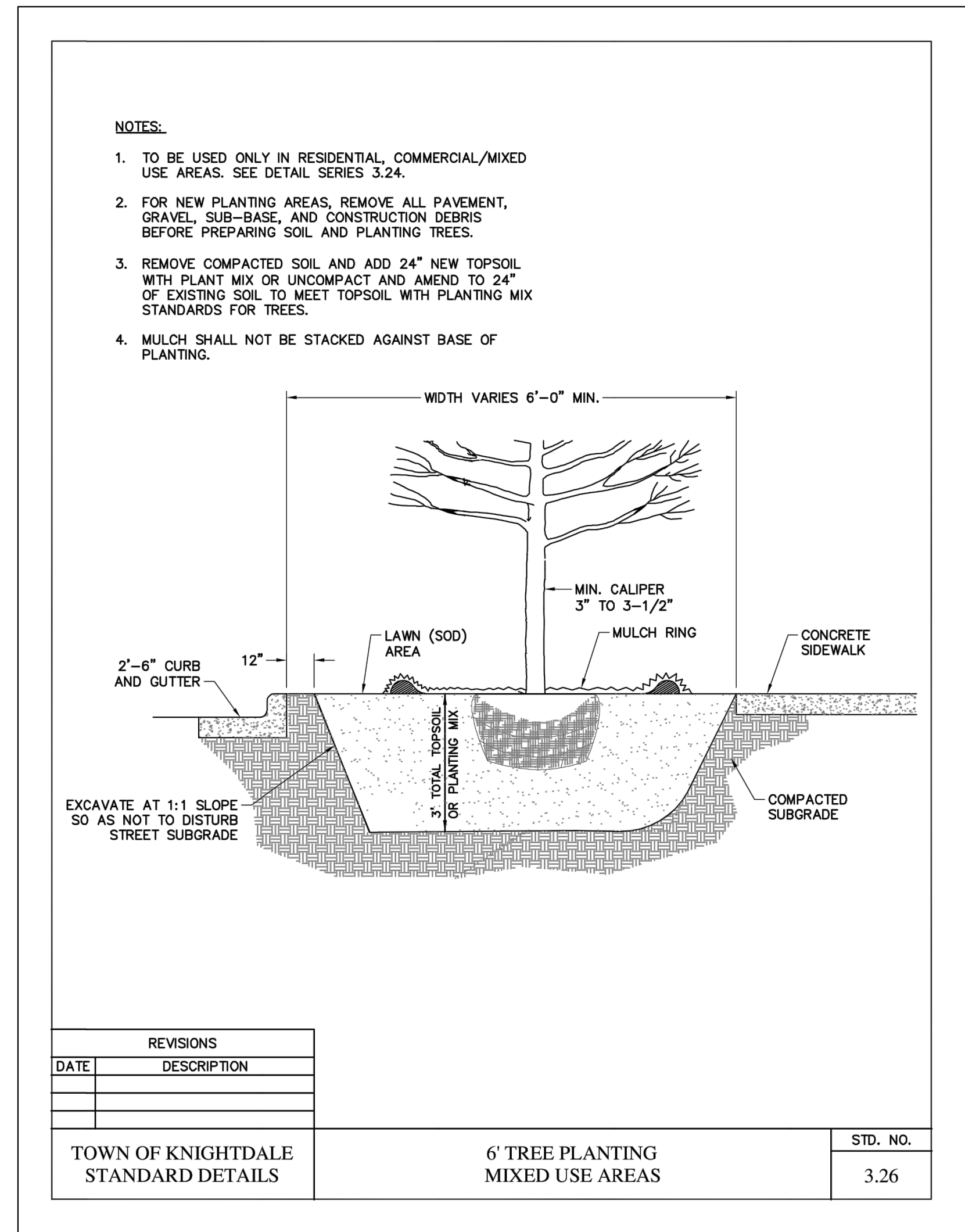
ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (AMSI, 1990, PART 1, "SHADE AND FLOWERING TREES")

FOR EXAMPLE:	CALIPER	HEIGHT (RANGE)	MAX. HEIGHT	MIN. ROOT BALL DIA.	MIN. ROOT BALL DEPTH
	2"	12-14'	16'	24"	16"
	3"	14-16'	18'	32"	21"

REVISIONS		STD. NO.
DATE	DESCRIPTION	

TOWN OF KNIGHTDALE STANDARD DETAILS	TREE PLANTING (FOR SINGLE AND MULTI-STEM TREES)	3.25
--	--	------

2 TREE PLANTING FOR SINGLE AND MULTI-STEM TREES
L2.0 SCALE: NTS SECTION

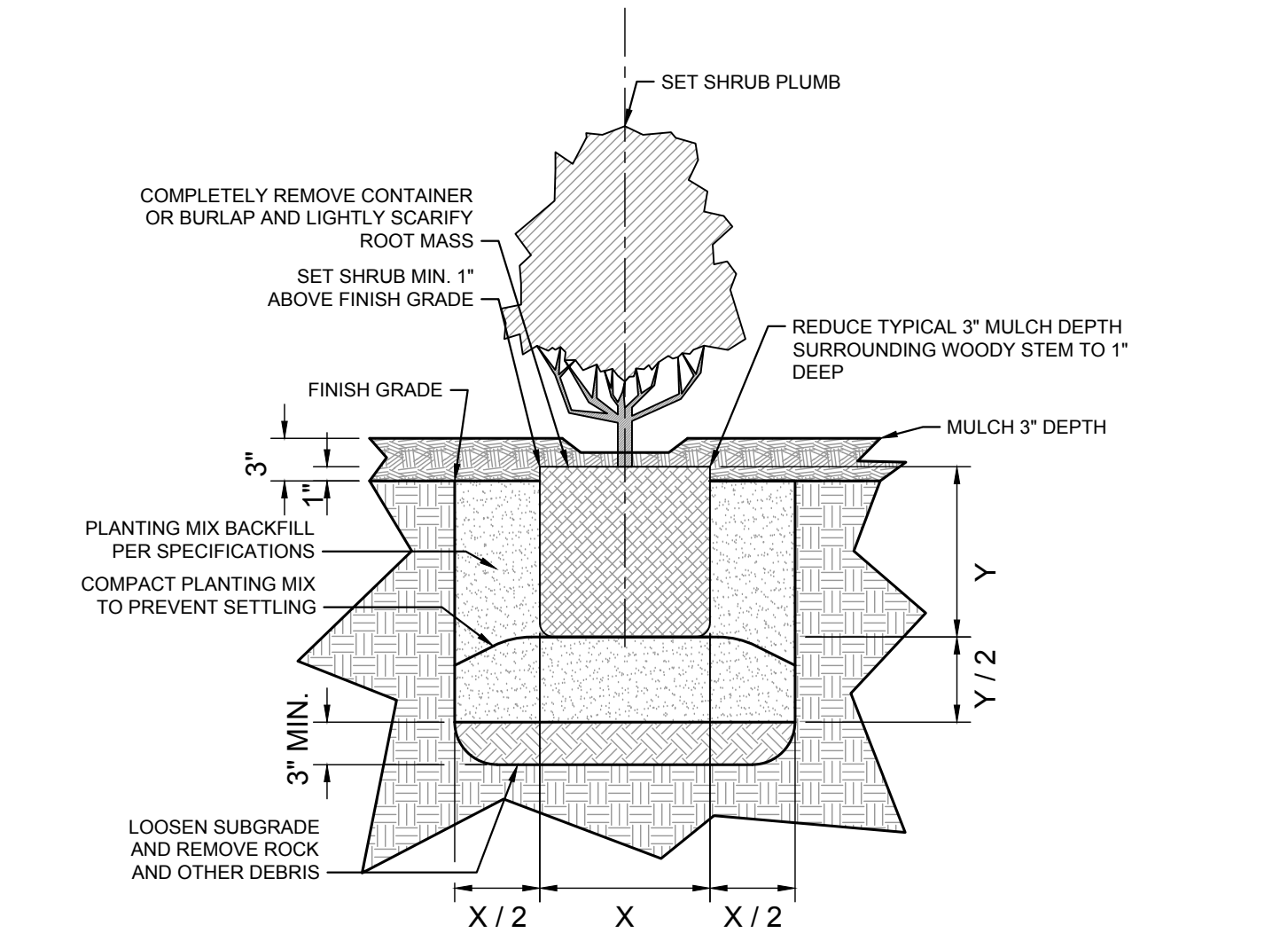


- NOTES:**
- TO BE USED ONLY IN RESIDENTIAL, COMMERCIAL/MIXED USE AREAS. SEE DETAIL SERIES 3.24.
 - FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL, SUB-BASE, AND CONSTRUCTION DEBRIS BEFORE PREPARING SOIL AND PLANTING TREES.
 - REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL WITH PLANT MIX OR UNCOMPACT AND AMEND TO 24" OF EXISTING SOIL TO MEET TOPSOIL WITH PLANTING MIX STANDARDS FOR TREES.
 - MULCH SHALL NOT BE STACKED AGAINST BASE OF PLANTING.

REVISIONS		STD. NO.
DATE	DESCRIPTION	

TOWN OF KNIGHTDALE STANDARD DETAILS	6' TREE PLANTING MIXED USE AREAS	3.26
--	-------------------------------------	------

3 6' TREE PLANTING IN MIXED USE AREAS
L2.0 SCALE: NTS SECTION



- GENERAL LANDSCAPE NOTES:**
- ALL PLANT MATERIAL PRICING SHALL INCLUDE MULCH, BED PREPARATION, AND STAKING.
 - ALL PLANTING BEDS SHALL RECEIVE 3" (THREE INCHES) OF MULCH.
MULCH TYPE FOR PROJECT: TRIPLE GROUND HARDWOOD MULCH OR CURRENT TOWN STANDARD.
 - PLANT MATERIAL SPACING SHOWN ON LANDSCAPE PLANS SHALL OVERRIDE TYPICAL PLANT SPACING INDICATED ON PLANT SCHEDULE. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFYING ALL PLANT SPACING AND MAKING MINOR FIELD ADJUSTMENTS DUE TO UTILITY CONFLICTS.

4 TYPICAL SHRUB PLANTING
L2.0 SCALE: NTS SECTION

GENERAL LANDSCAPE NOTES:

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT SCHEDULE.
- CONTRACTOR SHALL PROCURE ALL TREES OF LIKE SPECIES FROM THE SAME NURSERY. ALL TREES SHALL BE TAGGED AT THE NURSERY BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO THE PROJECT SITE.
- ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL PLANT MATERIAL STORED ON SITE SHALL BE LOCATED OUT OF DIRECT SUNLIGHT.
- ALL SHADE TREES ADJACENT TO PEDESTRIAN WALKWAYS SHALL BE BRANCHED 6'-7' PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES. ALL SHADE TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.
- ALL PLANTING BEDS AND TREE RINGS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH TRIPLE GROUND HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES.
- LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
- SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL OR UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL PLANTING MIX STANDARDS FOR TREES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND UNIFIED DEVELOPMENT ORDINANCE COMPLIANCE. FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
- THE CONTRACTOR SHALL INSTALL BLACK FABRIC MESH UNDER PLANTING BED MULCH TO PREVENT WEED GROWTH.
- CONTRACTOR SHALL MAINTAIN LANDSCAPING FOR AT LEAST 30 DAYS AFTER SODDING AND PLANTING SHRUBS, AND 60 DAYS AFTER SEEDING, OR AS LONG AS IS NECESSARY TO ESTABLISH UNIFORM STAND OF THE SPECIFIED GRASSES, OR UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT, OR UNTIL ACCEPTANCE OF THE LAWNS AND SHRUBS, WHICHEVER IS LATER.
- ALL LANDSCAPE SHALL BE MAINTAINED IN PERPETUITY.

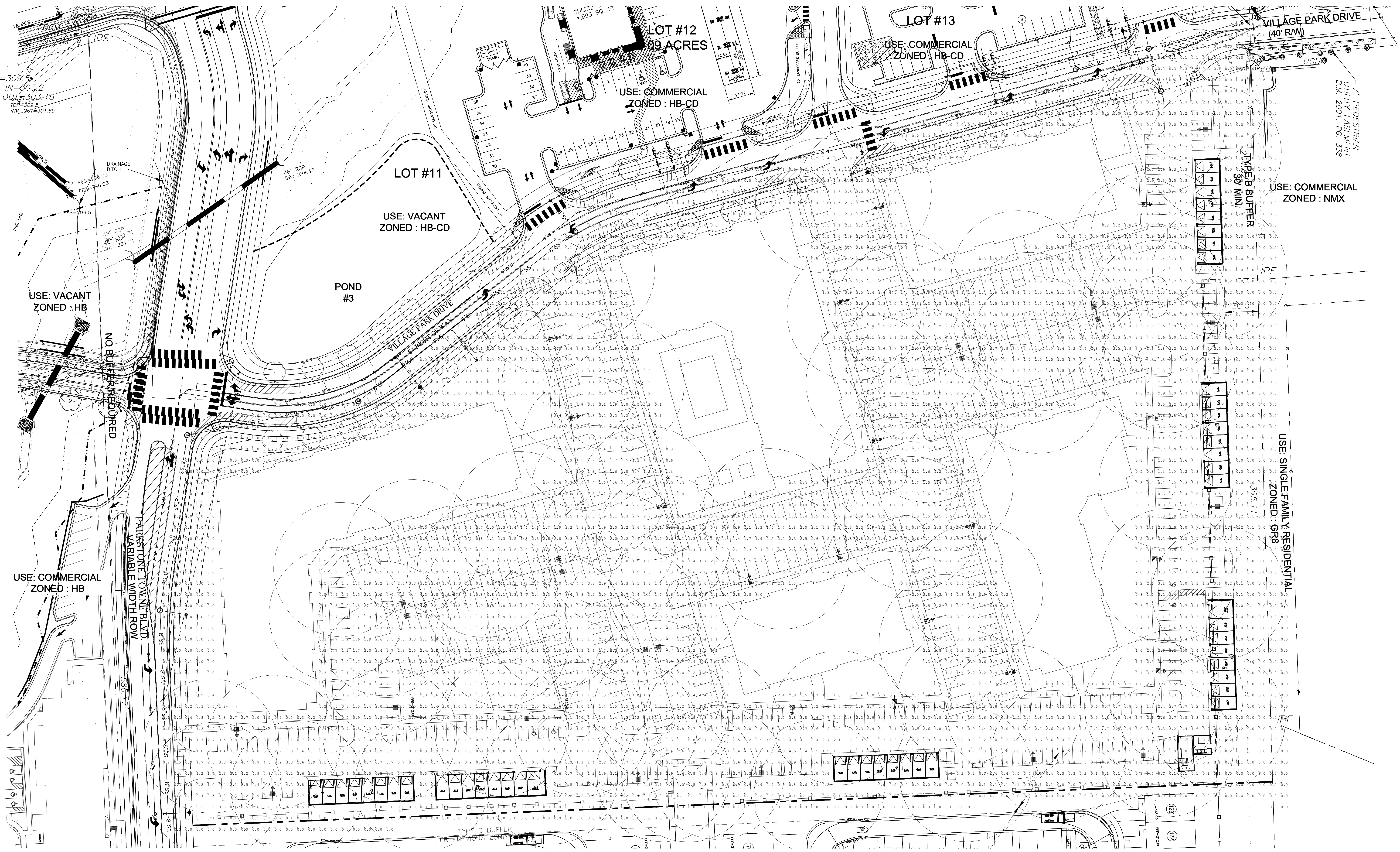
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Kimley»Horn
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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
 PHONE: 919-677-2000 FAX: 919-677-2050
 WWW.KIMLEY-HORN.COM
 #0102

<p>DEWITT KNIGHTDALE PREPARED FOR WIDEWATERS</p>	<p>NORTH CAROLINA TOWN OF KNIGHTDALE</p>										
<p>SHEET NUMBER LS2.0</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><th>No.</th><th>DATE</th></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>	No.	DATE								
No.	DATE										



CB
TOP=309.50
INV. IN=303.2
INV. OUT=303.15
TOP=309.5
INV. OUT=301.65

Calculation Summary

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	FtSpcLr	PtSpcTb
MIXED USE PARKING	Fc	2.29	5.1	0.5	4.58	10.20	10	10
RESIDENTIAL PARKING	Fc	2.14	5.0	0.5	4.28	10.00		

Luminaire Schedule

KNIGHTDALE, NC PLEASE CONTACT STEVE VARDEMAN AT SMVARDEMAN@GMAIL.COM

Symbol	Qty	Label	Lum. Lumens	LLF	Description	Lum. Watts
	5	A	17636	0.950	MRS-LED-18L-SIL-5W-40-70CRI 25' MOUNTING HEIGHT	135
	2	B	17636	0.950	MRS-LED-18L-SIL-5W-40-70CRI 25' MOUNTING HEIGHT	135
	8	C	11444	0.950	MRS-LED-18L-SIL-FT-40-70CRI-IL 25' MOUNTING HEIGHT	135
	18	D	17682	0.950	MRS-LED-18L-SIL-FT-40-70CRI 25' MOUNTING HEIGHT	135

- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES.
 - THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
 - THIS LAYOUT IS BASED ON .IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY.

INNOVATIVE LIGHTING SOLUTIONS

STEVE VARDEMAN
817.925.7322

1300 JENKINS RD.
ALEDO, TX 76008

Project:

KNIGHTDALE, NC

SCALE: 1"= 40'

Notes:

PRICING CONTACT:
STEVE VARDEMAN
817-925-7322

FILE:
KNIGHTDALE.agi

Date:
1-25-22

**INNOVATIVE
LIGHTING
SOLUTIONS**

STEVE VARDEMAN
817.925.7322

1300 JENKINS RD.
ALEDO, TX 76008

Project:

**PARKSTONE
HOTEL**

SCALE: 1"= 20'

Notes:

REV 1: 03/24/22

PRICING CONTACT:
STEVE VARDEMAN
817-925-7322

FILE:

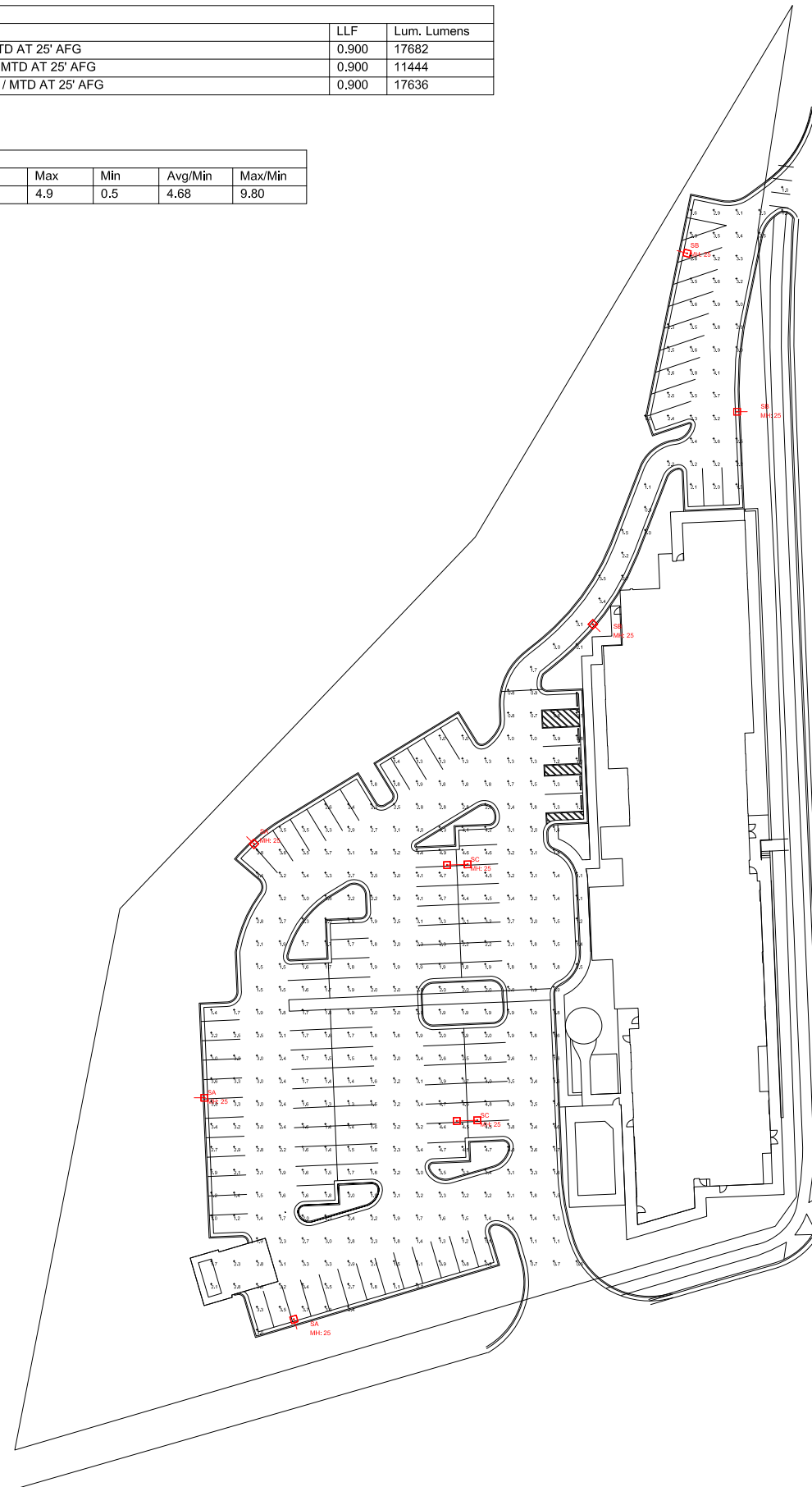
KD-2022-03-24

Date:

03-24-22

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	LLF	Lum. Lumens
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SB	3	SB	SINGLE	MRS-LED-18L-SIL-FT-40-70CRIH / MTD AT 25' AFG	0.900	11444
SC	2	SC	BACK-BACK	(2) MRS-LED-18L-SIL-5W-40-70CRI / MTD AT 25' AFG	0.900	17636

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
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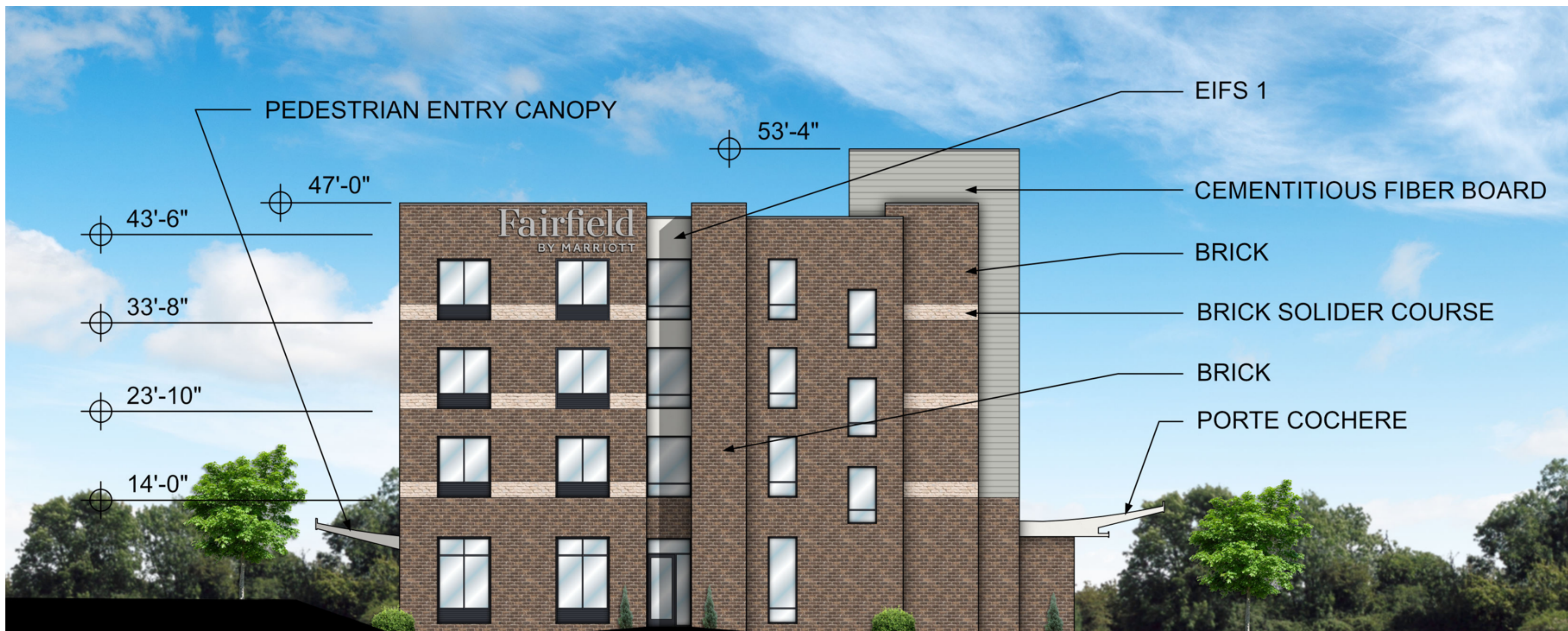


- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINANCES.
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- THIS LAYOUT IS BASED ON .IES FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY.

11.1



WEST ELEVATION



NORTH ELEVATION

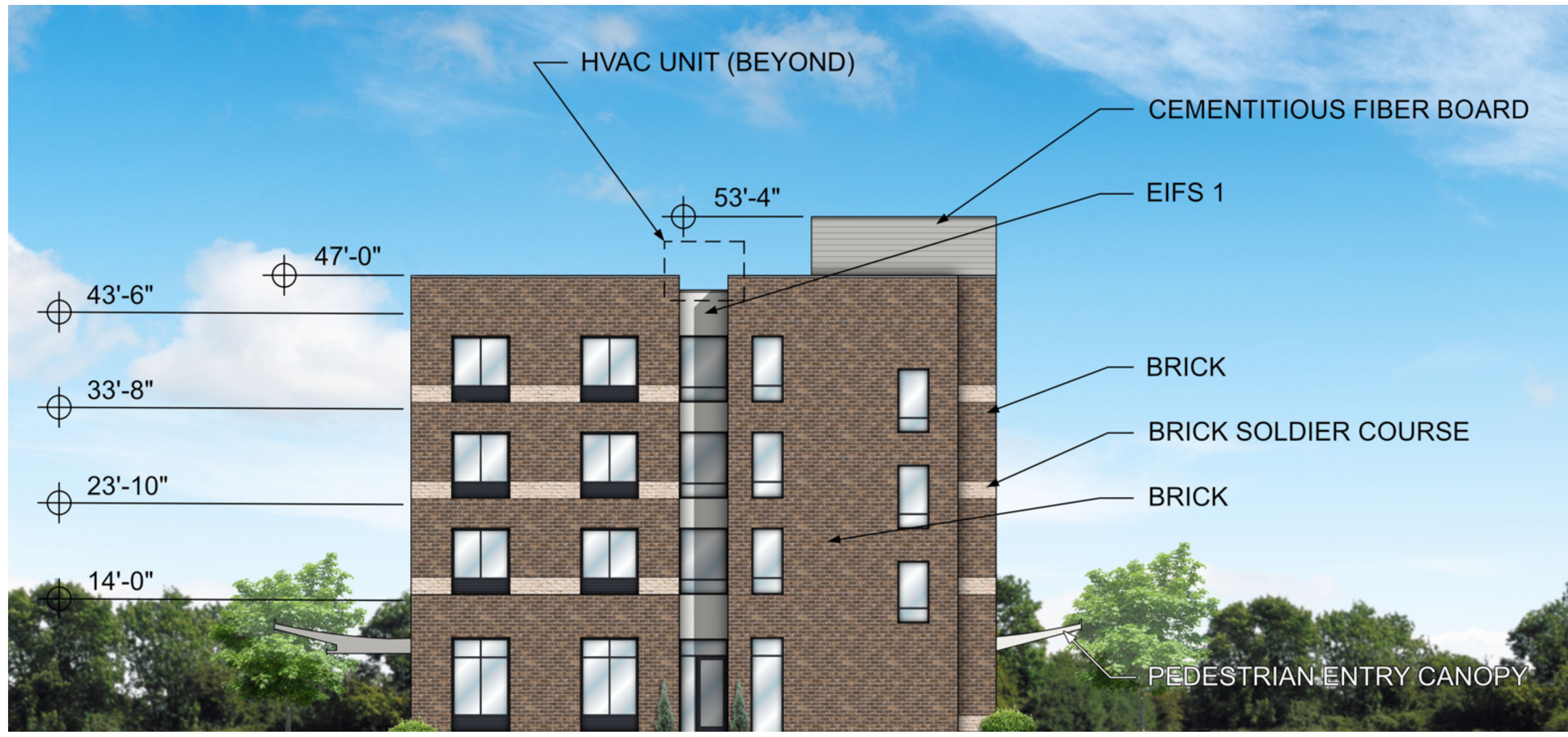
MATERIALS LEGEND	
EIFS 1	
BRICK	
BRICK SOLDIER COURSE	
CEMENTITIOUS FIBER BOARD	

MATERIALS LEGEND	
EIFS 1	
BRICK	
BRICK SOLDIER COURSE	
CEMENTITIOUS FIBER BOARD	



MATERIALS LEGEND	
EIFS 1	
BRICK	
BRICK SOLDIER COURSE	
CEMENTITIOUS FIBER BOARD	

EAST ELEVATION

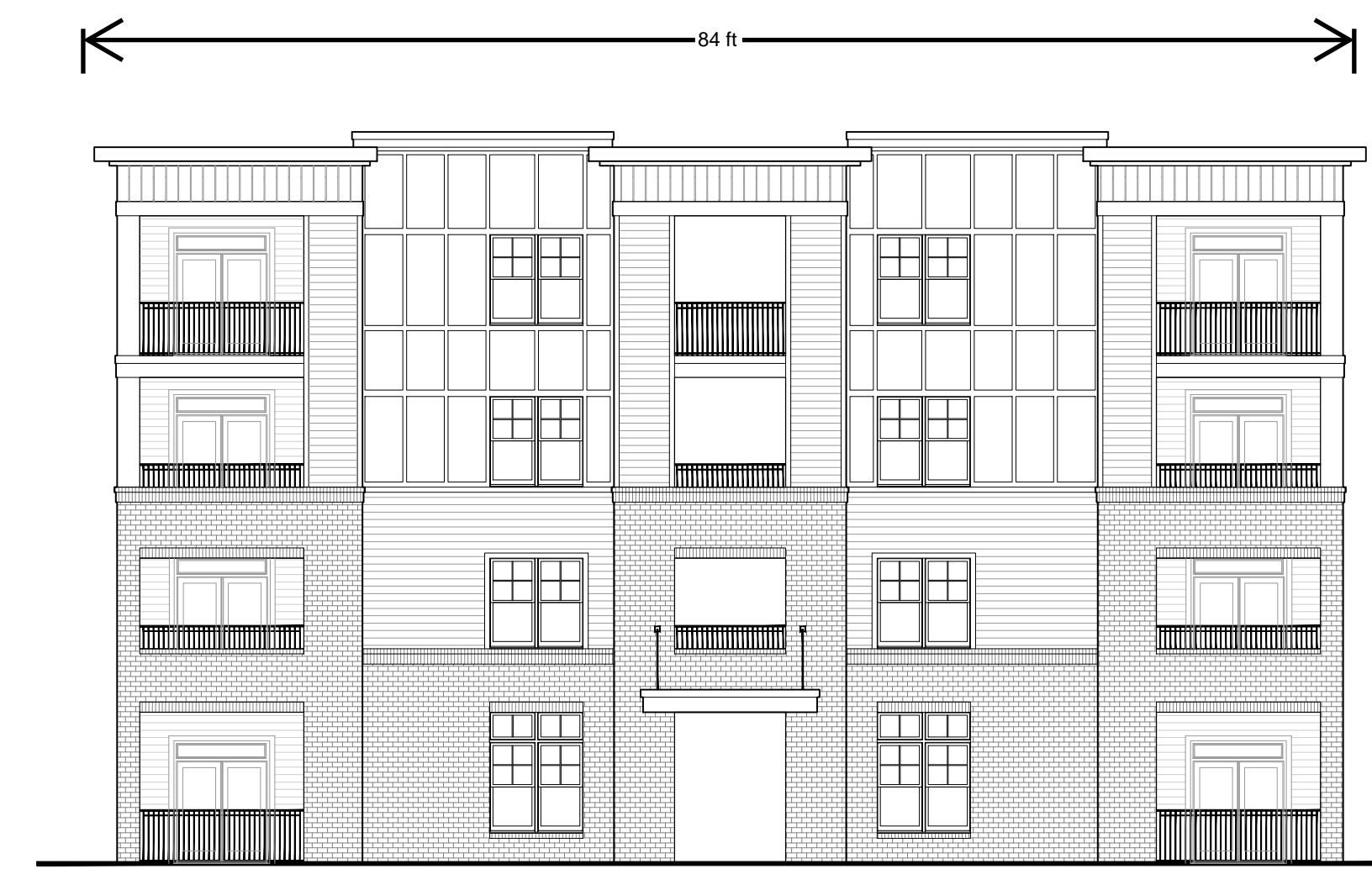


MATERIALS LEGEND	
EIFS 1	
BRICK	
BRICK SOLDIER COURSE	
CEMENTITIOUS FIBER BOARD	

SOUTH ELEVATION



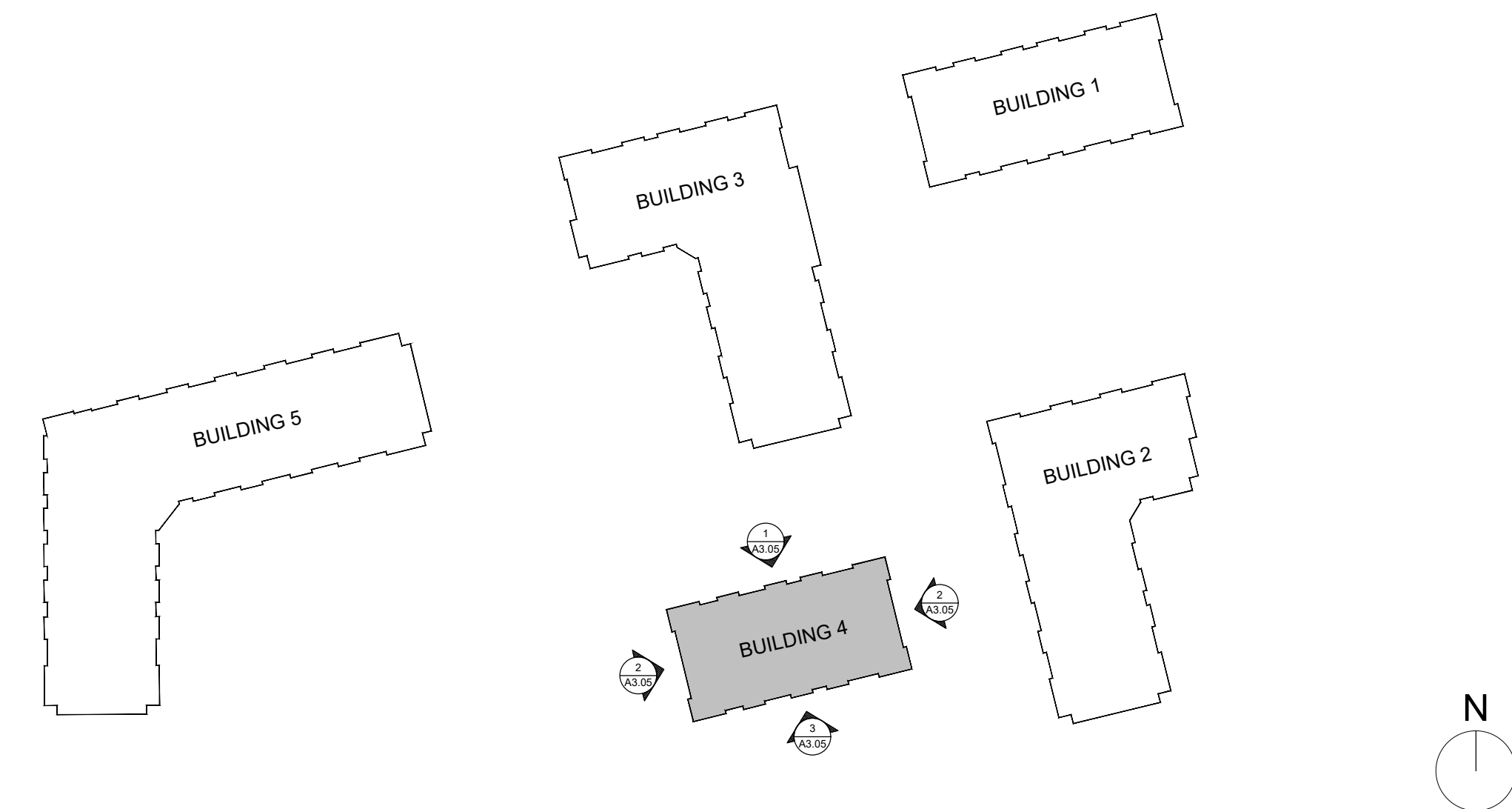
1 BUILDING 4 - NORTH ELEVATION
Scale: 3/32" = 1'-0"



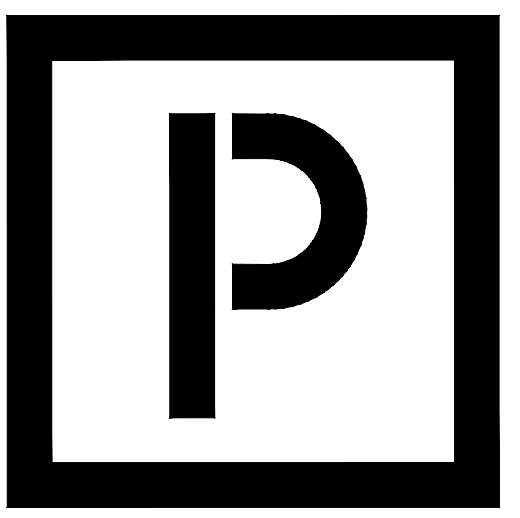
2 BUILDING 4 - EAST / WEST ELEVATION
Scale: 3/32" = 1'-0"



3 BUILDING 4 - SOUTH ELEVATION
Scale: 3/32" = 1'-0"

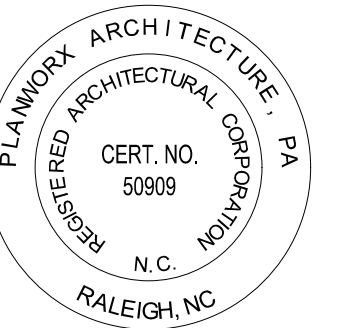


4 KEY PLAN
NTS



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5711 SIX FORKS ROAD, SUITE 100
RALEIGH NC 27609
website www.planworx.com



DEWITT APARTMENTS

WIDEWATER

KNIGHTDALE, NC

PROGRESS DATE:	ISSUE DATE:	REVISIONS NUMBER	DATE	INITIALS	DESCRIPTION
03.15.2022					

PROJECT NO: 005221

DRAWN BY: AE/BW

CHECKED BY: BN

SHEET TITLE:
BUILDING 4
ELEVATIONS

SHEET NUMBER:

A3.05

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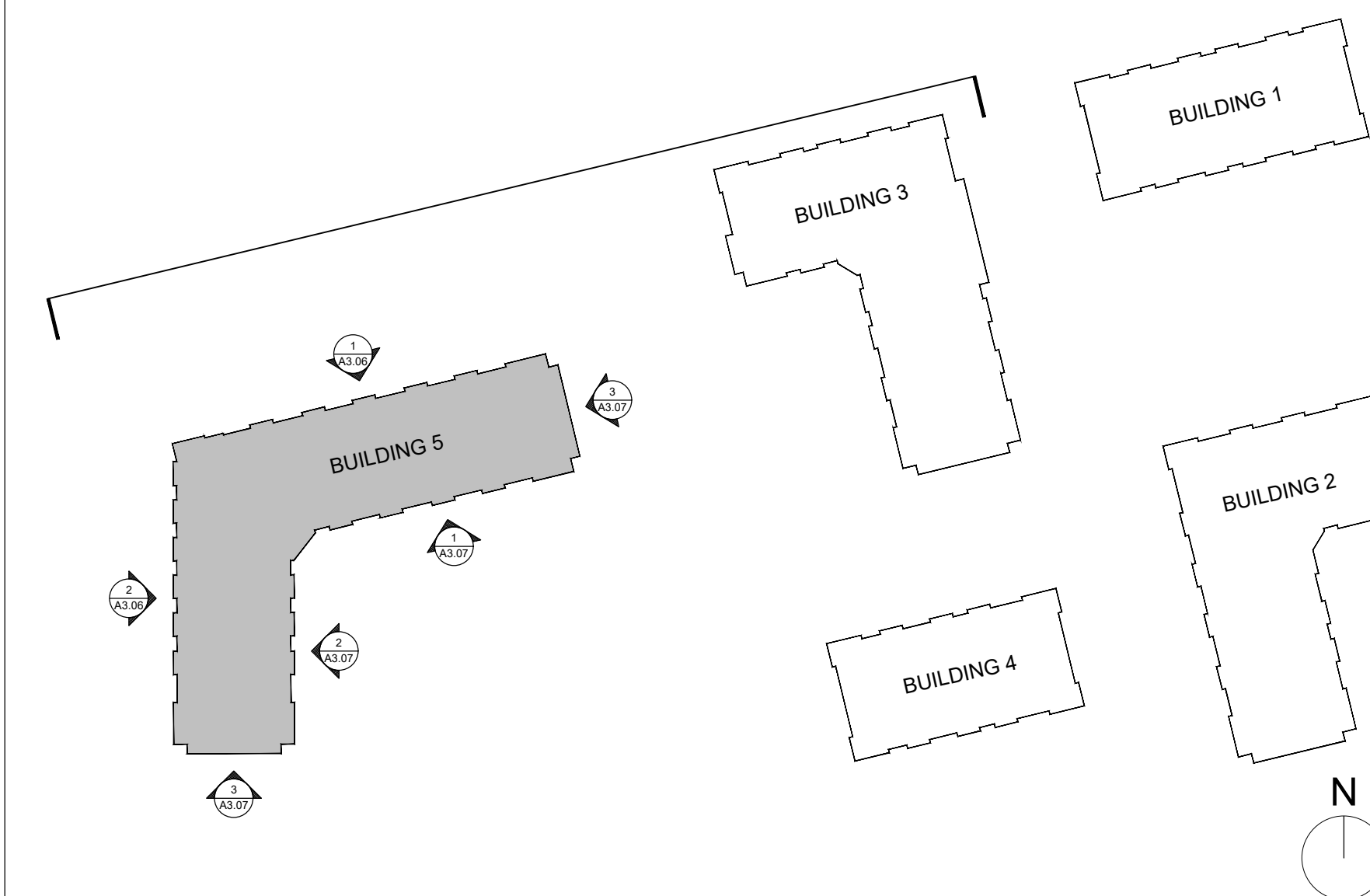
1 BUILDING 5 - SOUTH ELEVATION
Scale: 3/32" = 1'-0"



2 BUILDING 5 - EAST ELEVATION
Scale: 3/32" = 1'-0"



3 BUILDING 5 - END ELEVATION
Scale: 3/32" = 1'-0"

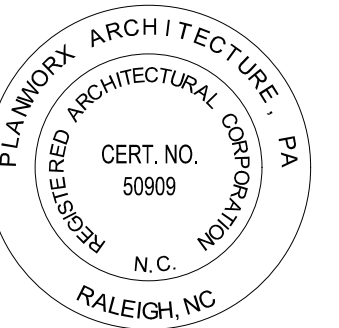


4 KEY PLAN
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DEWITT APARTMENTS
WIDEWATER
KNIGHTDALE, NC

PROGRESS DATE:	03.15.2022
ISSUE DATE:	
REVISIONS NUMBER	INITIALS
DATE	DESCRIPTION

PROJECT NO: 005221
DRAWN BY: AE/BW
CHECKED BY: BN

SHEET TITLE:
BUILDING 5
ELEVATIONS

SHEET NUMBER:

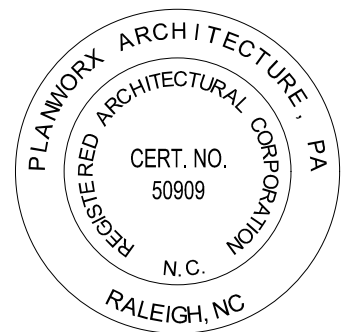
A3.07

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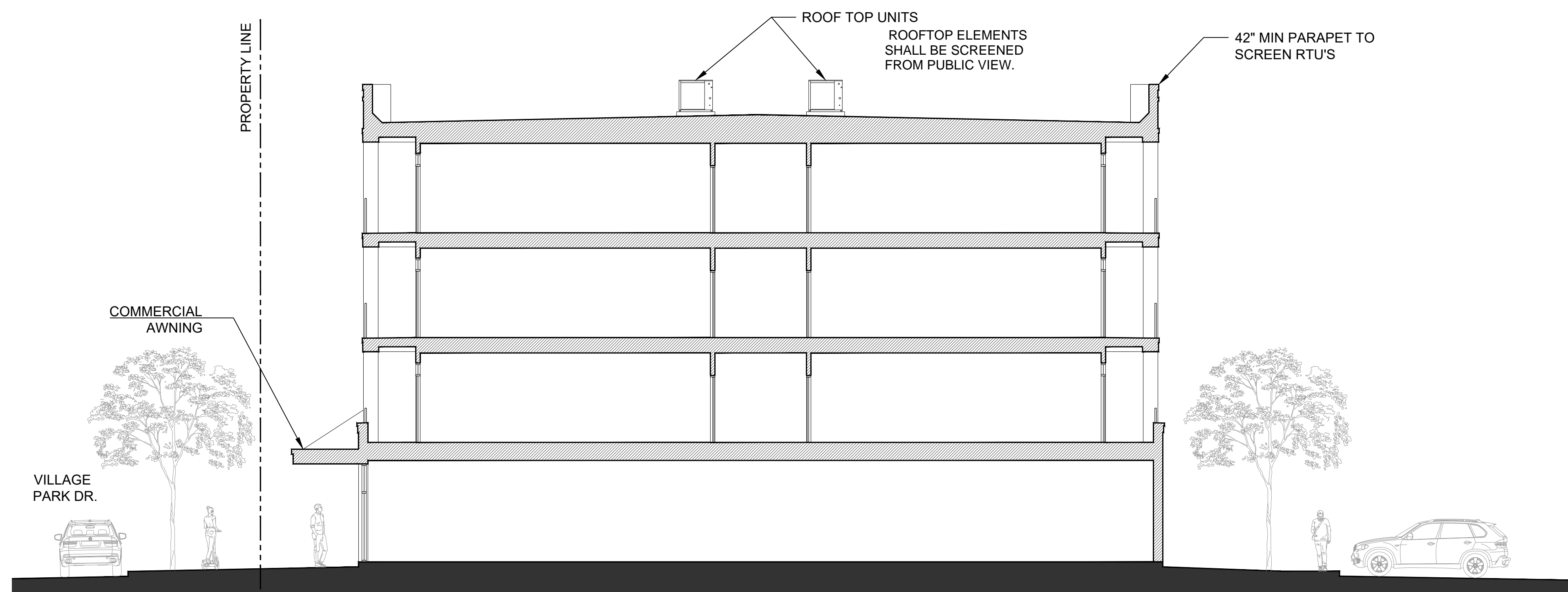
5711 SIX FORKS ROAD, SUITE 100
RALEIGH NC 27609
website www.planworx.com



DEWITT APARTMENTS
WIDEWATER
KNIGHTDALE, NC



1 TYPICAL ELEVATION
NTS



2 SITE SECTION
NTS

MATERIALS SHALL MATCH MAIN STRUCTURE MATERIALS AND CONTINUED ON 4 SIDES OF STRUCTURE.



3 POOLHOUSE ELEVATION
Scale: 3/32" = 1'-0"

MATERIALS SHALL MATCH MAIN STRUCTURE MATERIALS AND CONTINUED ON 4 SIDES OF STRUCTURE.



4 GARAGE ELEVATION
Scale: 3/32" = 1'-0"

PROGRESS DATE:	03.15.2022
ISSUE DATE:	
REVISIONS NUMBER	INITIALS
DATE	DESCRIPTION

PROJECT NO: 005221
DRAWN BY: AE/BW
CHECKED BY: BN

SHEET TITLE:
TYPICAL ELEVATIONS & SECTIONS

SHEET NUMBER:

A3.08

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Planned Unit Development

Town of Knightdale Project #ZMA-15-21

**DeWitt Knightdale
901 Parkstone Towne Boulevard**

Knightdale, North Carolina
KHA Project ID No. 017254013



PLANNED UNIT DEVELOPMENT

DEWITT KNIGHTDALE
901 PARKSTONE TOWNE BOULEVARD
KNIGHTDALE, NORTH CAROLINA

PREPARED FOR:
WIDEWATERS
KNIGHTDALE DEVELOPMENT OWNERSHIP, LLC
AND
WW KNIGHTDALE PROPERTY LLC
5845 WIDEWATERS PARKWAY
SUITE 100
EAST SYRACUSE, NY 13057

PREPARED BY:
KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST.
SUITE 600
RALEIGH, NORTH CAROLINA 27601
NC CERT. OF AUTH: F-0102

SUBMITTED: MARCH 28, 2022
REVISED: SEPTEMBER 22, 2022
REVISED: JANUARY 03, 2023
REVISED: FEBRUARY 06, 2023

KHA #017254013

Disclosure Statement:

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- 6. ROADS AND UTILITIES**
- 7. NEIGHBORHOOD MEETING REPORT**

1. VISIONING STATEMENT

As the final phase of the Parkstone Master Plan, DeWitt incorporates a mix of commercial and residential uses. Widewaters is proposing over 29,000 square feet of commercial space, 290 multi-family units, and a 124-room hotel. This will complement the adjacent recently developed retail (24,000 square feet which includes Alpaca, Heartland Dental, Banfield Veterinary, Sheetz and Firestone) on Knightdale Boulevard. All of the proposed uses are further complemented by the adjacent Widewaters Commons grocery anchored shopping center. The development is proposed within a Planned Unit Development District. This district is designed to encourage master planning of the development to manage the impacts of the development on the provision of Town Services and infrastructure. The Planned Unit Development encourages creativity and innovation in the design of development. The subject project addresses the following goals as stated below:

- Provide exceptional design, character, and quality;
 - The stated architectural building elements located proximately to other residential communities and retail will provide a high-quality live-work-play experience. Ground floor retail and a ground floor leasing/clubhouse provide for 4-story mixed-use buildings fronting Village Park Drive. Urban street elements are proposed for the south side of Village Park Drive to further accentuate the urban design elements of the street fronting buildings.
- Provide high quality community amenities;
 - Open space amenities within both the hotel and commercial/residential areas will provide opportunities for relaxation, congregation, and exercise. Additionally, the adjacency and walkable connectivity of retail/restaurants will provide for pedestrian accessible working, shopping and dining. A pedestrian refuge is being proposed to enhance connection across ParkStone Towne Blvd which will tie together surrounding commercial uses with DeWitt. Public transit has been incorporated to further provide convenient and equitable access to mass transit for residents and visitors of not only DeWitt but the surrounding residents and businesses as well.
- Incorporate creative design in the layout of buildings;
 - The street-oriented building placement for all major structures frame and accentuates walkable streets and continues the theme of the previous completed projects by connecting expansive green areas to other phases of the Parkstone development along with existing commercial in adjacent development. Building architectural styles enhance the urban feel of the Village Park Drive streetscape
- Ensure compatibility with surrounding land uses and neighborhood character;
 - The hotel is separated from the Townhomes by a public right-of-way and backs up to natural wooded areas. The mixed-use pod north of the Townhomes transitions the residential area to the commercial area at Knightdale Boulevard. Required landscape buffers will be provided adjacent to the residential located to the east.
- Ensure the creation of mixed density neighborhood nodes, and mixed-use centers;
 - The project provides further commercial and residential uses to the already existing mix of residential and commercial constructed in earlier phases and provides additional internal connection of the southern residential areas to the northern retail. Mixed-use buildings have been incorporated into the design to provide for ground floor retail.

- Further the goals of the Comprehensive Plan including the growth framework and growth and conservation map;
 - The proposed uses are an infill project in a Mixed-Use Center noted in the Growth and Conservation Map. All aspects of the project contribute to the mix of uses, increases density, reflects an urban form, and is appropriately located in the Mixed-Use area of the Growth and Conservation map.
- Provide greater efficiency in the layout and provision of roads, utilities, and other infrastructure.
 - Major infrastructure already exists at the property limits. The looped street network provides for good circulation and an excellent grid network providing all residents convenient opportunities to the open spaces and other residents. No additional infrastructure is required for the construction of the proposed improvements. On-street parking is proposed along Village Park Drive to utilize the existing profile in a more efficient manner, thereby reducing the need for otherwise necessary on-site parking.

DEWITT MASTER PLAN



2. EXISTING CONDITIONS

EXISTING CONDITIONS SUMMARY

DeWitt Knightdale is located on a vacant infill parcel at the southeast corner of Parkstone Towne Blvd. and Village Park Dr and at the Northwest corner of Parkstone Town Blvd and Flatrock Park Drive. The parcels are identified with the Wake County Property Identification Numbers 1744854115 and a portion of 1744744952. Both parcels slope from east to west with the latter parcel sloping down to a buffered stream area. The northern parcel has been previously cleared while the portion of parcel 4952 is wooded.

EXISTING AERIAL PHOTO (Photo dated 02/2022)



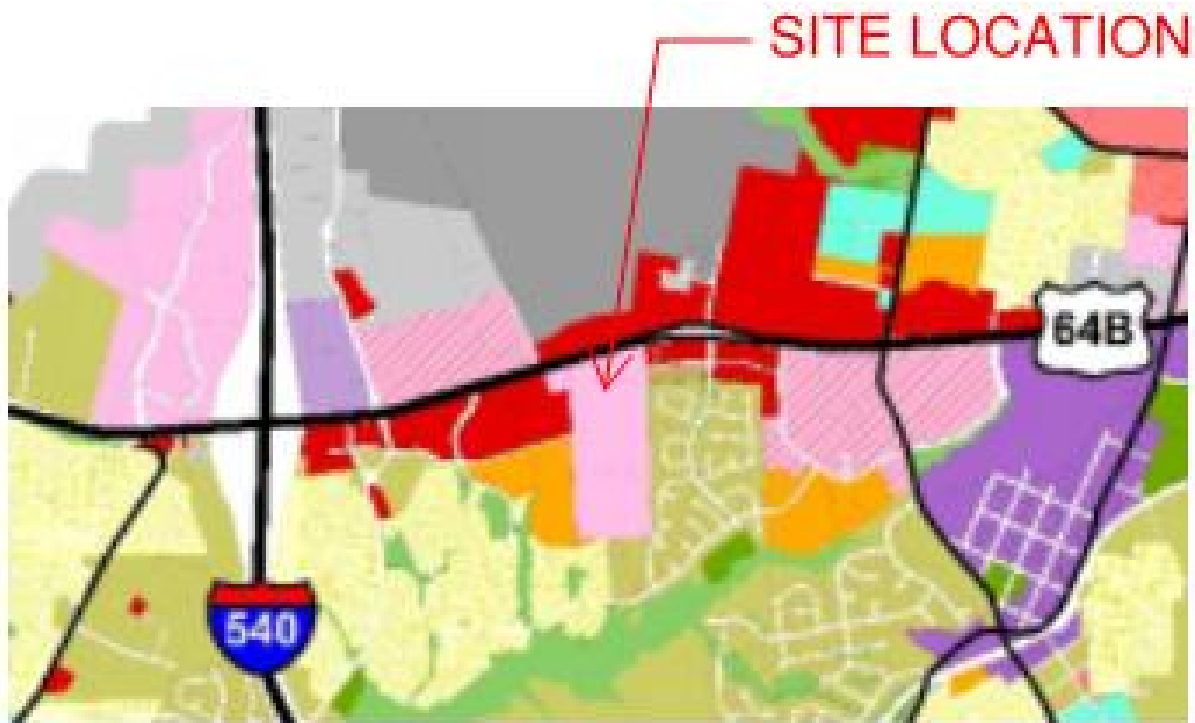
EXISTING TOPOGRAPHY (SITE HAS BEEN CLEARED WITH MINIMAL ELEVATION CHANGE DROPPING FROM EAST TO WEST)



3. 2035 COMPREHENSIVE PLAN CONSISTENCY

The Growth and Conservation Map designates this site as being a Mixed-Use Center (p49). The proposed mixed-use buildings and mix of hospitality, commercial, and residential proposed in tandem with the existing and proposed retail in the immediate vicinity is consistent with the goals of the mixed-use center. In conjunction with the existing ParkStone Apartments and ParkStone Village townhomes, the addition of mixed-use buildings provides a unique residential format while completing the creation of a mixed density neighborhood. The buildings frame the street but are oriented to create a sense of place within the site and provide a buffer to the lower density surrounding development. Consistent with this concept, DeWitt has housing units and gathering spaces oriented to the center and built within the existing street grid to form a compact community.

GROWTH AND CONSERVATION MAP



The site is located in the Corporate Limits/Target Investment area per the Growth Framework map (p40) and provides for infill development (p15). The plan adheres to the Target Investment requirements by creating a mixed-use center with walk-to and bike-to destinations. The plan adheres to the Target Investment criteria by encouraging active living with the new streetscape and amenities and more walkable streets. The proposed use is a higher density development based on anticipated Town growth. The site is also part of a unique activity center providing easy access to retail and restaurants (p14).

GROWTH FRAMEWORK MAP



The development provides minimal impact to the natural environment. The entire portion of the mixed-use development is located in a previously disturbed upland area with no impacts to streams or wetlands (p14).

The development incorporates guiding principles associated with Parks and Recreation. The open spaces provide numerous opportunities for outdoor congregation and recreation. The inclusion of a public gathering area with public art, is connected via sidewalk to the greenway to the south and is within walking distance to other Wellness opportunities. (p15)

Compact development patterns are also incorporated (p16). Vertical mixed use is incorporated into several buildings and the multi-family provides density and proximity to retail and restaurants, but at the same time provide ample open space.

CONSISTENCY WITH THE UNIFIED DEVELOPMENT ORDINANCE

DeWitt Knightdale meets the intent of the UDO guidelines. A limited number of Site Development Allowances are noted in this document and are listed below:

- UDO Section 6.8, due to the alignment of Parkstone Towne Boulevard, portions of buildings fronting this street will exceed the maximum 10-foot setback; however, the L-shaped building has been configured to frame the intersection

- UDO Section 7.4.J requires minimum size landscape islands within parking areas and Section 7.3.C requires 10-foot wide sidewalks at the building foundation. Parking islands and sidewalks within and adjacent to the hotel parking lot will be in general accordance with the Master Plan to minimize impervious area and disturbance adjacent to the perennial stream and buffer. The sidewalk along with multiple entry locations on the hotel allows for appropriate pedestrian connectivity.
- On the hotel parking, drive aisles and parking space lengths are proposed at 22 feet in width and 18 feet in width respectively, which deviate from Std 3.20. Similar to the minimized landscape islands, this design approach minimizes impervious area and disturbance adjacent to the perennial stream and buffer.
- Open space is required per section 11.2 of the UDO. Open space will be provided as shown on the Master Plan. The site plan provides enhanced open space as a pedestrian promenade is centrally located to the residential portion of the project and provides a vital pedestrian connection from the retail on the north end of the Parkstone development and residential in the central and southern areas. The open space is of high quality as it provides ample hardscape, public area, and seating at the retail, apartments, and hotel for the adjacent community and also allows for further residential densification.
- Distribution of uses is addressed in Section 11.1.B. The overall project maximizes the feasible amount of commercial space with the ground floor commercial and hotel components of the project as there is abundant retail in the vicinity with the Parkstone retail built along Knightdale Boulevard, the Lowe Foods shopping center next door and Target shopping center across the street.

4. DESIGN GUIDELINES

Dewitt Knightdale is a Mixed-Use development within the ParkStone master planned area located in Knightdale, NC at the intersections of Parkstone Towne Boulevard and Village Park Drive. The project consists of the following:

- Five 4-story elevator access buildings including three mixed-use and two multifamily
- Enclosed garage buildings with select EV Charging units
- Resort pool and outdoor amenities
- Dog Park
- Community gathering spaces, including public art

The three buildings that front Village Park Drive include a combination of the following:

- Ground floor commercial space on Village Park Drive (Building 1, Building 3, and Building 5)
- Community clubhouse, leasing office, fitness center, and 24-hour package delivery (Building 3)
- A sky lounge (top floor of Building 5)
- These major commercial building elements are accentuated by incorporating raised brick facades to 2nd and 3rd stories, along with the inclusion of larger overhangs and metal canopies

The ground floor commercial space in Building 1, Building 3, and Building 5 is proposed on the project's main entry off Village Park Drive. The clubhouse is centrally located to the development as well. The sky lounge is a large open air deck area that overlooks the corner of Parkstone Towne Boulevard and Village Park Drive providing the DeWitt community a space for open-air gathering, working, and relaxation.

The multifamily building exteriors are anchored by brick accentuated by horizontal cementitious siding topped with cementitious board and trim. The building corners are emphasized by raising the brick an additional story. The elevation is further articulated by an undulating rhythm of balconies and windows breaking the façade into smaller, more contextual elements. All buildings have flat roofs with parapets following a similar rhythm to the beforementioned building openings further emphasizing the interplay of the building moving up and down and in and out; further breaking down the scale of the 4-story structures.

Exterior materials consisting of

- Brick
- Fiber cement panel & trim
- fiber cement board & batten
- fiber cement siding
- metal coping

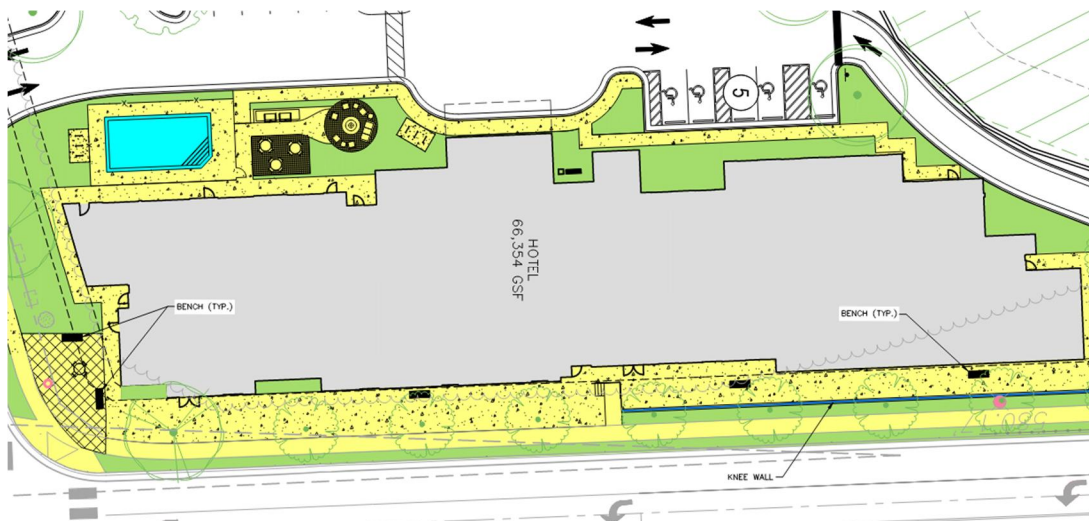
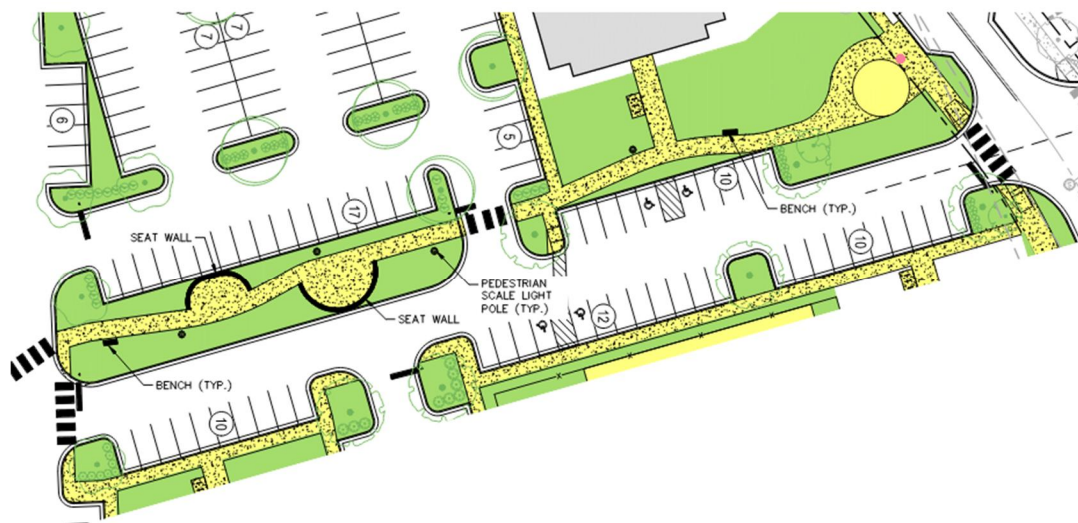


5. LANDSCAPING AND OPEN SPACE

Dewitt Knightdale will provide both active and passive recreation areas within the development. Additionally, a natural buffer was previously reserved on the east side of the property in conjunction with the Parkstone master plan approval.

Open spaces include multiple outdoor seating areas, public art, and dog park that are adjacent to a significant north-south pedestrian corridor bisecting the property. The mixed use and hotel will provide an outdoor pool and seating area while there will be a sky lounge at the intersection of Village Park and Parkstone Town Commons Blvd.

An enhanced pedestrian promenade is being proposed to connect ParkStone Village to the south through DeWitt and terminating at the public gathering space and urban streetscape along Village Park Drive. A large hardscape area is also proposed along Parkstone Towne Boulevard adjacent to the hotel with seat walls and outdoor seating.



Representative Images:

DOG PARK



POOL



PROMENADE



SKY LOUNGE



OPEN SPACE PLAN



6. ROADS AND UTILITIES

STORMWATER

The approved Parkstone Master plan allocates 22.28 acres of impervious area to the Townhomes currently under construction and future mixed-use pod at full build-out. At full buildout, only 17.05 acres of impervious area will be constructed, which is less impervious area than is allocated in the existing approved Parkstone Master plan. As a result, the existing stormwater detention/treatment is more than sufficient.

A combination of underground detention and bioretention will detain and treat stormwater from the hotel site.

STREETS

No additional public streets are proposed with the project. Village Park Drive is proposed to be modified from a vehicular oriented, 3-lane section to a more pedestrian friendly two-lane road diet with parallel parking on both sides of the street and high visibility crosswalks. A portion of the cost of these improvements will be mitigated with transportation fee credits from the Town. The subject development will also utilize street infrastructure constructed during Phase 1 of project.

EXISTING STREETS



TRIP GENERATION ANALYSIS

The trips generated by the subject development are less than were anticipated with the original Traffic Impact Analysis for Parkstone.

LUC	Land Use	Intensity		Daily		AM Peak Hour		PM Peak Hour	
				In	Out	In	Out	In	Out
220	Multifamily Housing (Low-Rise)	297	d.u.	990	990	28	87	93	55
220	Multifamily Housing (Low-Rise)	350	d.u.	1,160	1,160	31	100	108	63
215	Single Family Attached Housing	148	d.u.	539	539	22	49	48	37
310	Hotel	124	rooms	461	461	31	24	33	31
822	Strip Retail Plaza	30,870	s.f.	766	766	37	24	87	86
843	Automobile Parts Sales	8,000	s.f.	221	221	11	9	19	20
945	Gas Station w/ Convenience Market	12	f.p.	1,375	1,375	97	96	111	110
Subtotal				5,512	5,512	257	389	499	402
<i>Internal Capture</i>				927	927	7	7	92	92
<i>Pass-by Capture</i>				725	725	71	71	80	65
Net New External Trips – Proposed Land Uses				3,860	3,860	179	311	327	245
Net New External Trips – 2016 TIA				6,356	6,356	264	285	475	464
Difference (Proposed vs. TIA)				-2,496	-2,496	-85	+26	-148	-219

UTILITIES

- Water and sewer within the project are designed to meet the standards of the City of Raleigh and will tie into infrastructure constructed in the first phase of Parkstone.
- A water system analysis will be provided at the of construction drawing submittal.

7. NEIGHBORHOOD MEETING REPORT

DeWitt Knightdale Mixed Use

Kimley-Horn # 017254013

Subject: Minutes from Neighborhood Meeting

To: Kevin Lewis (Town of Knightdale Planning)

CC: Brian Long (Widewaters)

Date: February 17, 2022

Completed by: Katie Judd

Attendees:

Brian Long	Widewaters
Eric Candee	Widewaters
Chris Bostic	Kimley-Horn
Katie Judd	Kimley-Horn
Alfie Potter	Neighbor (potter.alfie@gmail.com)
Kevin Lewis	Town of Knightdale
Dustin Tripp	Town of Knightdale

This memorandum summarizes the author's understanding of the discussions from the above referenced meeting.

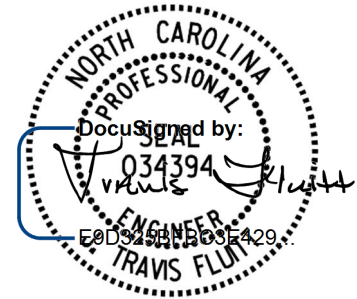
General: The purpose of the neighborhood meeting was to discuss the proposed rezoning application for DeWitt Knightdale Mixed Use in Knightdale, NC with adjacent property owners. All property owners within 200 feet of the property were mailed the attached notification letter. The neighborhood meeting was held virtually on Microsoft Teams at 5:00 PM on February 17, 2022. The neighbor who attended the meeting was Alfie Potter, manager at GATT, LLC, owner of PIN 1744950427 (4023, 4025, 4027, 4029, 4031 and 4033 Village Park Drive). The following is a summary of key discussion points resulting from this meeting:

- Mr. Potter announced his role of manager of adjacent office/commercial properties to the northeast of the site. These properties were built and acquired in 1997 and 2001.
- Mr. Potter explained that he was favorable of the proposed development.
- Mr. Lewis gave the presentation introduction and explained the purpose of the neighborhood meeting and the roles of Town staff.
- Mr. Bostic asked Mr. Potter if he was viewing the presentation on screen. Mr. Potter said he was just calling in, so Mr. Long emailed Mr. Potter the presentation.
- Mr. Long presented the project details and overview of the proposed development.
- Mr. Potter asked about traffic on Village Park Drive and inquired about the locations of the driveway entrances. It was noted that the entrances approximately correspond to the driveway cuts that exist today with an additional cut on Parkstone Towne Blvd.
- Mr. Potter asked if the hotel would be Fairfield and Mr Long confirmed.
- The building renderings and elevations were shown.
- Mr. Bostic explained the Project Timeline and gave the contact information for the Developer and Town.

End of Meeting

September 21, 2022

Jason Brown
Town of Knightdale
950 Steeple Square Court
Knightdale, NC 27545



RE: *ParkStone – Trip Generation Comparison*

9/21/2022

Kimley-Horn has performed a trip generation analysis for the ParkStone development comparing the trip generation potential of the currently proposed land uses to the trip generation from the *ParkStone TIA* dated August 19, 2016. The land uses analyzed in the TIA included:

- 350 apartments
- 130-room hotel
- 12-screen movie theater
- 212,500 square feet (SF) of general retail space
- 8,000 SF automobile parts sales store
- 2,500 SF fast-food restaurant
- Gas station with 12 fueling positions

The site is now proposed to include:

- 652 apartments (in two complexes of 350 and 302 units)
- 148 townhomes
- 124-room hotel
- 25,800 square feet of retail space
- 8,000 SF automobile parts sales store
- Gas station with 12 fueling positions.

Site trips in the 2016 TIA were generated using ITE Trip Generation 9th Edition rates and equations. The trip generation potential of the proposed land uses was determined using ITE Trip Generation 11th Edition rates and equations. It should be noted that some land use categories have changed between the 9th and 11th editions. Table 1 below summarizes the trip generation of the currently proposed land uses versus the total trip generation from the TIA. Detailed trip generation calculations for the proposed land uses and from the 2016 TIA are attached.

Table 1 ITE Traffic Generation (Vehicles)									
LUC	Land Use	Intensity		Daily		AM Peak Hour		PM Peak Hour	
				In	Out	In	Out	In	Out
220	Multifamily Housing (Low-Rise)	302	d.u.	1,006	1,006	28	88	95	55
220	Multifamily Housing (Low-Rise)	350	d.u.	1,160	1,160	31	100	108	63
215	Single Family Attached Housing	148	d.u.	539	539	22	49	48	37
310	Hotel	124	rooms	461	461	31	24	33	31
822	Strip Retail Plaza	25,800	s.f.	659	659	32	22	77	76
843	Automobile Parts Sales	8,000	s.f.	221	221	11	9	19	20
945	Gas Station w/ Convenience Market	12	f.p.	1,375	1,375	97	96	111	110
Subtotal				5,421	5,421	252	388	491	392
<i>Internal Capture</i>				890	890	7	7	89	89
<i>Pass-by Capture</i>				720	720	71	71	80	64
Net New External Trips – Proposed Land Uses				3,811	3,811	174	310	322	239
Net New External Trips – 2016 TIA				6,356	6,356	264	285	475	464
Difference (Proposed vs. TIA)				-2,545	-2,545	-90	+25	-153	-225

As shown in Table 1, the proposed land uses are anticipated to generate 5,090 fewer daily trips, 65 fewer total AM peak hour trips, and 378 fewer total PM peak hour trips than the uses analyzed in the 2016 TIA.

There is also the potential that 5 of the apartment units in the 302-unit complex could be converted to 5,070 square feet of ground floor retail. As shown in [Table 2](#) below, the proposed alternate land uses are anticipated to generate 4,992 fewer daily trips, 59 fewer total AM peak hour trips, and 367 fewer total PM peak hour trips than analyzed in the 2016 TIA.

Table 2 ITE Traffic Generation (Vehicles)									
LUC	Land Use	Intensity		Daily		AM Peak Hour		PM Peak Hour	
				In	Out	In	Out	In	Out
220	Multifamily Housing (Low-Rise)	297	d.u.	990	990	28	87	93	55
220	Multifamily Housing (Low-Rise)	350	d.u.	1,160	1,160	31	100	108	63
215	Single Family Attached Housing	148	d.u.	539	539	22	49	48	37
310	Hotel	124	rooms	461	461	31	24	33	31
822	Strip Retail Plaza	30,870	s.f.	766	766	37	24	87	86
843	Automobile Parts Sales	8,000	s.f.	221	221	11	9	19	20
945	Gas Station w/ Convenience Market	12	f.p.	1,375	1,375	97	96	111	110
Subtotal				5,512	5,512	257	389	499	402
<i>Internal Capture</i>				927	927	7	7	92	92
<i>Pass-by Capture</i>				725	725	71	71	80	65
Net New External Trips – Proposed Land Uses				3,860	3,860	179	311	327	245
Net New External Trips – 2016 TIA				6,356	6,356	264	285	475	464
Difference (Proposed vs. TIA)				-2,496	-2,496	-85	+26	-148	-219

While there is a slight increase in outbound AM peak hour traffic in both scenarios, the PM peak hour was the worst case in the TIA, and is more than offset by the substantial reductions in the inbound traffic in the AM peak hour and in the daily and PM peak hour traffic. The proposed changes in land uses are not expected to have a significant impact to traffic operations on the surrounding roadway network. Therefore, no additional improvements should be required based on this analysis.

Please contact me at (919) 653-2948 or travis.fluitt@kimley-horn.com should you have questions or comments regarding this analysis.

Sincerely,

Travis Fluitt, P.E.
Senior Project Engineer

cc: Brian Long, Widewaters
Chris Bostic, Kimley-Horn

ParkStone
Trip Generation - Proposed Land Uses

Land Use	Intensity		Daily			AM Peak Hour			PM Peak Hour				
			Total	In	Out	Total	In	Out	Total	In	Out		
220 Multifamily Housing (Low-Rise)	302	d.u.	2,012	1,006	1,006	116	28	88	150	95	55		
220 Multifamily Housing (Low-Rise)	350	d.u.	2,320	1,160	1,160	131	31	100	171	108	63		
215 Single Family Attached Housing	148	d.u.	1,078	539	539	71	22	49	85	48	37		
310 Hotel	124	rooms	922	461	461	55	31	24	64	33	31		
822 Strip Retail Plaza	25,800	s.f.	1,318	659	659	54	32	22	153	77	76		
843 Automobile Parts Sales	8,000	s.f.	442	221	221	20	11	9	39	19	20		
945 Gasoline/Service Station with Convenience Market	12	f.p.	2,750	1,375	1,375	193	97	96	221	111	110		
Subtotal			10,842	5,421	5,421	640	252	388	883	491	392		
<i>Internal Capture</i>													
Multifamily Housing (Low-Rise)			292	168	124	2	1	1	30	21	9		
Multifamily Housing (Low-Rise)			335	193	142	2	1	1	33	23	10		
Single Family Attached Housing			156	90	66	0	0	0	16	10	6		
Hotel			135	67	68	3	0	3	14	10	4		
Shopping Center			252	109	143	1	1	0	31	9	22		
Automobile Parts Sales			84	36	48	0	0	0	8	2	6		
Gasoline/Service Station with Convenience Market			526	227	299	6	4	2	45	13	32		
<i>Internal Capture Total</i>			<i>1,780</i>	<i>890</i>	<i>890</i>	<i>14</i>	<i>7</i>	<i>7</i>	<i>178</i>	<i>89</i>	<i>89</i>		
Total External Trips			9,062	4,531	4,531	626	245	381	705	402	303		
<i>Pass-By Capture</i>													
			AM	PM									
843 Automobile Parts Sales			0%	43%	130	65	65	0	0	0	13	7	6
945 Gasoline/Service Station with Convenience Market			76%	75%	1,310	655	655	142	71	71	131	73	58
<i>Pass-By Capture Total</i>					<i>1,440</i>	<i>720</i>	<i>720</i>	<i>142</i>	<i>71</i>	<i>71</i>	<i>144</i>	<i>80</i>	<i>64</i>
Total Net New External Trips - Proposed			7,622	3,811	3,811	484	174	310	561	322	239		
Total Net New External Trips - From TIA			12,712	6,356	6,356	549	264	285	939	475	464		
Difference - Proposed vs. TIA			-5,090	-2,545	-2,545	-65	-90	25	-378	-153	-225		

Internal Capture Reduction Calculations

Methodology for A.M. Peak Hour and P.M. Peak Hour
based on the *Trip Generation Handbook*, 3rd Edition, published by the Institute of Transportation Engineers

Methodology for Daily
based on the average of the Unconstrained Rates for the A.M. Peak Hour and P.M. Peak Hour

ParkStone

SUMMARY

GROSS TRIP GENERATION

INPUT	Land Use	Daily		A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit	Enter	Exit
	Office	0	0	0	0	0	0
	Retail	2,255	2,255	140	127	207	206
	Restaurant	0	0	0	0	0	0
	Cinema/Entertainment	0	0	0	0	0	0
	Residential	2,705	2,705	81	237	251	155
	Hotel	461	461	31	24	33	31
		5,421	5,421	252	388	491	392

INTERNAL TRIPS

OUTPUT	Land Use	Daily		A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit	Enter	Exit
	Office	0	0	0	0	0	0
	Retail	372	490	5	2	25	60
	Restaurant	0	0	0	0	0	0
	Cinema/Entertainment	0	0	0	0	0	0
	Residential	451	332	2	2	54	25
	Hotel	67	68	0	3	10	4
		890	890	7	7	89	89
	% Reduction		16.4%		2.2%		20.2%

EXTERNAL TRIPS

OUTPUT	Land Use	Daily		A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit	Enter	Exit
	Office	0	0	0	0	0	0
	Retail	1,883	1,765	135	125	182	146
	Restaurant	0	0	0	0	0	0
	Cinema/Entertainment	0	0	0	0	0	0
	Residential	2,254	2,373	79	235	197	130
	Hotel	394	393	31	21	23	27
		4,531	4,531	245	381	402	303

ParkStone
Trip Generation - Alternate Land Uses

Land Use	Intensity		Daily			AM Peak Hour			PM Peak Hour				
			Total	In	Out	Total	In	Out	Total	In	Out		
220 Multifamily Housing (Low-Rise)	297	d.u.	1,980	990	990	115	28	87	148	93	55		
220 Multifamily Housing (Low-Rise)	350	d.u.	2,320	1,160	1,160	131	31	100	171	108	63		
215 Single Family Attached Housing	148	d.u.	1,078	539	539	71	22	49	85	48	37		
310 Hotel	124	rooms	922	461	461	55	31	24	64	33	31		
822 Strip Retail Plaza	30,870	s.f.	1,532	766	766	61	37	24	173	87	86		
843 Automobile Parts Sales	8,000	s.f.	442	221	221	20	11	9	39	19	20		
945 Gasoline/Service Station with Convenience Market	12	f.p.	2,750	1,375	1,375	193	97	96	221	111	110		
Subtotal			11,024	5,512	5,512	646	257	389	901	499	402		
<i>Internal Capture</i>													
Multifamily Housing (Low-Rise)			300	173	127	2	1	1	30	21	9		
Multifamily Housing (Low-Rise)			354	204	150	2	1	1	35	24	11		
Single Family Attached Housing			165	95	70	0	0	0	17	11	6		
Hotel			136	67	69	3	0	3	14	10	4		
Shopping Center			292	126	166	1	1	0	35	10	25		
Automobile Parts Sales			84	36	48	0	0	0	8	2	6		
Gasoline/Service Station with Convenience Market			523	226	297	6	4	2	45	13	32		
<i>Internal Capture Total</i>			<i>1,854</i>	<i>927</i>	<i>927</i>	<i>14</i>	<i>7</i>	<i>7</i>	<i>184</i>	<i>92</i>	<i>92</i>		
Total External Trips			9,170	4,585	4,585	632	250	382	717	407	310		
<i>Pass-By Capture</i>													
			AM	PM									
843 Automobile Parts Sales			0%	43%	130	65	65	0	0	0	13	7	6
945 Gasoline/Service Station with Convenience Market			76%	75%	1,320	660	660	142	71	71	132	73	59
<i>Pass-By Capture Total</i>					<i>1,450</i>	<i>725</i>	<i>725</i>	<i>142</i>	<i>71</i>	<i>71</i>	<i>145</i>	<i>80</i>	<i>65</i>
Total Net New External Trips - Proposed			7,720	3,860	3,860	490	179	311	572	327	245		
Total Net New External Trips - From TIA			12,712	6,356	6,356	549	264	285	939	475	464		
Difference - Proposed vs. TIA			-4,992	-2,496	-2,496	-59	-85	26	-367	-148	-219		

Internal Capture Reduction Calculations

Methodology for A.M. Peak Hour and P.M. Peak Hour
based on the *Trip Generation Handbook*, 3rd Edition, published by the Institute of Transportation Engineers

Methodology for Daily
based on the average of the Unconstrained Rates for the A.M. Peak Hour and P.M. Peak Hour

ParkStone - Alternate Land Uses

SUMMARY

GROSS TRIP GENERATION

INPUT	Land Use	Daily		A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit	Enter	Exit
	Office	0	0	0	0	0	0
	Retail	2,362	2,362	145	129	217	216
	Restaurant	0	0	0	0	0	0
	Cinema/Entertainment	0	0	0	0	0	0
	Residential	2,689	2,689	81	236	249	155
	Hotel	461	461	31	24	33	31
		5,512	5,512	257	389	499	402

INTERNAL TRIPS

OUTPUT	Land Use	Daily		A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit	Enter	Exit
	Office	0	0	0	0	0	0
	Retail	388	511	5	2	26	62
	Restaurant	0	0	0	0	0	0
	Cinema/Entertainment	0	0	0	0	0	0
	Residential	472	347	2	2	56	26
	Hotel	67	69	0	3	10	4
		927	927	7	7	92	92
	% Reduction		16.8%		2.2%		20.4%

EXTERNAL TRIPS

OUTPUT	Land Use	Daily		A.M. Peak Hour		P.M. Peak Hour	
		Enter	Exit	Enter	Exit	Enter	Exit
	Office	0	0	0	0	0	0
	Retail	1,974	1,851	140	127	191	154
	Restaurant	0	0	0	0	0	0
	Cinema/Entertainment	0	0	0	0	0	0
	Residential	2,217	2,342	79	234	193	129
	Hotel	394	392	31	21	23	27
		4,585	4,585	250	382	407	310