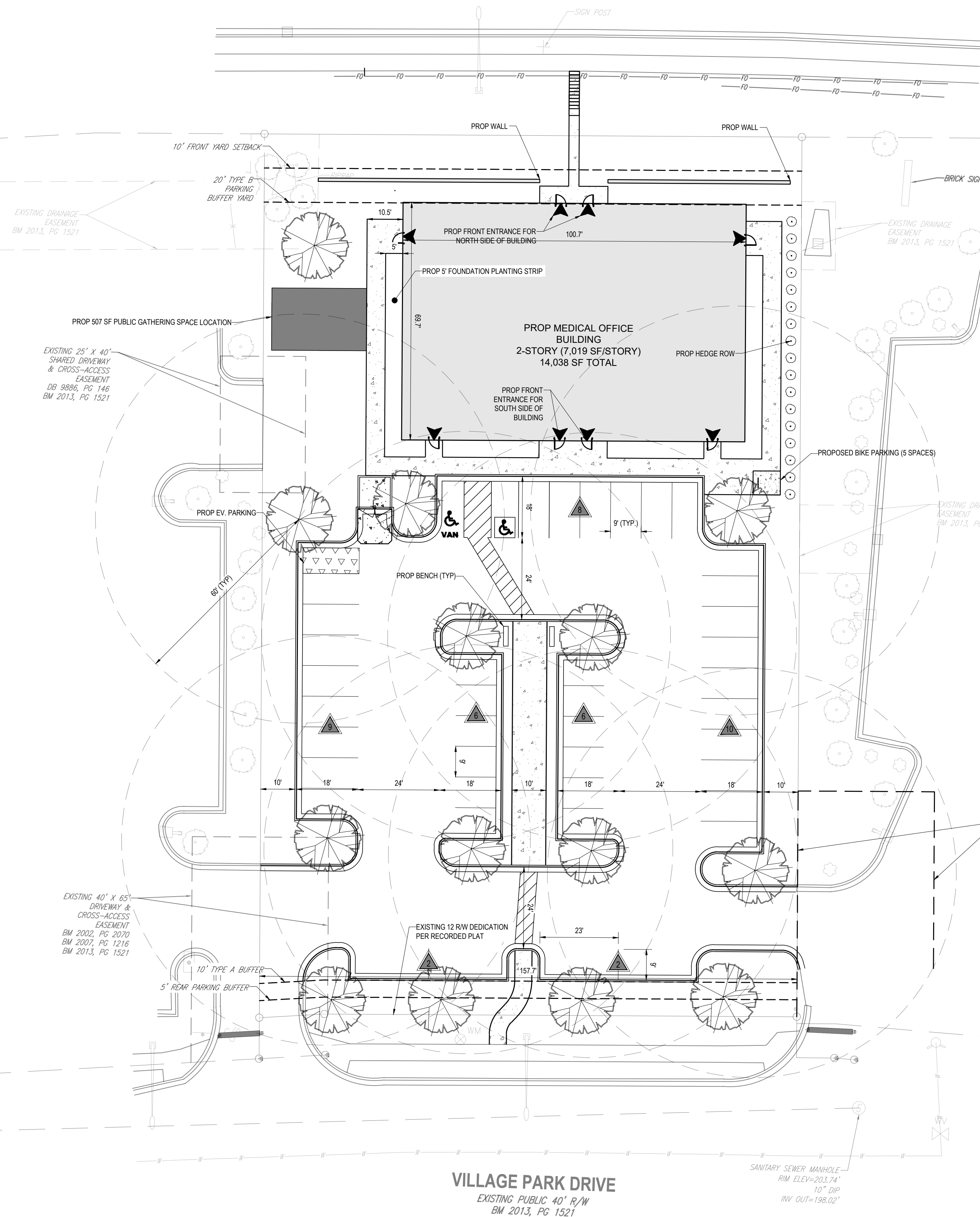




US HIGHWAY 64 /
KNIGHTDALE BOULEVARD
VARIABLE WIDTH PUBLIC
RIGHT-OF-WAY
BM 2013, PG 1521



SITE PLAN & ZONING NOTES:

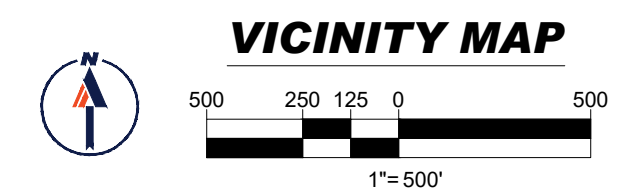
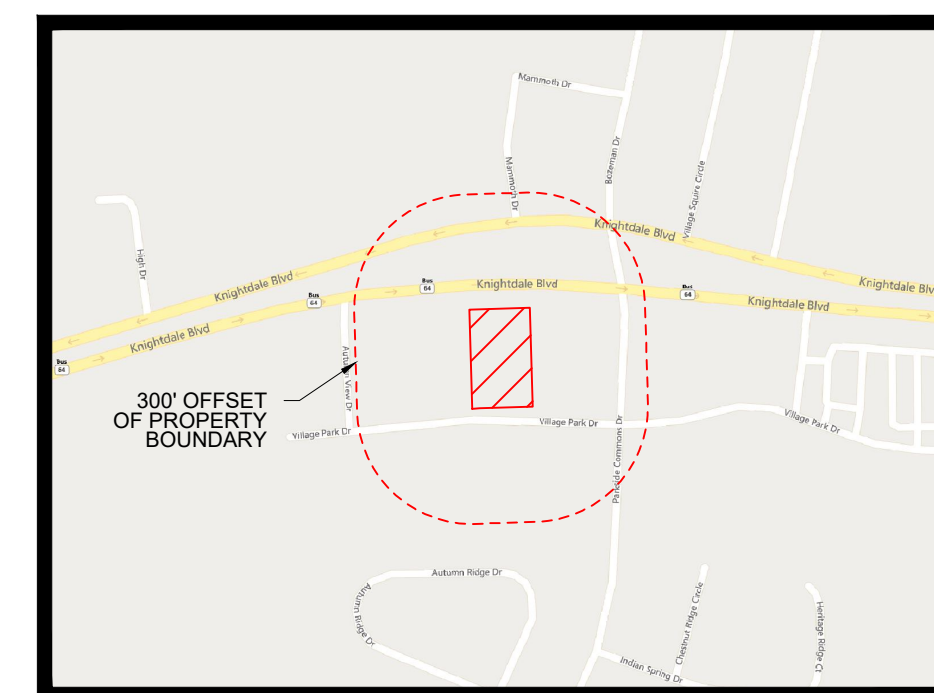
1. SITE ADDRESS: 4012 VILLAGE PARK DRIVE KNIGHTDALE, NC 27545
2. OWNER: OPSJH LLC (252)883-6216 821 COUNTRY CLUB ROAD ROCKY MOUNT, NC 27864
3. PIN: 1744-95-3860
4. SITE ACREAGE: 0.93 AC
5. ZONING: NMX
6. LAND USE: EXISTING LAND USE: VACANT PROPOSED LAND USE: MEDICAL OFFICE
7. WATERSHED: MILBURNIE LAKE-NEUSE RIVER
8. VEHICLE PARKING:

PROPOSED BUILDING SF:	14,038 SF
MAXIMUM PARKING ALLOWED:	5.5 SPACES PER 1000 GFA = 77
MINIMUM PARKING REQUIRED:	$\frac{1}{2}$ MAXIMUM = 38 SPACES
PROPOSED PARKING:	43 SPACES
PROPOSED BICYCLE PARKING:	5 SPACES

BOHLER
BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF BOHLER ENGINEERING NC, PLLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR DISTRIBUTION OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT OF BOHLER ENGINEERING NC, PLLC IS STRICTLY PROHIBITED.



REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811
Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

10' TYPE A BUFFER YARD PLANTING REQUIREMENTS ALONG VILLAGE PARK DR:
CANOPY TREES - $(\frac{1}{160}$ LF) - $\frac{1}{160} * 3 = 3$ REQUIRED
UNDERSTORY TREES - $(\frac{1}{160}$ LF) - $\frac{1}{160} * 2 = 4$ REQUIRED
SHRUBS - $(\frac{1}{160}$ LF) - $\frac{1}{160} * 20 = 32$ REQUIRED

NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: NCB230070
DRAWN BY: DW
CHECKED BY: RG
DATE: 02/05/2024
CAD ID:

PROJECT:
SKETCH PLAN

FOR _____

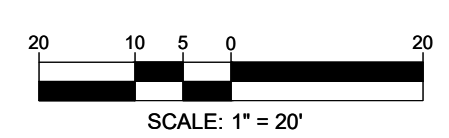
PROPOSED DEVELOPMENT
4012 VILLAGE PARK DRIVE
KNIGHTDALE, NC 27545
WAKE COUNTY

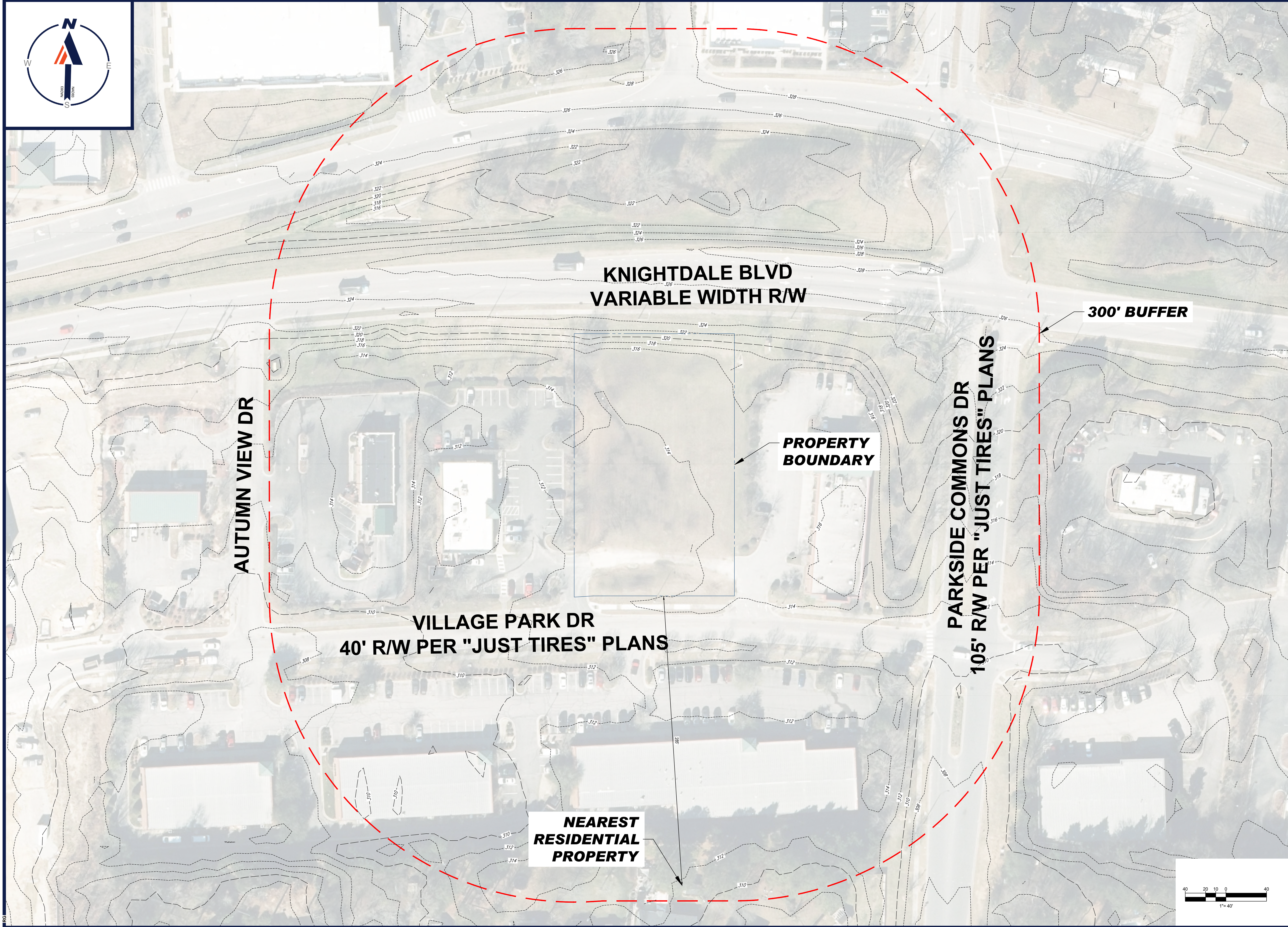
BOHLER
BOHLER ENGINEERING NC, PLLC
SC COA NO. 4810
4130 PARKLAKE AVENUE, SUITE 200
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-301

ORG. DATE - 02/05/2024





BOHLER
BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

THE INFORMATION CONTAINED ON THIS DRAWING IS THE PROPERTY OF BOHLER ENGINEERING NC, PLLC. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF BOHLER ENGINEERING NC, PLLC.

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

811
Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: NCB230070
DRAWN BY: DW
CHECKED BY: RG
DATE: 02/05/2024
CAD ID: TOPO-0

PROJECT:
SKETCH PLAN
FOR _____

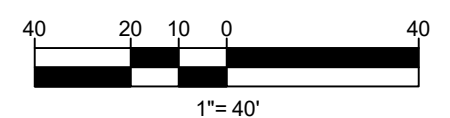
PROPOSED DEVELOPMENT
4012 VILLAGE PARK DRIVE
KNIGHTDALE, NC 27545
WAKE COUNTY

BOHLER
BOHLER ENGINEERING NC, PLLC
SC COA NO. 4810
4130 PARKLAKE AVENUE, SUITE 200
RALEIGH, NC 27612
Phone: (919) 578-9000
NC@BohlerEng.com

SHEET TITLE:
OVERALL VICINITY MAP

SHEET NUMBER:
C-301

ORG. DATE - 02/05/2024

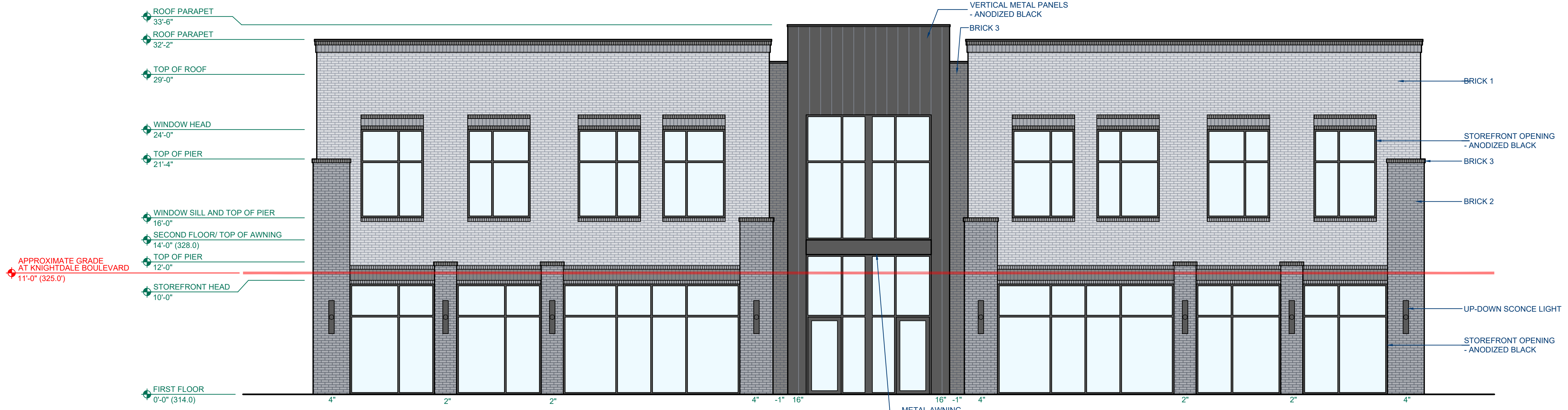


H:\2023\NC\230070\01\LAND DEVELOPMENT\CAD\DRAWINGS\EXHIBITS\240206 - SKETCH PLAN - TOPO - LAYOUT - C-301 OVERALL VICINITY MAP



THE REDFOOT STUDIO ARCHITECTURE PC
 2515 SAUNDERS BLVD. SUITE 100 CHARLOTTE, NC 28203
 (704) 881-7134 WWW.REDFOOTSTUDIO.COM

NOTE: ALL ROOFTOP EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.



TRANSPARENCY CALCULATIONS:
 TOTAL SQUARE FOOTAGE OF FIRST FLOOR FACADE: 1,175 SF
 SQUARE FOOTAGE OF STOREFRONT GLAZING: 759 SF
 PERCENTAGE OF STOREFRONT GLAZING: 65 %

1 North Elevation
 SCALE 3/16" = 1'-0"

NOTE: ALL ROOFTOP EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.

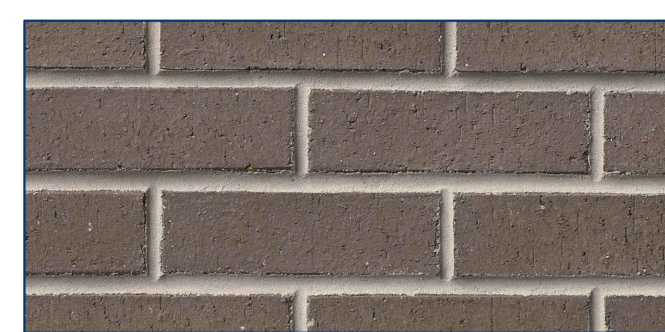


TRANSPARENCY CALCULATIONS:
 TOTAL SQUARE FOOTAGE OF FIRST FLOOR FACADE: 813 SF
 SQUARE FOOTAGE OF STOREFRONT GLAZING: 350 SF
 PERCENTAGE OF STOREFRONT GLAZING: 43 %

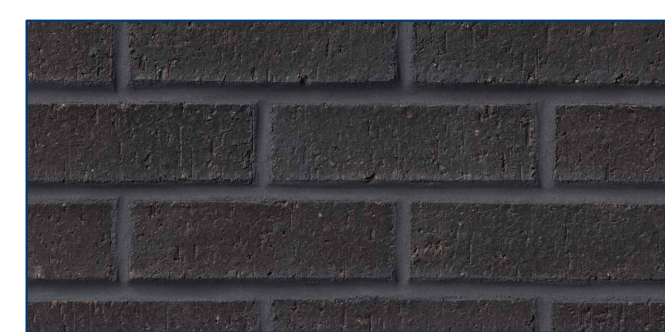
2 East Elevation
 SCALE 3/16" = 1'-0"



BRICK 1



BRICK 2



BRICK 3

FINISHES:
 STOREFRONT: ANODIZED BLACK ALUMINUM
 METAL WALL PANELS: ANODIZED BLACK ALUMINUM
 METAL AWNING: ANODIZED BLACK ALUMINUM
 BRICK 1: BLACKSON BRICK, LIGHT GREY WIRECUT
 BRICK 2: WATSONTOWN BRICK, DARK GREY WIRECUT
 BRICK 3: WATSONTOWN BRICK, BLACK MATTE

MEDICAL OFFICE BUILDING
 KNIGHTDALE, NORTH CAROLINA



CORPORATE STAMP

ARCHITECT'S STAMP

No	Rev./Submissions	Date
	PLANNING	//

SCALE	PROJECT NO
1/4" = 1'-0"	231202
DESIGNED	DATE
RSR	25 JUNE 24
DRAWN	CHECKED
RSR	RSR

DRAWINGS
NORTH & EAST ELEVATIONS
 DRAWING NO
A2.0

THESE DRAWINGS ARE THE COPYRIGHT OF THE REDFOOT STUDIO ARCHITECTURE PC. THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR THE PROJECT DESCRIBED IN THE ADDRESS BAR AND ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. REPRODUCTION IS NOT PERMITTED WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. © 2024 THE REDFOOT STUDIO ARCHITECTURE



THE REDFOOT STUDIO ARCHITECTURE PC
 2015 SAKAPPAH AVENUE, SUITE 100, CHARLOTTE, NC 28217
 (817) 887-7148 • WWW.REDFOOTSTUDIO.COM

MEDICAL OFFICE BUILDING
 KNIIGHTDALE, NORTH CAROLINA



CORPORATE STAMP

ARCHITECT'S STAMP

No	Rev./Submissions	Date
	PLANNING	//
SCALE	PROJECT NO	
1/4" = 1'-0"	231202	
DESIGNED	DATE	
RSR	25 JUNE 24	
DRAWN	CHECKED	
RSR	RSR	

DRAWINGS
SOUTH & WEST ELEVATIONS

DRAWING NO
A2.1

NOTE:
 ALL ROOFTOP EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.



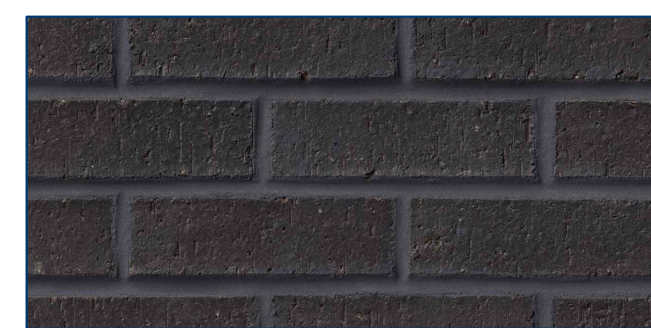
NOTE:
 ALL ROOFTOP EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.



BRICK 1



BRICK 2

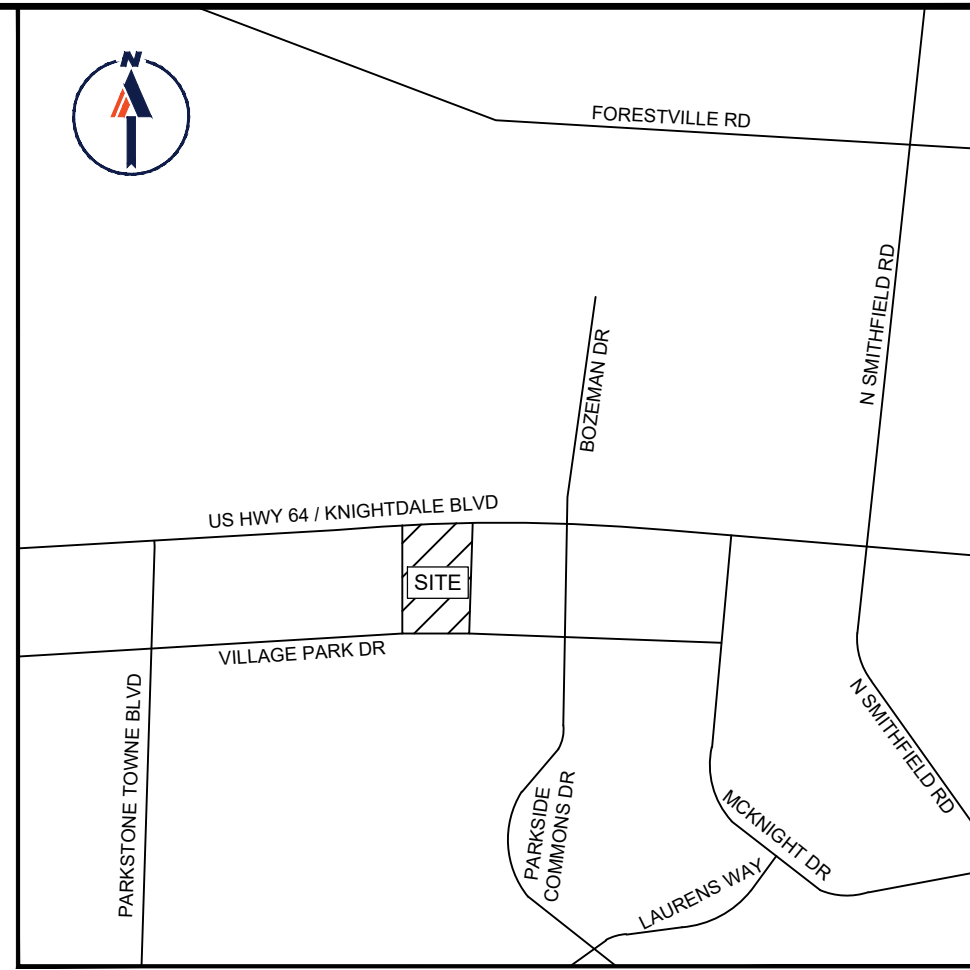


BRICK 3

- FINISHES:**
 STOREFRONT: ANODIZED BLACK ALUMINUM
 METAL WALL PANELS: ANODIZED BLACK ALUMINUM
 METAL AWNING: ANODIZED BLACK ALUMINUM
 BRICK 1: BLACKSON BRICK, LIGHT GREY WIRECUT
 BRICK 2: WATSONTOWN BRICK, DARK GREY WIRECUT
 BRICK 3: WATSONTOWN BRICK, BLACK MATTE

THESE DRAWINGS ARE THE COPYRIGHT OF THE REDFOOT STUDIO ARCHITECTURE PC. THESE DOCUMENTS HAVE BEEN PREPARED SPECIFICALLY FOR THE PROJECT DESCRIBED IN THE ADDRESS BAR AND ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. REPRODUCTION IS NOT PERMITTED WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. © 2024 THE REDFOOT STUDIO ARCHITECTURE

- NOTES:**
1. THE FIRM HAS NEITHER REVIEWED, NOR RELIED UPON A TITLE COMMITMENT OR ANY TITLE REPORT IN AND WHILE PREPARING THIS SURVEY AND THE CLIENT SHOULD NOT RELY UPON THIS SURVEY AS ASSURANCE OF OWNERSHIP, AS A GUARANTEE OF MARKETABLE TITLE OR FOR DISCLOSURE OF TITLE EXCEPTIONS THAT MAY, COULD OR DO ENCOMBER THE PROPERTY. THE CLIENT MUST ENGAGE A TITLE AGENT/TITLE INSURANCE COMPANY FOR REVIEW AND CONFIRMATION OF, AND INSURANCE REGARDING MARKETABLE TITLE.
 2. AREAS COMPUTED BY COORDINATE METHOD.
 3. PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIONS OF RECORD.
 4. ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
 5. RIGHTS-OF-WAY INFORMATION IS BASED ON DEEDS AND MAPS OF RECORD.
 6. NC GRID COORDINATES (NAD83) OBTAINED BY USING GPS, PER THE NCVRS NETWORK.
 7. BASIS OF BEARING SHOWN HEREON IS NC GRID (NAD 83 NRSRS 2011).
 8. VERTICAL DATUM SHOWN HEREON IS NAVD83.
 9. THE PROPERTY SHOWN HEREON IS LOCATED IN FLOODZONE "ZONE X". AREA OF MINIMAL FLOODING, PER FLOOD INSURANCE RATE MAP 3720174400J PANEL 1744 EFFECTIVE DATE MAY 2, 2006.
 10. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED AT THE TIME OF THE SURVEY.
 11. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED AT THE TIME OF THE SURVEY.
 12. BUILDING SETBACKS SHOWN ON THE SURVEY ARE PER THE TOWN OF KNIGHTDALE UDO, UNLESS OTHERWISE STATED.



VICINITY MAP
NOT TO SCALE

- REFERENCES:**
- DB 17729, PG 1385
 - DB 10999, PG 1089
 - DB 15594, PG 1462
 - DB 9886, PG 146
 - BM 2001, PG 424
 - BM 2001, PG 1382
 - BM 2002, PG 2070
 - BM 2007, PG 1216
 - BM 2013, PG 1521

ZONING & SETBACK TABLE:
ZONING: NMX (NEIGHBORHOOD MIXED-USE)

MINIMUM BUILDING SETBACKS (SEE NOTE #12):

FRONT	10'
SIDE	10'
REAR	0'

MINIMUM LOT WIDTH.....80'
MAXIMUM BUILDING HEIGHT.....56'

SURVEYOR CERTIFICATION

I, THOMAS E. TEABO, PLS, HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP. THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP.

THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY OF THE SURVEY AS CALCULATED IS 1:10,000. THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION OF RECORD. THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH TITLE 21, CHAPTER 56, NCAC, AS AMENDED.

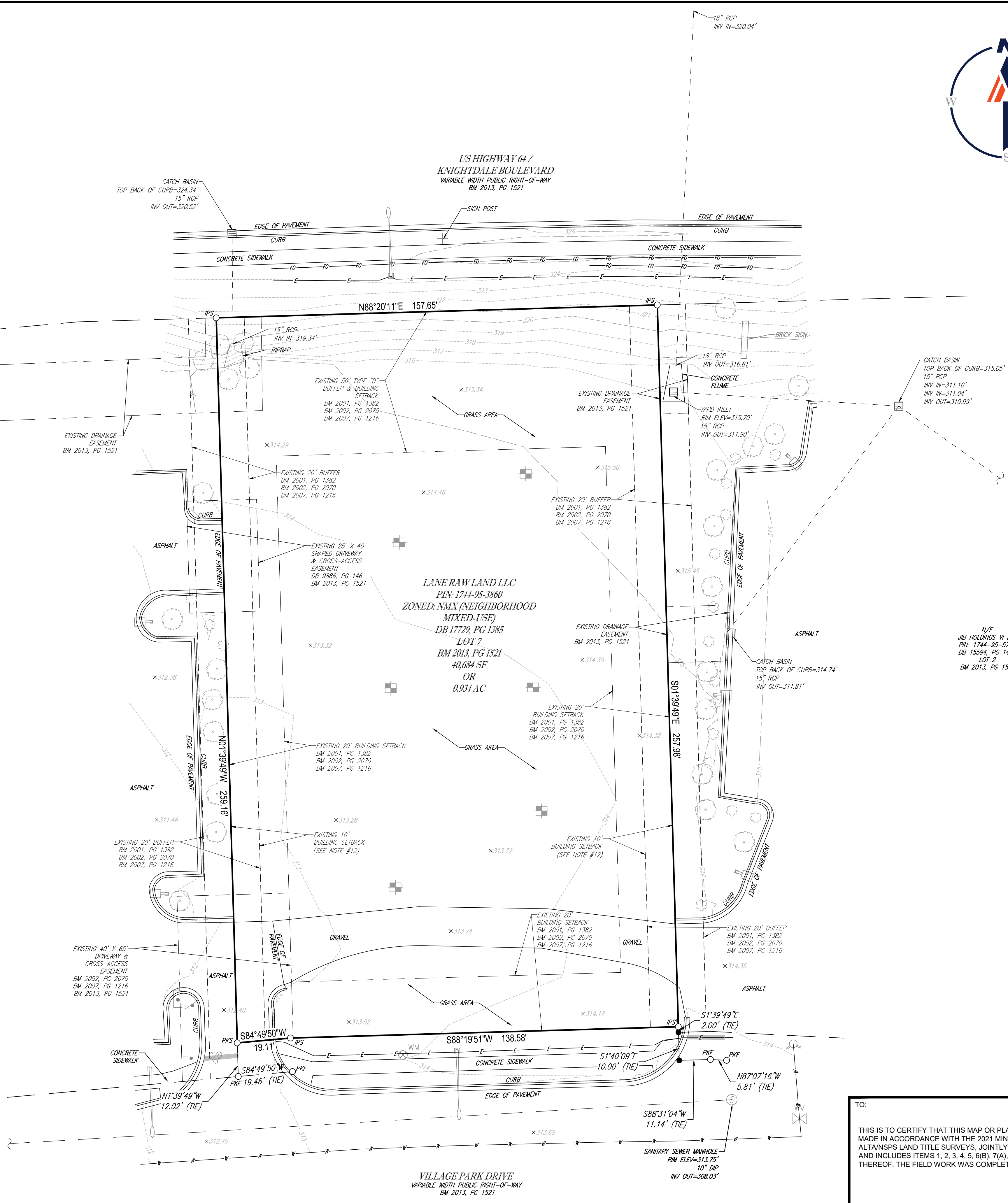
I HEREBY CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- (1) CLASS OF SURVEY: CLASS A*
- (2) POSITIONAL ACCURACY: 0.04"
- (3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NETWORKS-NCVRS
- (4) DATES OF SURVEY: 12/02/2021-12/30/2022
- (5) DATUM/EPOCH: NAD 83 (2011) EPOCH 2010.00
- (6) PUBLISHED/FIXED-CONTROL USE: NCVRS
- (7) GEOID MODEL: 2012 (CONUS)
- (8) COMBINED GRID FACTOR(S): 0.999913410
- (9) UNITS: US SURVEY FEET

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 4TH DAY OF JANUARY A.D., 2022.

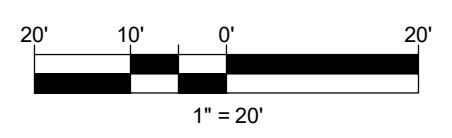
PRELIMINARY - NOT FOR RECORDATION, SALES OR CONVEYANCES

SURVEYOR NC L-3920



LEGEND

—	LINE SURVEYED	⊗	WATER METER
- - -	LINE NOT SURVEYED	⊕	WATER VALVE
- . - .	EXISTING CONTOUR	⊙	FIRE HYDRANT
x 123.45	EXISTING SPOT ELEVATION	⊙	STREET LIGHT
- - -	APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT	⊙	SIGN
- - -	APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT	⊙	MAIL BOX
- - -	APPROX. LOC. UNDERGROUND FIBER OPTIC LINE PER UTILITY MARKOUT	⊙	FENCE
⊙	SANITARY MANHOLE	⊙	AREA LIGHT
⊙	STORM DRAINAGE GRATE	⊙	CLEAN OUT
⊙	TREE	⊙	IRON PIPE FOUND
⊙	BUSH	⊙	PKF NAIL FOUND
⊙	TEST HOLE BORING	⊙	IRON PIPE SET
		⊙	PKF NAIL SET
		●	COMPUTED POINT



TO:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(B), 7(A), 8, 9, 11(A)(B), 13, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 30, 2021.

THOMAS E. TEABO, PLS
NORTH CAROLINA PROFESSIONAL LAND SURVEYOR NO. L-3920

THIS CERTIFICATION IS MADE TO ONLY NAMED PARTIES FOR PURCHASE AND/OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAMED PURCHASER. NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR THE USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, USE OF SURVEY AT FEASIBILITY, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION, EITHER DIRECTLY OR INDIRECTLY.

ALTA/NSPS LAND TITLE SURVEY
FOR
DURBAN DEVELOPMENT
PIN: 1744-95-3860
DB 17729, PG 1385
SITE ADDRESS: 4012 VILLAGE PARK DR
TOWN OF KNIGHTDALE, ST. MATTHEWS TOWNSHIP
WAKE COUNTY, NORTH CAROLINA

FILE NO. NS211122
DATE 01/04/2022
FILE DATE 12/30/2021

BOHLER 4130 PARKLAKE AVENUE, SUITE 130 RALEIGH, NORTH CAROLINA 27612 919.578.9000
www.bohlerengineering.com

CREW CHIEF	DRAWN	REVIEWED	APPROVED	SCALE	DWG. NO.
AS	DET	TET	TET	1" = 20'	1 OF 1

BOHLER ENGINEERING - ALL RIGHTS RESERVED. NO PART OF THIS SURVEY MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BOHLER ENGINEERING, INC.