

# TERRAVITA

KNIGHTDALE, NC

## MASTER PLAN REVIEW DRAWINGS FOR A RESIDENTIAL SUBDIVISION

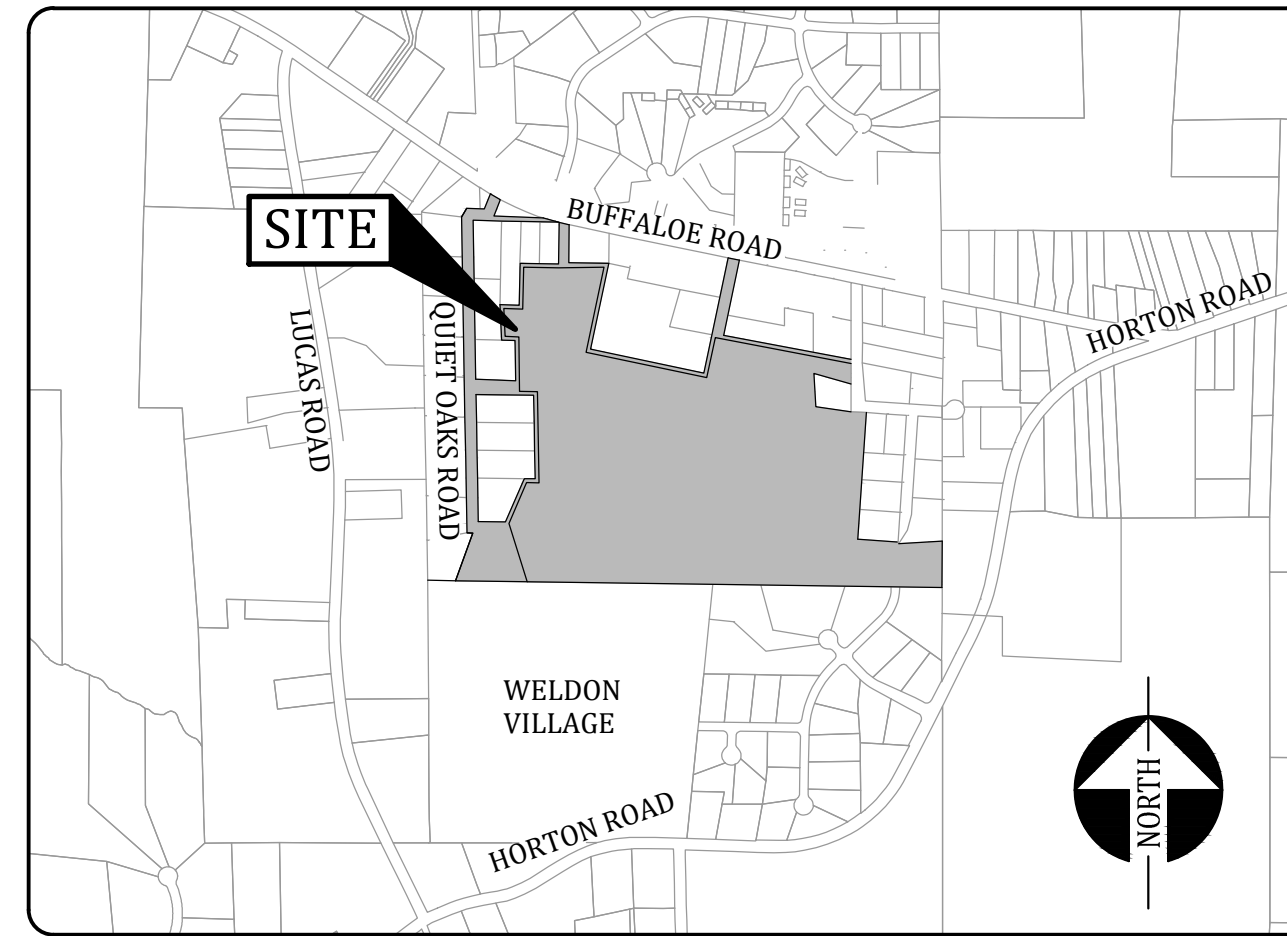
ZMA - 4 - 23

PLANS PREPARED BY:

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
 PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS  
 3803 - B COMPUTER DRIVE, SUITE 104, RALEIGH, N.C. 27609  
 PHONE 919 / 781-0300 FAX 919 / 782-1288  
 EMAIL PCA@PRIESTCRAVEN.COM FIRM#: C-0488



275 NORTH PEA RIDGE ROAD  
 PITTSBORO, NORTH CAROLINA 27312  
 PHONE: (919) 625-9760  
 EMAIL: CWALKER@EPGROUPONLINE.COM



VICINITY MAP 1" = 500'

### SHEET LIST

SHEET #	SHEET TITLE
C0.00	COVER SHEET
C1.00	OVERALL EXISTING CONDITIONS ENVIRONMENTAL SURVEY PLAN
C1.01	EXISTING CONDITIONS PLAN ENLARGED AREA 1
C1.02	EXISTING CONDITIONS PLAN ENLARGED AREA 2
C1.03	EXISTING CONDITIONS PLAN ENLARGED AREA 3
C1.04	EXISTING CONDITIONS PLAN ENLARGED AREA 4
C2.00	OVERALL PRELIMINARY SITE LAYOUT PLAN
C2.01	PRELIMINARY SITE LAYOUT PLAN ENLARGED AREA 1
C2.02	PRELIMINARY SITE LAYOUT PLAN ENLARGED AREA 2
C2.03	PRELIMINARY SITE LAYOUT PLAN ENLARGED AREA 3
C2.04	PRELIMINARY SITE LAYOUT PLAN ENLARGED AREA 4
C2.10	OVERALL PRELIMINARY SITE SIGNAGE AND MARKING PLAN
C2.11	PRELIMINARY SITE SIGNAGE PLAN ENLARGED AREA 1
C2.12	PRELIMINARY SITE SIGNAGE PLAN ENLARGED AREA 2
C2.13	PRELIMINARY SITE SIGNAGE PLAN ENLARGED AREA 3
C2.14	PRELIMINARY SITE SIGNAGE PLAN ENLARGED AREA 4
C2.20	PRELIMINARY OPEN SPACE PLAN
C2.30	PRELIMINARY PHASING PLAN
C2.40	CONNECTIVITY INDEX EXHIBIT
C2.50	STREET SECTIONS
C3.00	PRELIMINARY OVERALL UTILITY PLAN
C3.01	PRELIMINARY UTILITY PLAN ENLARGED AREA 1
C3.02	PRELIMINARY UTILITY PLAN ENLARGED AREA 2
C3.03	PRELIMINARY UTILITY PLAN ENLARGED AREA 3
C3.04	PRELIMINARY UTILITY PLAN ENLARGED AREA 4
C4.00	PRELIMINARY STORM DRAINAGE PLAN
C5.00	PRELIMINARY POST-DEVELOPMENT STORMWATER MANAGEMENT PLAN
C6.00	SAMPLE UNITS
LS1.00	PRELIMINARY SITE LANDSCAPING PLAN
LS1.01	PRELIMINARY LANDSCAPE PLAN ENLARGED AREA 1
LS1.02	PRELIMINARY LANDSCAPE PLAN ENLARGED AREA 2
LS1.03	PRELIMINARY LANDSCAPE PLAN ENLARGED AREA 3
LS1.04	PRELIMINARY LANDSCAPE PLAN ENLARGED AREA 4
LT1.00	PRELIMINARY LIGHTING PLAN

### GENERAL NOTES:

- THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
- THIS PLAN IS PRELIMINARY IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE PER BM2018 PG1383.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
- WETLAND AND STREAM BUFFER LOCATIONS ARE BASED INFORMATION PROVIDED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA.
- STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.

### WATER ALLOCATION TABLE:

UDO ALLOWABLE ITEMS	POINTS
MAJOR SUBDIVISION	15
CONSERVATION OF NATURAL HABITATE MEETING ACTIVE OPEN SPACE REQUIREMENTS (OPEN SPACE LOT 1009 PRESERVING EXISTING POND AND WETLANDS)	5
FOUNTAIN WITHIN WET POND SCM (3 SCMs AT 4 POINTS WITH A MAX. OF 10)	4
ON-STREET PUBLIC PARKING	4
RESIDENTIAL ARCHITECTURAL STANDARDS	15
OUTDOOR DISPLAY OF PUBLIC ART (2 ART LOCATIONS AT 4 POINTS WITH MAX. OF 10)	8
IPEMA CERTIFIED PLAYGROUND EQUIPMENT	4
<b>TOTAL UDO ALLOWABLE POINTS</b>	<b>55</b>
<b>ADDITIONAL POTENTIAL ITEMS</b>	<b>POINTS</b>
ABATEMENT OF ANY EXISTING NON-CONFORMING LOTS (EX. LOT 1 - BOM 2018, P 1383) (EX. LOT 1 FROM BM2018, PG1383)	1
CONSTRUCTION OF FULL CROSS SECTION OF EXISTING OFF-SITE STREET (STREET "B" - FROM STREET "H" TO BUFFALO RD.)	5
CONSTRUCTION OF A PARKWAY STREET SECTION (AT 5 POINTS WITH MAX. OF 10) (STREET "A" AVENUE FROM QUIET OAKS TO ROUNDABOUT) (STREET "B" MAIN STREET FROM WELDON VILLAGE TO ROUNDABOUT)	10
GREENWAY (FROM WELDON VILLAGE ALONG STREET "B", ACROSS OPEN SPACE LOT 1009, ALONG STREET "I" AND "J" TO EASTERN PROPERTY LINE)	2
LIGHTED PLAY EQUIPMENT AT PLAY GROUND FOR NIGHTTIME USE	3
<b>TOTAL ADDITIONAL POTENTIAL POINTS</b>	<b>21</b>
<b>TOTAL UDO ALLOWABLE &amp; ADDITIONAL POTENTIAL POINTS</b>	<b>76</b>

NOT FOR  
CONSTRUCTION  
FOR REVIEW  
ONLY



VERTICAL DATUM - NAVD88  
HORIZONTAL DATUM - NAD83

### PROJECT STATISTICS

PROPERTY OWNERS	SITE INVESTMENTS, LLC 933 OLD KNIGHT RD KNIGHTDALE, NC 27545 (919) 710-0669
	12609 RICHMOND, LLC 4601 SIX FORKS RD, SUITE 400 RALEIGH, NC 27609 (919) 625-9681

TABLE C1.1						
PIN	OWNER	DEED BOOK	DEED PAGE	DEEDED ACRES	SURVEY ACRES	ZONING
1755863977	SITE INVESTMENTS LLC	19147	2336	52.99	53.00	RT
1755787080	12609 RICHMOND LLC	17274	2274	10.00	7.68	RT

PROPOSED ZONING	RMX-PUD
RIVER BASIN	NEUSE
WATERSHED	LOWER NEUSE RIVER

FEMA FLOOD PANEL	AREAS OF OFFSITE IMPROVEMENTS CONTAIN FEMA FLOOD ZONES	3720175500K 7/19/2022
------------------	--	--------------------------

AREA CALCULATIONS		
GROSS SITE AREA		60.68 AC
AREA IN INTERNAL PUBLIC STREET RIGHT-OF-WAY		13.38 AC
AREA IN EXISTING ACCESS EASEMENT		2.72 AC
NET SITE AREA		44.58 AC
AREA IN APPROX. 59'X120' SINGLE FAMILY RESIDENTIAL LOTS		2.91 AC
AREA IN APPROX. 80'X120' SINGLE FAMILY RESIDENTIAL LOTS		0.91 AC
AREA IN APPROX. 30'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOTS		10.42 AC
AREA IN APPROX. 35'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOTS		5.83 AC
AREA IN REAR-LOADED TOWNHOUSE LOTS		5.43 AC
TOTAL AREA IN OPEN SPACE	42.79%	19.08 AC
AREA IN ACTIVE RECREATIONAL OPEN SPACE	9.47%	4.22 AC
AREA IN PASSIVE RECREATIONAL OPEN SPACE	10.86%	4.84 AC
AREA IN COMMON AREA OPEN SPACE	15.44%	6.98 AC
AREA IN PRIVATE ALLEY EASEMENTS		3.13 AC
TOTAL UNITS PROPOSED		241
"59" SINGLE FAMILY (4 BEDROOM)		17
"80" SINGLE FAMILY (4 BEDROOM)		4
"30" REAR-LOADED SINGLE FAMILY (3 BEDROOM)		98
"35" REAR-LOADED SINGLE FAMILY (3 BEDROOM)		47
REAR-LOADED TOWNHOUSE (3 BEDROOM)		75

\*DRIVEWAYS/PARKING PADS TO BE 20' MIN.

RECREATIONAL OPEN SPACE CALCULATIONS				
TOTAL NUMBER OF BEDROOMS				758
DEDICATION RATE (520/UNIT)	758 x 520	394160		9.05 AC
CREDITS				
PARKWAY (PUB. ST. "H", 600 LF, 54' RW)	600 x 27	(16200)	(0.37) AC	
PARKWAY (PUB. ST. "J", 685 LF, 54' RW)	685 x 27	(18495)	(0.42) AC	
<b>TOTAL RECREATIONAL OPEN SPACE REQUIRED</b>		<b>359465</b>	<b>8.25 AC</b>	
ACTIVE RECREATIONAL SPACE REQ'D	50.00%		4.13 AC	
PASSIVE RECREATIONAL SPACE REQ'D	50.00%		4.13 AC	
ACTIVE RECREATIONAL SPACE PROVIDED			4.22 AC	
PASSIVE RECREATIONAL SPACE PROVIDED			4.84 AC	

PARKING CALCULATIONS			
<b>TOTAL PARKING REQUIRED FOR RESIDENTIAL</b>			<b>482 SPACES</b>
"59" SINGLE FAMILY (4 BEDROOM)	(1 PER BEDROOM UP TO 2)		34 SPACES
"80" SINGLE FAMILY (4 BEDROOM)	(1 PER BEDROOM UP TO 2)		8 SPACES
"30" REAR-LOADED SINGLE FAMILY (3 BEDROOM)	(1 PER BEDROOM UP TO 2)		196 SPACES
"35" REAR-LOADED SINGLE FAMILY (3 BEDROOM)	(1 PER BEDROOM UP TO 2)		94 SPACES
REAR-LOADED TOWNHOUSE (3 BEDROOM)	(1 PER BEDROOM UP TO 2)		150 SPACES
<i>*REAR-LOADED TOWNHOUSE REQUIREMENTS ACCOUNT FOR BOTH "AUN/BLDG OR LESS", AND FOR "GREATER THAN 4UN/BLDG" SINCE THE CALCULATION IS THE SAME PER UDO 10.3.D</i>			
<b>TOTAL PARKING REQUIRED FOR MAIL KIOSK LOCATIONS</b>			<b>13 SPACES</b>
MAIL KIOSK #1 (50 CBU)	(GREATER OF 3 OR 1/2 MAX.)		3 SPACES
MAIL KIOSK #1 (150 CBU)	(GREATER OF 3 OR 1/2 MAX.)		4 SPACES
MAIL KIOSK #1 (50 CBU)	(GREATER OF 3 OR 1/2 MAX.)		3 SPACES
MAIL KIOSK #1 (50 CBU)	(GREATER OF 3 OR 1/2 MAX.)		3 SPACES

TOTAL PARKING PROVIDED FOR RESIDENTIAL			
"59" SINGLE FAMILY (4 BEDROOM)	(2 GARAGE, 2 DRIVEWAY)		68 SPACES
"80" SINGLE FAMILY (4 BEDROOM)	(2 GARAGE, 2 DRIVEWAY)		16 SPACES
"30" REAR-LOADED SINGLE FAMILY (3 BEDROOM)	(2 GARAGE, 2 DRIVEWAY)		392 SPACES
"35" REAR-LOADED SINGLE FAMILY (3 BEDROOM)	(2 GARAGE, 2 DRIVEWAY)		188 SPACES
REAR-LOADED TOWNHOUSE (3 BEDROOM)	(1 GARAGE, 1 DRIVEWAY)		150 SPACES

TOTAL PARKING PROVIDED FOR MAIL KIOSK LOCATIONS			
MAIL KIOSK #1 (50 CBU)	(GREATER OF 3 OR 1/2 MAX.)		3 SPACES
MAIL KIOSK #1 (150 CBU)	(GREATER OF 3 OR 1/2 MAX.)		4 SPACES
MAIL KIOSK #1 (50 CBU)	(GREATER OF 3 OR 1/2 MAX.)		3 SPACES
MAIL KIOSK #1 (50 CBU)	(GREATER OF 3 OR 1/2 MAX.)		3 SPACES

ADDITIONAL PARKING PROVIDED			
ON-STREET PARALLEL PARKING			146 SPACES
VISITOR/OPEN SPACE PARKING			37 SPACES

<b>TOTAL PARKING PROVIDED</b>	<b>1010 SPACES</b>
-------------------------------	--------------------

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

REVISIONS: SUBMITTAL DATE: 11/25/2024

RELEASED FOR CONSTRUCTION DATE: NOT RELEASED

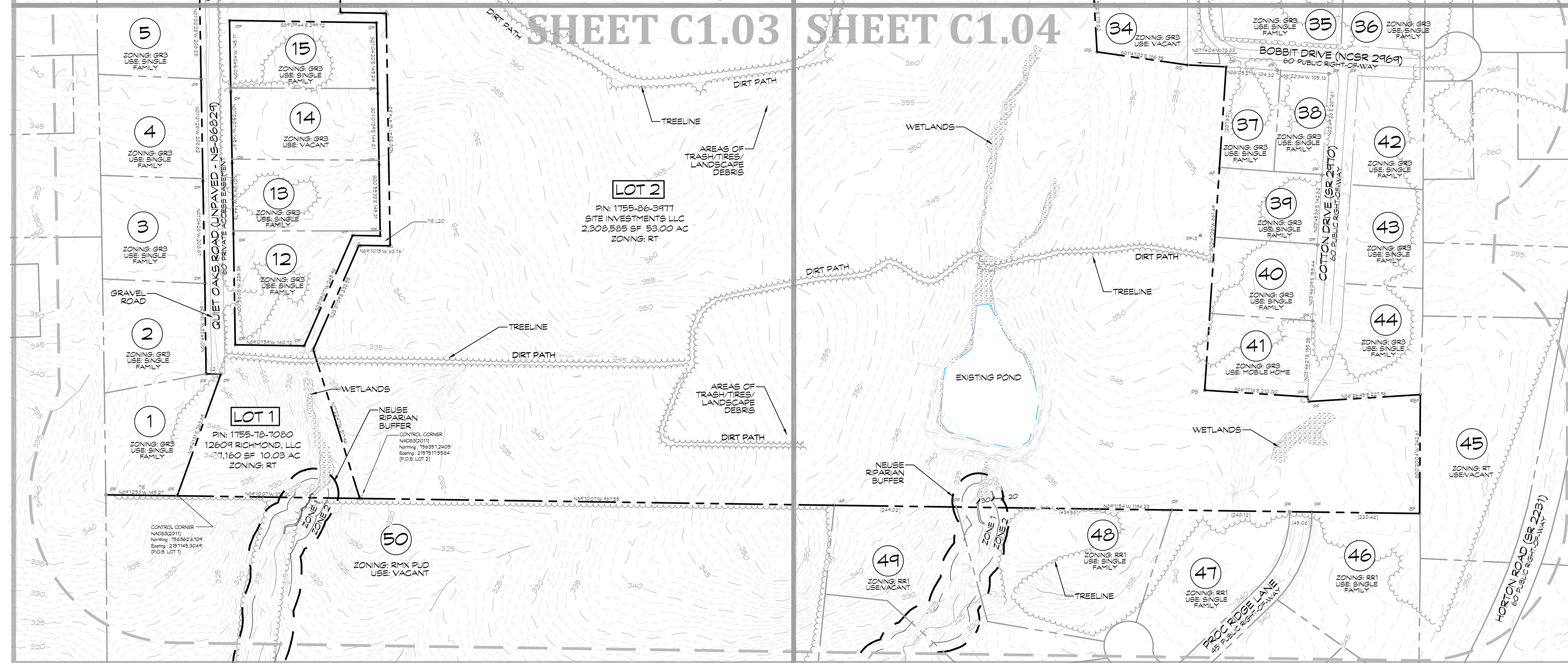
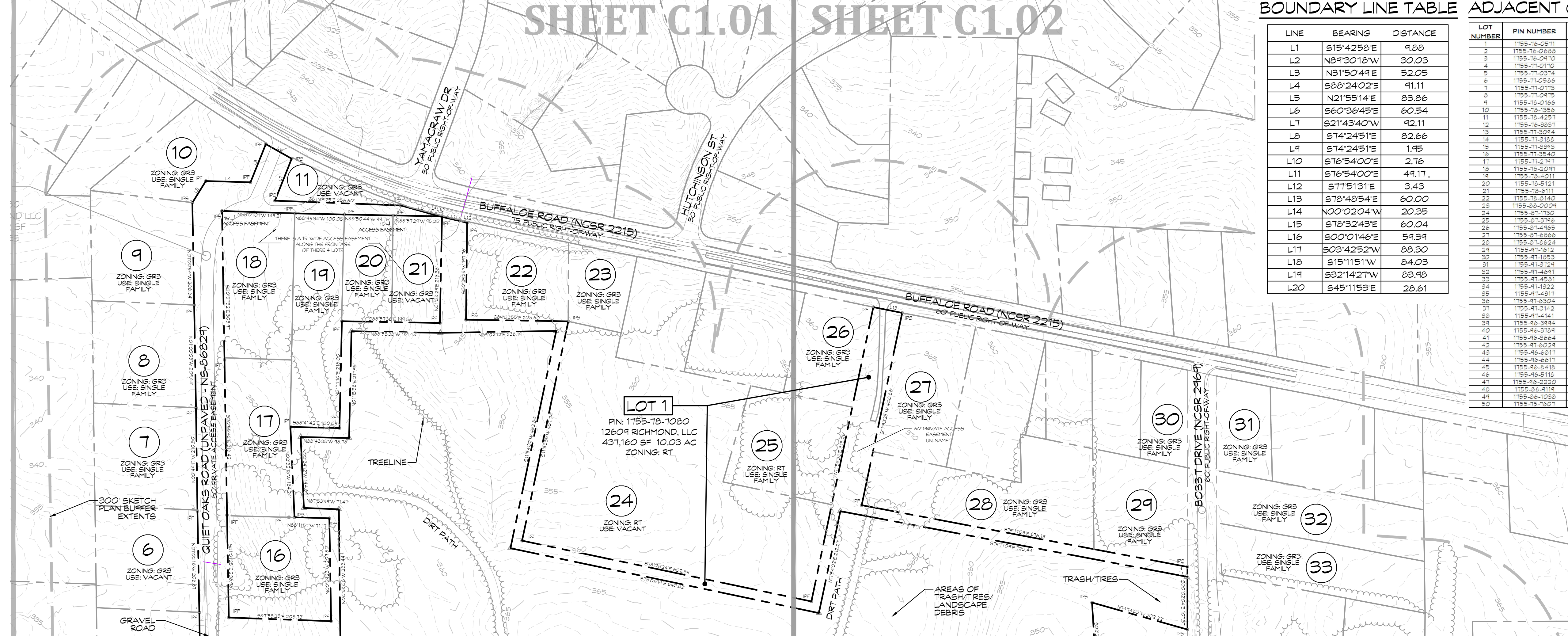
SHEET #  
C0.00



SHEET C1.01 SHEET C1.02

BOUNDARY LINE TABLE ADJACENT OWNERS TABLE:

LINE	BEARING	DISTANCE	LOT NUMBER	PIN NUMBER	OWNER	ADDRESS	DEED BOOK	DEED PAGE
L1	S15°42'50"E	9.80	1	1755-18-0971	LOGAN ANNE MAE LOGAN, ERNEST JR	1625 QUIET OAKS RD KNIGHTDALE NC 27845-5312	18155	219
L2	N0°30'10"W	30.03	2	1755-18-0972	HANNING, DONALD W	2022 3/4 W ST SE WASHINGTON CO NC 27050-2418	12384	1743
L3	N81°50'49"E	52.05	3	1755-18-0970	EDWARDS, PAUL EDWARDS, CYNTHIA B	1616 QUIET OAKS RD KNIGHTDALE NC 27845-5312	3644	238
L4	S88°24'02"E	91.11	4	1755-17-0170	BROWN, THEODORE BROWN, DEBRA A	1625 QUIET OAKS RD KNIGHTDALE NC 27845-5312	3393	452
L5	N21°55'14"E	83.86	5	1755-17-0374	BOYAL, BRYAN	1625 QUIET OAKS RD KNIGHTDALE NC 27845-5312	735	185
L6	S60°36'45"E	60.54	6	1755-17-0336	PERRY, HENRY O	HAL O PERRY 471 WALDEN POND DR APT D RALEIGH NC 27604-4007	05-E	211
L7	S21°43'40"W	42.11	7	1755-17-0179	MOSE, MANUEL, MIGUEL, HELENA	501 PROSITY WAY FENOLLON NC 27841-5551	16471	1057
L8	S74°24'51"E	82.66	8	1755-18-0216	MONTAS, ELOI MONTAS, GABRIELA, ANDRASA S	1503 QUIET OAKS RD KNIGHTDALE NC 27845-5310	4370	341
L9	S74°24'51"E	1.95	9	1755-18-0216	KAMEL, WAFIA, KAMEL, MEDHAT	8056 REMINGTON HEIGHTS DR RALEIGH NC 27616-4913	14061	1113
L10	S76°54'00"E	2.76	10	1755-18-1956	WATSON, JOHN WILLIAM WATSON, SHIRLEY O	3720 SUFFALOE RD KNIGHTDALE NC 27845-5353	11464	252
L11	S77°51'31"E	3.43	11	1755-18-4251	BOYAL, BRYAN	1503 QUIET OAKS RD KNIGHTDALE NC 27845-5310	18401	243
L12	S77°51'31"E	3.43	12	1755-18-3537	COOPER, JOSE A, COOPER, SHIRLEY B	1621 QUIET OAKS RD KNIGHTDALE NC 27845-5313	8017	502
L13	S78°48'54"E	60.04	13	1755-17-0344	KING, ALPHONSO	1616 QUIET OAKS RD KNIGHTDALE NC 27845-5311	3394	502
L14	S78°48'54"E	60.04	14	1755-17-0330	POSTER, WILLIAM POSTER, SEMA	8032 LOGGERS PARK DR RALEIGH NC 27607-5006	3421	416
L15	S78°48'54"E	60.04	15	1755-17-0343	HAWKINS, TISE, HAWKINS, PATRICIA A	1625 QUIET OAKS RD KNIGHTDALE NC 27845-5313	4394	1126
L16	S78°48'54"E	60.04	16	1755-17-0340	LEGETTE, WILLE MOONLEY, LEGETTE, CASANDRA	1601 QUIET OAKS RD KNIGHTDALE NC 27845-5310	11455	1170
L17	S78°48'54"E	60.04	17	1755-17-0187	WATSON, JOHN WILLIAM WATSON, SHIRLEY O	HAL O PERRY 471 WALDEN POND DR APT D RALEIGH NC 27604-4007	12205	213
L18	S78°48'54"E	60.04	18	1755-18-2047	WATKINS, WILLE, JEAN DEWBERRY, BULLY WAYNE	1503 QUIET OAKS RD KNIGHTDALE NC 27845-5311	15461	840
L19	S78°48'54"E	60.04	19	1755-18-2011	HINTON, LULA MAE	3724 SUFFALOE RD KNIGHTDALE NC 27845-5356	2024	840
L20	S78°48'54"E	60.04	20	1755-18-1527	NAP, ANDREW, HENRY, MARY M	5808 NC 101 RALEIGH NC 27616-2223	11023	213
L21	S78°48'54"E	60.04	21	1755-18-6111	ABO HOME IMPROVEMENT LLC	6026 PADDOCK DR RALEIGH NC 27610-1176	11703	2235
L22	S78°48'54"E	60.04	22	1755-18-3140	COOPER, JOSE A, COOPER, SHIRLEY B	G/O WILCO C DOODLE 1403 VAMANKRAN PR KNIGHTDALE NC 27845-7472	213	202
L23	S78°48'54"E	60.04	23	1755-18-0004	DEWBERRY, HANRY, JEAN DEWBERRY, MILDRED P	8032 LOGGERS PARK DR RALEIGH NC 27607-5006	1673	46
L24	S78°48'54"E	60.04	24	1755-17-1190	HART, ARCHIBUD L, HART, SHARON J	8244 SUFFALOE RD KNIGHTDALE NC 27845-5353	19240	1768
L25	S78°48'54"E	60.04	25	1755-17-3746	PERRY, BOYAL, JONES	20 BOBBI DRIVE KNIGHTDALE NC 27845-1210	19240	1170
L26	S78°48'54"E	60.04	26	1755-17-4483	HART, ARCHIBUD L, HART, SHARON J	8244 SUFFALOE RD KNIGHTDALE NC 27845-5353	19240	1768
L27	S78°48'54"E	60.04	27	1755-17-8366	WINSTON, SHANAE D	3015 ROSAN, RD SE ZEBULON NC 27891-7106	17843	2638
L28	S78°48'54"E	60.04	28	1755-17-8324	CARPENTER, CROTTY, W	8244 SUFFALOE RD KNIGHTDALE NC 27845-5353	11805	1263
L29	S78°48'54"E	60.04	29	1755-17-1812	ROBERTS, CHARLENE SMITH	1503 QUIET OAKS RD KNIGHTDALE NC 27845-5310	1025	323
L30	S78°48'54"E	60.04	30	1755-17-1553	PERRY, BOYAL, JONES	20 BOBBI DRIVE KNIGHTDALE NC 27845-1211	1647	60-E
L31	S78°48'54"E	60.04	31	1755-17-3729	ROBT NC PROPERTIES LLC	3137 SUNCREST VILLAGE LN RALEIGH NC 27616-3262	19274	467
L32	S78°48'54"E	60.04	32	1755-17-4483	HART, ARCHIBUD L, HART, SHARON J	1503 QUIET OAKS RD KNIGHTDALE NC 27845-5310	1025	323
L33	S78°48'54"E	60.04	33	1755-17-4501	PERRELL, CHARLES E, PERRELL, DOROTHY	1503 QUIET OAKS RD KNIGHTDALE NC 27845-5310	2011	132
L34	S78°48'54"E	60.04	34	1755-17-1322	MICHELL, GWENDOLYN	1503 QUIET OAKS RD KNIGHTDALE NC 27845-5310	10-E	326
L35	S78°48'54"E	60.04	35	1755-17-4317	HARRIS, JILL	1503 QUIET OAKS RD KNIGHTDALE NC 27845-5310	03-E	44
L36	S78°48'54"E	60.04	36	1755-17-8304	BOBBITT, GADYS, JONES	2313 HORTON RD KNIGHTDALE NC 27845-5342	14-E	433
L37	S78°48'54"E	60.04	37	1755-17-142	ARRINGTON, CHARLENE SMITH	1503 QUIET OAKS RD KNIGHTDALE NC 27845-5310	11202	486
L38	S78°48'54"E	60.04	38	1755-18-3729	BOBBITT, GADYS, JONES	2313 HORTON RD KNIGHTDALE NC 27845-5342	19-E	433
L39	S78°48'54"E	60.04	39	1755-18-3729	BOBBITT, GADYS, JONES	1625 QUIET OAKS RD KNIGHTDALE NC 27845-5310	15334	11
L40	S78°48'54"E	60.04	40	1755-18-3729	MAGEE, SERGIO QUINCO-CORVAANTES, MARYRUI A	9725 WOOLF PK KNIGHTDALE NC 27845-7414	16160	621
L41	S78°48'54"E	60.04	41	1755-18-3729	MAGEE, SERGIO QUINCO-CORVAANTES, MARYRUI A	9725 WOOLF PK KNIGHTDALE NC 27845-7414	16160	123
L42	S78°48'54"E	60.04	42	1755-18-8024	KING, MARY FRANCES, HERB	AARON DUNN, JR 1601 COTTON DR KNIGHTDALE NC 27845-8850	11-E	326
L43	S78°48'54"E	60.04	43	1755-18-6811	BARNES, JAMES R, BARNES, JANET D	1604 COTTON DR KNIGHTDALE NC 27845-8850	2225	525
L44	S78°48'54"E	60.04	44	1755-18-6811	RUBIO, LUCO G, GARCIA, RAYMUNDO, MARCELA	1604 COTTON DR KNIGHTDALE NC 27845-8850	15334	11
L45	S78°48'54"E	60.04	45	1755-18-6419	ORTLAND, JOHN W, DEWENT, ANGELAL	2204 HORTON RD KNIGHTDALE NC 27845-5344	8471	1251
L46	S78°48'54"E	60.04	46	1755-18-1119	ARRINGTON, WARREN H, JR	1701 PROOC RIDGE LN KNIGHTDALE NC 27845-7916	14500	1593
L47	S78°48'54"E	60.04	47	1755-18-2220	WARNER, MATTHEW E, WARNER, TRACY LANE	1701 PROOC RIDGE LN KNIGHTDALE NC 27845-7916	15332	824
L48	S78°48'54"E	60.04	48	1755-18-4118	RUSCO, JOSEPH B, RUSCO, MICHELE W	4021 HORTON HILL DR RALEIGH NC 27845-5185	12416	1804
L49	S78°48'54"E	60.04	49	1755-18-1030	WILLIAMS, WANNY	4544 WINTERWOOD DR RALEIGH NC 27613-5811	16040	2153
L50	S78°48'54"E	60.04	50	1755-18-1607	SPRENT, PARRIS, LLC	3111 N 15TH AVE KNIGHTDALE NC 27845-8504	12019	3247



**SURVEY LINETYPES**

---	PROPERTY LINE	---	UPL	---	UNDERGROUND POWER
---	P/L NOT SURVEYED	---	XFO	---	FIBER OPTIC/COMMUNICATION
---	EASEMENT	---	TS	---	TRAFFIC SIGNAL
---	ADJOINER	---	XWL	---	WATERLINE
-X-X-	FENCE LINE	---	UT	---	UNDERGROUND TELEPHONE
-XSS-	SANITARY SEWER	---		---	100 YR FLOODPLAIN
-XST-	STORM SEWER	---		---	GUARD RAIL

**SURVEY SYMBOL LEGEND**

□	AC UNIT	GW	GUY WIRE	WL	WATER LINE
BFV	BACK FLOW VALVE	IV	IRRIGATION VALVE	HB	WATER LINE HOTBOX
○	BOLLARD	☆	LIGHT POLE	⊗	WATER LINE MANHOLE
□	CABLE PEDESTAL	○	OVERHANG	⊕	WATER METER
CV	CABLE VAULT	OE	OVERHEAD ELECTRIC	⊗	WATER VALVE
□	CATCH BASIN	RCP	REINFORCED CONCRETE DRAINAGE PIPE	W	WELL
□	CLEAN OUT	⊕	SEWER MANHOLE	□	YARD INLET
CB	COMMUNICATION BOX	⊕	STORM MANHOLE	□	PROPERTY CORNERS
□	CURB INLET	⊕	STORM JUNCTION BOX	⊕	CONC MONUMENT SET
□	ELECTRIC BOX	⊕	SWAMP	⊕	CONC MONUMENT FOUND
EV	ELECTRICAL VAULT	⊕	TELEPHONE MANHOLE	⊕	PROP CORNER FOUND
⊕	FIRE HYDRANT	⊕	TELEPHONE PEDESTAL	⊕	COMPUTED POINT
FL	FENCE LINE	⊕	TEMPORARY BENCHMARK	⊕	CONTROL CORNER
FO	FIBER OPTIC	⊕	TREE	⊕	IRON PIPE SET
FOV	FIBER OPTIC VAULT	⊕	UNDERGROUND ELECTRIC	⊕	IRON PIPE FOUND
⊕	FLARED END SECTION	⊕	UP	---	HATCH LEGEND
G	GAS	⊕	UT	---	TRASH/DEBRIS
⊕	GAS VALVE	⊕	UTILITY POLE	---	EXISTING RIPRAP
⊕	GRATED INLET				

**GENERAL NOTES:**

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDCEQ.
- WETLAND AND STREAM BUFFER LOCATIONS ARE BASED INFORMATION PROVIDED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA.
- STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.

240 120 60 0 120 360  
GRAPHIC SCALE  
1" = 120'

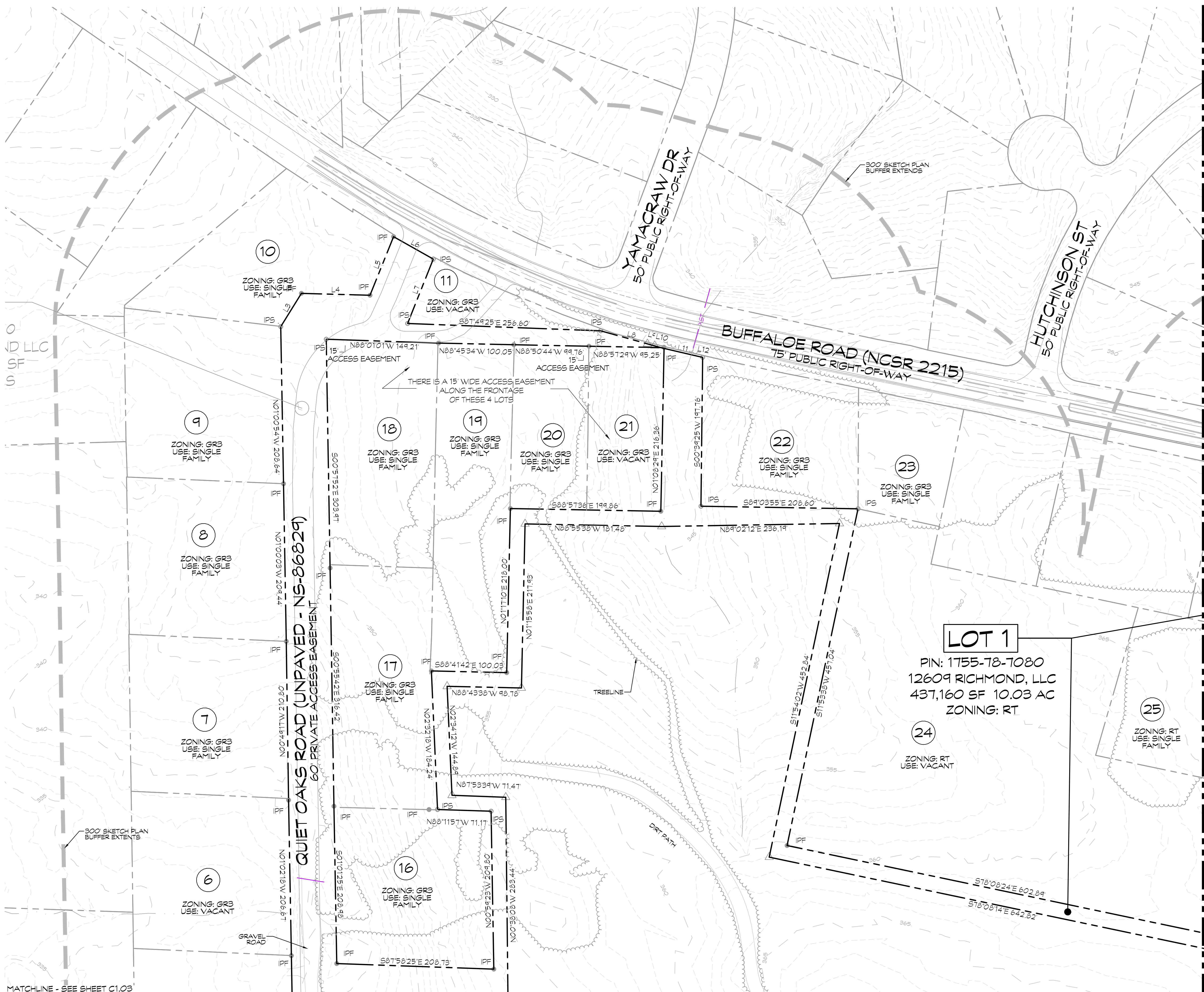
**811** Know what's below. Call before you dig.

**NOT FOR CONSTRUCTION FOR REVIEW ONLY**

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS





**SURVEY LINETYPES**

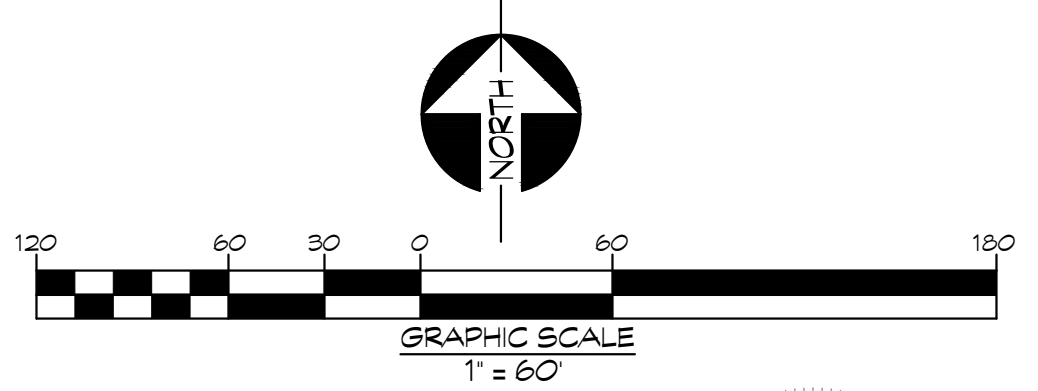
---	PROPERTY LINE
- - -	P/L NOT SURVEYED
---	EASEMENT
---	ADJOINER
-x-x-	FENCE LINE
-xss-	SANITARY SEWER
-xst-	STORM SEWER
-upl-	UNDERGROUND POWER
-xfo-	FIBER OPTIC COMMUNICATION
-ts-	TRAFFIC SIGNAL
-xwl-	WATERLINE
-ut-	UNDERGROUND TELEPHONE
-  -	100 YR FLOODPLAIN
-o-o-o-	GUARD RAIL

**SURVEY SYMBOL LEGEND**

□ AC UNIT	GN GUY WIRE	WL WATER LINE
BFV BACK FLOW VALVE	IV IRRIGATION VALVE	HB WATER LINE HOTBOX
○ BOLLARD	☆ LIGHT POLE	⊗ WATER LINE MANHOLE
▣ CABLE PEDESTAL	OH OVERHANG	⊕ WATER METER
CV CABLE VAULT	OE OVERHEAD ELECTRIC	⊗ WATER VALVE
▣ CATCH BASIN	RCP REINFORCED CONCRETE DRAINAGE PIPE	W WELL
□ CLEAN OUT	⊗ SEWER MANHOLE	□ YARD INLET
CB COMMUNICATION BOX	⊗ STORM MANHOLE	<b>PROPERTY CORNERS</b>
▣ CURB INLET	JB STORM JUNCTION BOX	■ CONC MONUMENT SET
EB ELECTRICAL BOX	SW SWAMP	■ CONC MONUMENT FOUND
EV ELECTRICAL VAULT	TP TELEPHONE PEDESTAL	● PROP CORNER FOUND
⊕ FIRE HYDRANT	⊕ TELEPHONE MANHOLE	△ COMPUTED POINT
FL FENCE LINE	⊕ TEMPORARY BENCHMARK	⊗ CONTROL CORNER
FO FIBER OPTIC	⊕ TREE	○ IRON PIPE SET
FOV FIBER OPTIC VAULT	UE UNDERGROUND ELECTRIC	IPF IRON PIPE FOUND
⊕ FLARED END SECTION	UP UNDERGROUND POWER	<b>HATCH LEGEND</b>
g GAS	UT UNDERGROUND TELEPHONE	▨ TRASH/DEBRIS
⊕ GAS VALVE	⊕ UTILITY POLE	▨ EXISTING RIPRAP
⊕ GRATED INLET		

**GENERAL NOTES:**

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
- WETLAND AND STREAM BUFFER LOCATIONS ARE BASED INFORMATION PROVIDED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA.
- STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



**NOT FOR CONSTRUCTION FOR REVIEW ONLY**

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDDOT STANDARDS AND SPECIFICATIONS.

MATCHLINE - SEE SHEET C1.03





**SURVEY LINETYPES**

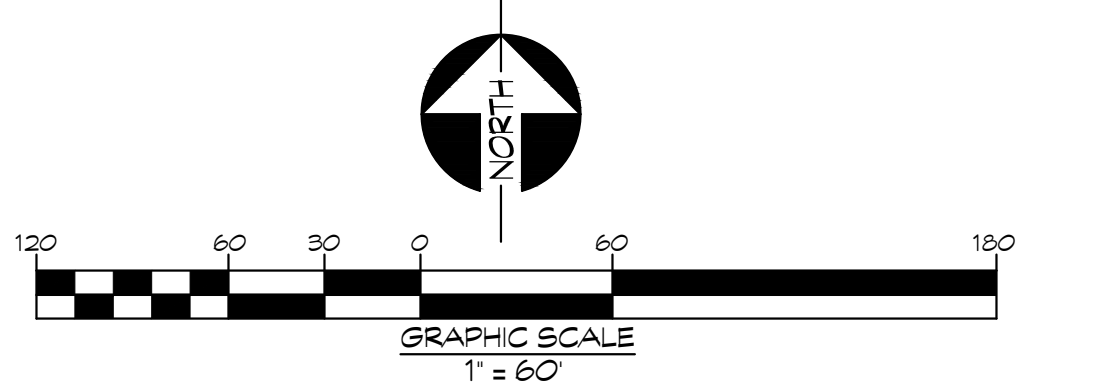
---	PROPERTY LINE
- - - -	P/L NOT SURVEYED
---	EASEMENT
- - - -	ADJOINER
- x - x -	FENCE LINE
- x s s -	SANITARY SEWER
- x s t -	STORM SEWER
- u p l -	UNDERGROUND POWER
- x f o -	FIBER OPTIC/COMMUNICATION
- t s -	TRAFFIC SIGNAL
- x w l -	WATERLINE
- u t -	UNDERGROUND TELEPHONE
-    -    -	100 YR FLOODPLAIN
- o o o o -	GUARD RAIL

**SURVEY SYMBOL LEGEND**

□ AC UNIT	GN GUY WIRE	WL WATER LINE
BFV BACK FLOW VALVE	IV IRRIGATION VALVE	HB WATER LINE HOTBOX
o BOLLARD	☆ LIGHT POLE	⊗ WATER LINE MANHOLE
⊠ CABLE PEDESTAL	OH OVERHANG	⊕ WATER METER
CV CABLE VAULT	OE OVERHEAD ELECTRIC	⊗ WATER VALVE
■ CATCH BASIN	RCP REINFORCED CONCRETE DRAINAGE PIPE	W WELL
⊘ CLEAN OUT	⊙ SEWER MANHOLE	□ YARD INLET
CB COMMUNICATION BOX	⊙ STORM MANHOLE	<b>PROPERTY CORNERS</b>
⊠ CURB INLET	JB STORM JUNCTION BOX	■ CONC MONUMENT SET
⊠ ELECTRIC BOX	⊙ SWAMP	■ CONC MONUMENT FOUND
EV ELECTRICAL VAULT	⊠ TELEPHONE PEDESTAL	● PROP CORNER FOUND
⊠ FIRE HYDRANT	⊙ TELEPHONE MANHOLE	△ COMPUTED POINT
FL FENCE LINE	⊙ TEMPORARY BENCHMARK	⊙ CONTROL CORNER
FO FIBER OPTIC	⊙ TREE	○ IRON PIPE SET
FOV FIBER OPTIC VAULT	UE UNDERGROUND ELECTRIC	IPF IRON PIPE FOUND
∇ FLARED END SECTION	UP UNDERGROUND POWER	<b>HATCH LEGEND</b>
g GAS	UT UNDERGROUND TELEPHONE	▨ TRASH/DEBRIS
⊗ GAS VALVE	⊙ UTILITY POLE	▨ EXISTING RIPRAP
⊠ GRATED INLET		

**GENERAL NOTES:**

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
- WETLAND AND STREAM BUFFER LOCATIONS ARE BASED INFORMATION PROVIDED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA.
- STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



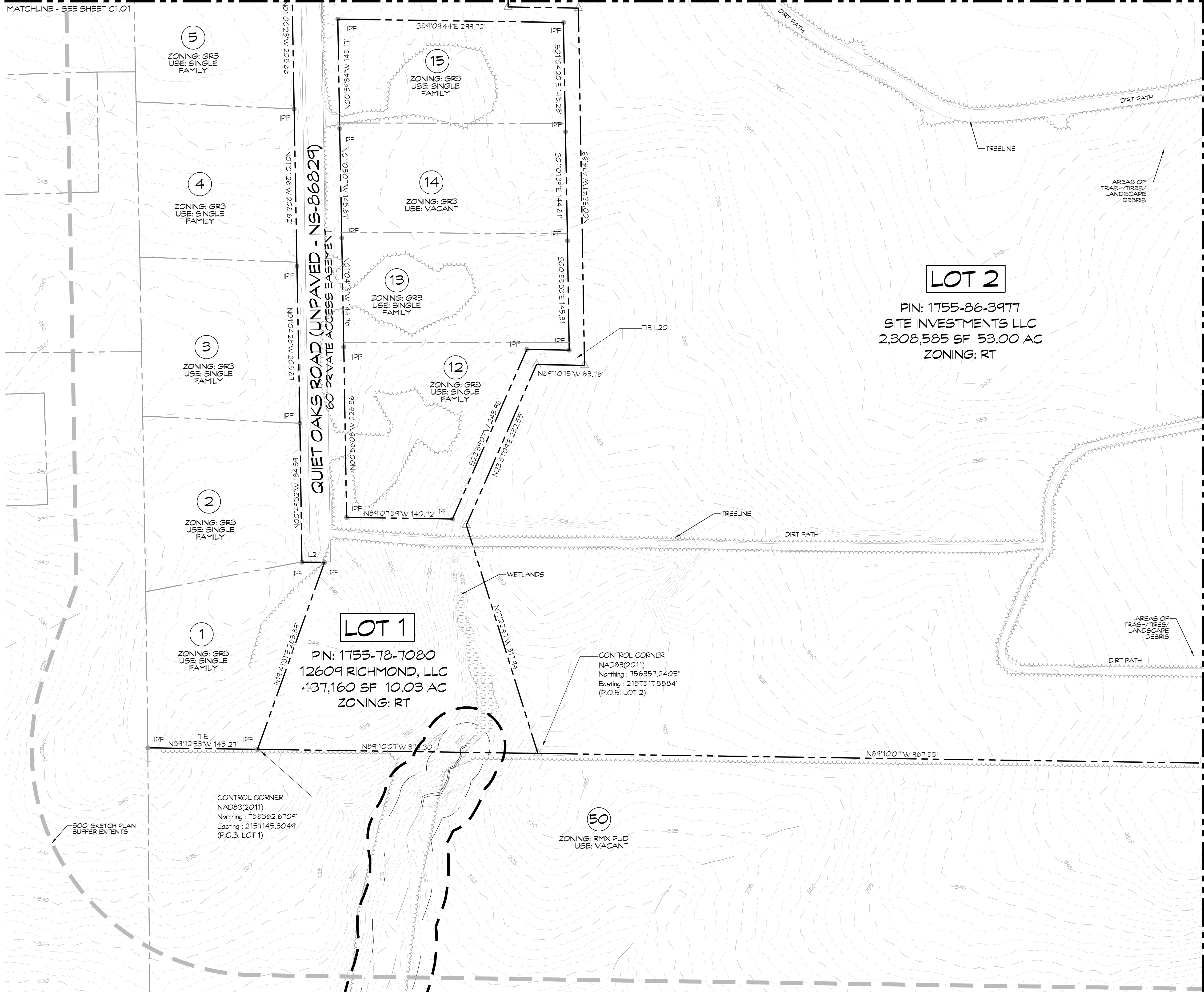
**NOT FOR CONSTRUCTION FOR REVIEW ONLY**

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDDOT STANDARDS AND SPECIFICATIONS



MATCHLINE - SEE SHEET C1.01



**SURVEY LINETYPES**

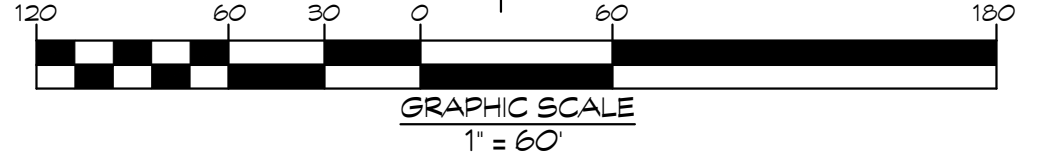
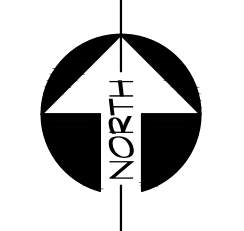
---	PROPERTY LINE
---	P/L NOT SURVEYED
---	EASEMENT
---	ADJOINER
-x-x-	FENCE LINE
-xss-	SANITARY SEWER
-xst-	STORM SEWER
-upl-	UNDERGROUND POWER
-xfo-	FIBER OPTIC/COMMUNICATION
-ts-	TRAFFIC SIGNAL
-xwl-	WATERLINE
-ut-	UNDERGROUND TELEPHONE
-  -  -	100 YR FLOODPLAIN
-o-o-o-	GUARD RAIL

**SURVEY SYMBOL LEGEND**

AC UNIT	GUY WIRE	WATER LINE
BACK FLOW VALVE	IRRIGATION VALVE	WATER LINE HOTBOX
BOLLARD	LIGHT POLE	WATER LINE MANHOLE
CABLE PEDESTAL	OVERHANG	WATER METER
CABLE VAULT	OVERHEAD ELECTRIC	WATER VALVE
CATCH BASIN	REINFORCED CONCRETE DRAINAGE PIPE	WELL
CLEAN OUT	SEWER MANHOLE	YARD INLET
COMMUNICATION BOX	STORM MANHOLE	<b>PROPERTY CORNERS</b>
CURB INLET	STORM JUNCTION BOX	CONC MONUMENT SET
ELECTRIC BOX	SWAMP	CONC MONUMENT FOUND
ELECTRICAL VAULT	TELEPHONE PEDESTAL	PROP CORNER FOUND
FIRE HYDRANT	TELEPHONE MANHOLE	COMPUTED POINT
FENCE LINE	TEMPORARY BENCHMARK	CONTROL CORNER
FIBER OPTIC	TREE	IRON PIPE SET
FIBER OPTIC VAULT	UNDERGROUND ELECTRIC	IRON PIPE FOUND
FLARED END SECTION	UNDERGROUND POWER	<b>HATCH LEGEND</b>
GAS	UNDERGROUND TELEPHONE	TRASH/DEBRIS
GAS VALVE	UTILITY POLE	EXISTING RIPRAP
GRATED INLET		

**GENERAL NOTES:**

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
- WETLAND AND STREAM BUFFER LOCATIONS ARE BASED INFORMATION PROVIDED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA.
- STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



**NOT FOR CONSTRUCTION FOR REVIEW ONLY**

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

**TERRAVITA**  
MASTER PLAN REVIEW DRAWINGS

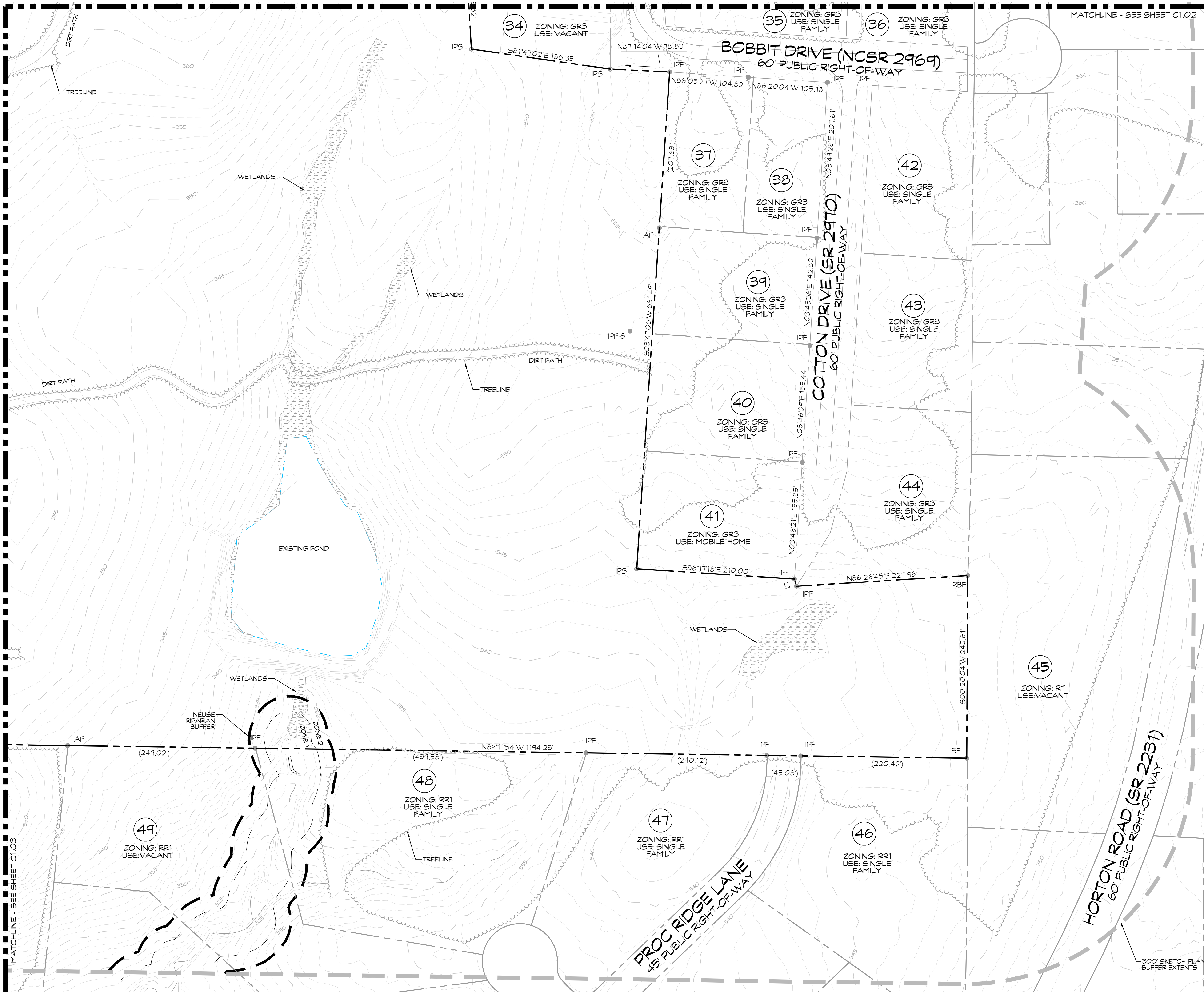
SCALE:	1"=60'
DATE:	NOVEMBER 25, 2024
PROJECT NUMBER:	2023-002.001
CLIENT:	SITE INVESTMENTS, LLC
PLAN TYPE:	MASTER PLAN REVIEW

**EXISTING CONDITIONS PLAN  
ENLARGED AREA 3**

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

SHEET #  
C1.03





**SURVEY LINETYPES**

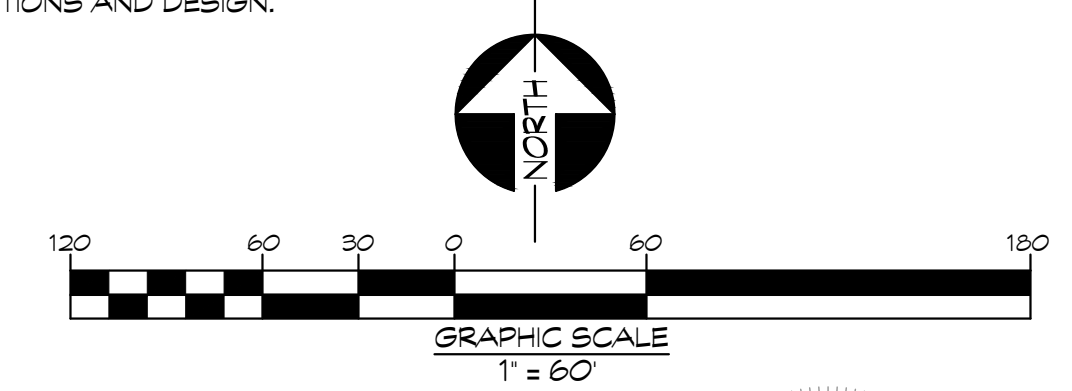
---	PROPERTY LINE
- - -	P/L NOT SURVEYED
---	EASEMENT
- - -	ADJOINER
- x - x -	FENCE LINE
- x s s -	SANITARY SEWER
- x s t -	STORM SEWER
- u p l -	UNDERGROUND POWER
- x f o -	FIBER OPTIC COMMUNICATION
- t s -	TRAFFIC SIGNAL
- x w l -	WATERLINE
- u t -	UNDERGROUND TELEPHONE
-    -    -	100 YR FLOODPLAIN
- o o o -	GUARD RAIL

**SURVEY SYMBOL LEGEND**

□ AC UNIT	GN GUY WIRE	WL WATER LINE
BFV BACK FLOW VALVE	IV IRRIGATION VALVE	HB WATER LINE HOTBOX
○ BOLLARD	☆ LIGHT POLE	⊗ WATER LINE MANHOLE
⊠ CABLE PEDESTAL	OH OVERHANG	⊕ WATER METER
CV CABLE VAULT	OE OVERHEAD ELECTRIC	⊗ WATER VALVE
▒ CATCH BASIN	RCP REINFORCED CONCRETE DRAINAGE PIPE	W WELL
⊘ CLEAN OUT		□ YARD INLET
CB COMMUNICATION BOX	⊙ SEWER MANHOLE	<b>PROPERTY CORNERS</b>
▒ CURB INLET	⊙ STORM MANHOLE	■ CONC MONUMENT SET
EB ELECTRICAL BOX	JB STORM JUNCTION BOX	■ CONC MONUMENT FOUND
EV ELECTRICAL VAULT	⊙ SWAMP	● PROP CORNER FOUND
⊙ FIRE HYDRANT	⊠ TELEPHONE PEDESTAL	△ COMPUTED POINT
FL FENCE LINE	⊙ TELEPHONE MANHOLE	⊙ CONTROL CORNER
FO FIBER OPTIC	⊙ TEMPORARY BENCHMARK	○ IRON PIPE SET
FOV FIBER OPTIC VAULT	⊙ TREE	IPF IRON PIPE FOUND
⊙ FLARED END SECTION	UE UNDERGROUND ELECTRIC	IPF IRON PIPE FOUND
⊙ GAS	UP UNDERGROUND POWER	<b>HATCH LEGEND</b>
⊙ GAS VALVE	UT UNDERGROUND TELEPHONE	▒ TRASH/DEBRIS
⊙ GRATED INLET	⊙ UTILITY POLE	▒ EXISTING RIPRAP

**GENERAL NOTES:**

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
- WETLAND AND STREAM BUFFER LOCATIONS ARE BASED INFORMATION PROVIDED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA.
- STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



**NOT FOR CONSTRUCTION FOR REVIEW ONLY**

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDDOT STANDARDS AND SPECIFICATIONS.





### BUILDING SETBACK TABLE

SETBACK TYPE	MIN	MAX
FRONT	10 FT	N/A
CORNER SIDE	10 FT	N/A
SIDE YARD SETBACK	25%	N/A
REAR YARD SETBACK	25 FT	N/A
TOWNHOME BUILDING SETBACKS	MIN	MAX
FRONT	0 FT	25 FT
SIDE YARD SETBACK	10 FT	N/A
REAR YARD SETBACK	15 FT	N/A

20% OF LOT WIDTH, SIDE SETBACK SHALL BE CALCULATED AS AN AGGREGATE. LOTS GREATER THAN OR EQUAL TO 60' IN WIDTH SHALL HAVE MINIMUM SETBACK OF 5'. LOTS LESS THAN 60' IN WIDTH SHALL HAVE A MINIMUM SETBACK OF 3'. SIDE YARDS OF CORNER LOTS SHALL BE A 'T' PARTIAL EXISTS, 0' SIDE YARD MIN.

### GROSS SITE AREA

AREA IN INTERNAL PUBLIC STREET RIGHT-OF-WAY	212 AC
AREA IN EXISTING ACCESS EASEMENT	44.58 AC
NET SITE AREA	2.91 AC
AREA IN APPROX. 59'X120' SINGLE FAMILY RESIDENTIAL LOTS	0.91 AC
AREA IN APPROX. 80'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOTS	10.42 AC
AREA IN APPROX. 35'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOTS	5.83 AC
AREA IN REAR-LOADED TOWNHOUSE LOTS	4.22 AC
TOTAL AREA IN OPEN SPACE	42.74%
AREA IN ACTIVE RECREATIONAL OPEN SPACE	9.47%
AREA IN COMMON AREA OPEN SPACE	10.86%
AREA IN PRIVATE ALLEY EASEMENTS	15.44%
TOTAL UNITS PROPOSED	241
59' SINGLE FAMILY (4 BEDROOM)	17
80' SINGLE FAMILY (4 BEDROOM)	4
80' REAR-LOADED SINGLE FAMILY (3 BEDROOM)	98
35' REAR-LOADED SINGLE FAMILY (3 BEDROOM)	47
REAR-LOADED TOWNHOUSE (3 BEDROOM)	75

### LOT AREA TABLE

LOT #	(AC)	(SF)	LOT #	(AC)	(SF)	LOT #	(AC)	(SF)	LOT #	(AC)	(SF)
1	0.11	4,993	54	0.10	4,390	101	0.10	4,200	180	0.06	2,640
2	0.11	4,900	55	0.10	4,395	102	0.14	6,026	181	0.09	3,840
3	0.13	5,783	56	0.10	4,311	103	0.13	5,468	182	0.09	3,840
4	0.09	3,982	57	0.10	4,278	104	0.10	4,200	183	0.06	2,640
5	0.09	4,012	58	0.10	4,211	105	0.10	4,200	184	0.06	2,640
6	0.09	4,020	59	0.11	4,950	106	0.10	4,197	185	0.06	2,640
7	0.09	4,020	60	0.11	7,304	107	0.10	4,169	186	0.06	2,640
8	0.09	4,020	61	0.10	4,200	108	0.10	4,144	187	0.09	3,840
9	0.11	4,864	62	0.10	4,200	109	0.10	4,149	188	0.09	3,840
10	0.16	6,952	63	0.10	4,200	110	0.10	4,159	189	0.06	2,640
11	0.10	4,211	64	0.10	4,200	111	0.10	4,142	190	0.06	2,640
12	0.10	4,199	65	0.10	4,200	112	0.10	4,197	191	0.06	2,640
13	0.10	4,198	66	0.10	4,200	113	0.10	4,197	192	0.06	2,640
14	0.12	5,043	67	0.10	4,200	114	0.12	5,430	193	0.09	3,806
15	0.12	5,046	68	0.15	6,495	120	0.12	5,405	194	0.09	3,956
16	0.10	4,200	69	0.16	6,862	122	0.12	5,424	195	0.06	2,640
17	0.10	4,200	70	0.10	4,200	123	0.12	5,353	196	0.01	2,911
18	0.10	4,200	71	0.10	4,200	124	0.12	5,318	197	0.01	3,050
19	0.10	4,200	72	0.10	4,200	125	0.12	5,320	198	0.01	3,221
20	0.13	5,627	73	0.10	4,200	126	0.14	6,306	199	0.11	4,993
21	0.13	5,671	74	0.10	4,199	127	0.13	5,746	200	0.06	2,640
22	0.11	4,900	75	0.10	4,115	128	0.11	4,900	201	0.06	2,640
23	0.16	7,028	76	0.10	4,149	129	0.11	4,900	202	0.06	2,640
24	0.14	6,187	77	0.10	4,149	130	0.11	4,900	203	0.10	4,451
25	0.12	5,196	78	0.10	4,150	131	0.11	4,900	204	0.10	4,241
26	0.11	5,001	79	0.10	4,184	132	0.11	4,900	205	0.07	2,831
27	0.11	4,898	80	0.15	6,446	133	0.12	7,834	206	0.06	2,710
28	0.11	4,898	81	0.14	6,046	134	0.12	5,043	207	0.06	2,720
29	0.11	4,898	82	0.10	4,184	135	0.12	5,141	208	0.06	2,713
30	0.11	4,900	83	0.10	4,153	136	0.14	5,903	209	0.06	2,713
31	0.11	4,900	84	0.10	4,144	137	0.14	5,936	210	0.09	3,812
32	0.14	6,128	85	0.10	4,148	138	0.11	4,900	211	0.09	3,840
33	0.12	5,248	86	0.10	4,168	139	0.11	4,900	212	0.06	2,640
34	0.12	5,248	87	0.10	4,168	140	0.11	4,900	213	0.09	3,840
35	0.12	5,248	88	0.10	4,200	141	0.11	4,900	214	0.09	3,956
36	0.12	5,248	89	0.10	4,200	142	0.13	5,880	215	0.06	2,721
37	0.12	5,232	90	0.21	9,110	143	0.11	4,900	216	0.06	2,716
38	0.12	5,231	91	0.11	7,842	144	0.11	4,900	217	0.06	2,676
39	0.10	4,400	92	0.10	4,200	145	0.11	4,881	218	0.09	3,756
40	0.10	4,400	93	0.10	4,200	146	0.08	3,384	219	0.10	4,200
41	0.10	4,401	94	0.10	4,200	147	0.08	2,840	220	0.06	2,640
42	0.10	4,401	95	0.10	4,200	148	0.08	2,845	221	0.06	2,640
43	0.12	5,423	96	0.10	4,200	149	0.06	2,709	222	0.06	2,640
44	0.10	4,401	97	0.10	4,200	150	0.09	3,911	223	0.06	2,640
45	0.10	4,401	98	0.10	4,216	151	0.04	3,950	224	0.06	2,640
46	0.10	4,401	99	0.15	6,478	152	0.06	2,703	225	0.06	2,640
47	0.10	4,401	100	0.15	6,738	153	0.06	2,644	226	0.09	3,754
48	0.12	5,180	101	0.10	4,200	154	0.04	3,816	227	0.09	3,840
49	0.10	4,200	102	0.10	4,200	155	0.04	3,754	228	0.06	2,640
50	0.10	4,200	103	0.10	4,200	156	0.06	2,640	229	0.06	2,640
51	0.10	4,200	104	0.10	4,200	157	0.06	2,640	230	0.06	2,640
52	0.10	4,200	105	0.10	4,200	158	0.06	2,640	231	0.06	2,640
53	0.13	5,811	106	0.10	4,200	159	0.06	2,640	232	0.09	3,958

### OPEN SPACE AREA TABLE

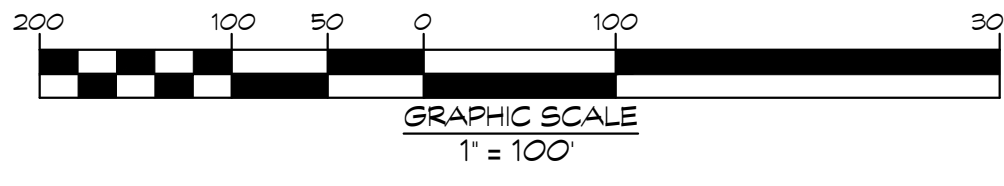
LOT NO.	TOTAL OPEN SPACE AREA (SF)	ACTIVE OPEN SPACE AREA (SF)	PASSIVE OPEN SPACE AREA (SF)	COMMON OPEN SPACE AREA (SF)
1000	71,852	15,535	12,410	44,907
1001	4,967	4,967	0	0
1002	24,662	11,294	0	13,368
1003	5,824	0	5,824	0
1004	138,843	35,017	27,162	76,664
1005	3,794	0	3,794	0
1006	5,875	0	5,875	0
1007	6,502	0	6,502	0
1008	11,507	0	11,507	0
1009	311,142	84,301	122,079	94,762
1010	619	0	0	619
1011	1,044	0	0	1,044
1012	600	0	0	600
1013	1,823	0	0	1,823
1014	19,419	0	0	19,419
1015	15,865	0	15,865	0
1016	46,168	24,294	0	21,874
1017	3,466	3,466	0	0
1018	9,668	0	0	9,668
TOTALS (SF)	694,590	183,884	210,963	299,743
TOTALS (AC)	15.95	4.22	4.84	6.88

### OPEN SPACE

LOT #	(AC)	(SF)
1000	1.74	77,891
1001	0.11	4,967
1002	0.13	5,824
1003	0.13	5,824
1004	3.18	138,843
1005	0.09	3,794
1006	0.13	5,875
1007	0.15	6,502
1008	0.26	11,507
1009	7.14	311,142
1010	0.01	619
1011	0.02	1,044
1012	0.01	600
1013	0.04	1,823
1014	0.45	19,419
1015	0.36	15,865
1016	1.06	46,168
1017	0.08	3,466
1018	0.22	9,668

### GENERAL NOTES:

- THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
- THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE PER BM2018 PG1388.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCEQ STANDARDS AND SPECIFICATIONS.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- NO NEUV BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCEQ.
- WETLAND AND STREAM BUFFER LOCATIONS ARE BASED INFORMATION PROVIDED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA.
- STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



NOT FOR CONSTRUCTION FOR REVIEW ONLY

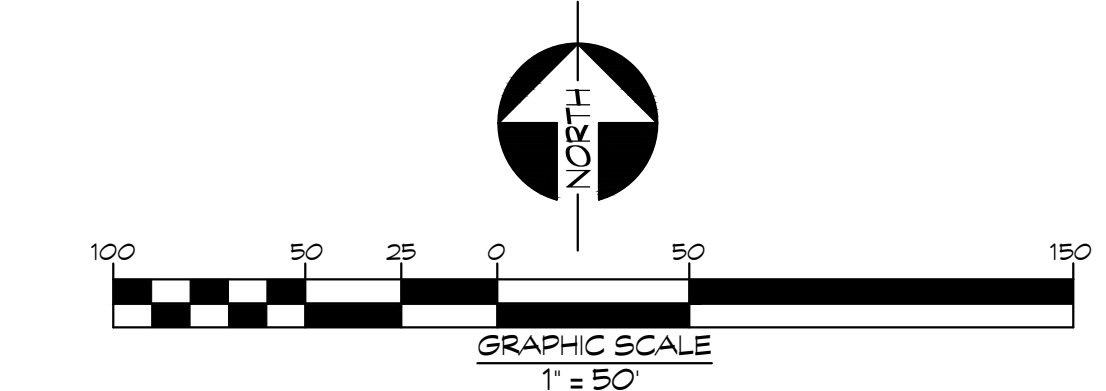




**HATCH LEGEND:**

[Grey Hatch]	INTERNAL PUBLIC STREET RIGHT-OF-WAY
[Light Grey Hatch]	PUBLIC STREET RIGHT-OF-WAY DEDICATION
[Pink Hatch]	EXISTING ACCESS EASEMENT
[Yellow Hatch]	59X120 SINGLE FAMILY RESIDENTIAL LOT
[Orange Hatch]	80X120 SINGLE FAMILY RESIDENTIAL LOT
[Light Orange Hatch]	30X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Purple Hatch]	35X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Blue Hatch]	REAR-LOADED TOWNHOUSE LOT
[Green Hatch]	ACTIVE RECREATIONAL OPEN SPACE
[Light Green Hatch]	PASSIVE RECREATIONAL OPEN SPACE
[Lightest Green Hatch]	COMMON OPEN SPACE
[Grey Hatch]	PRIVATE ALLEY EASEMENT
[Cyan Hatch]	STORMWATER CONTROL MEASURE

- GENERAL NOTES:**
1. THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
  2. THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
  3. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
  4. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
  5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
  6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
  7. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
  8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
  9. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
  10. WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
  11. STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



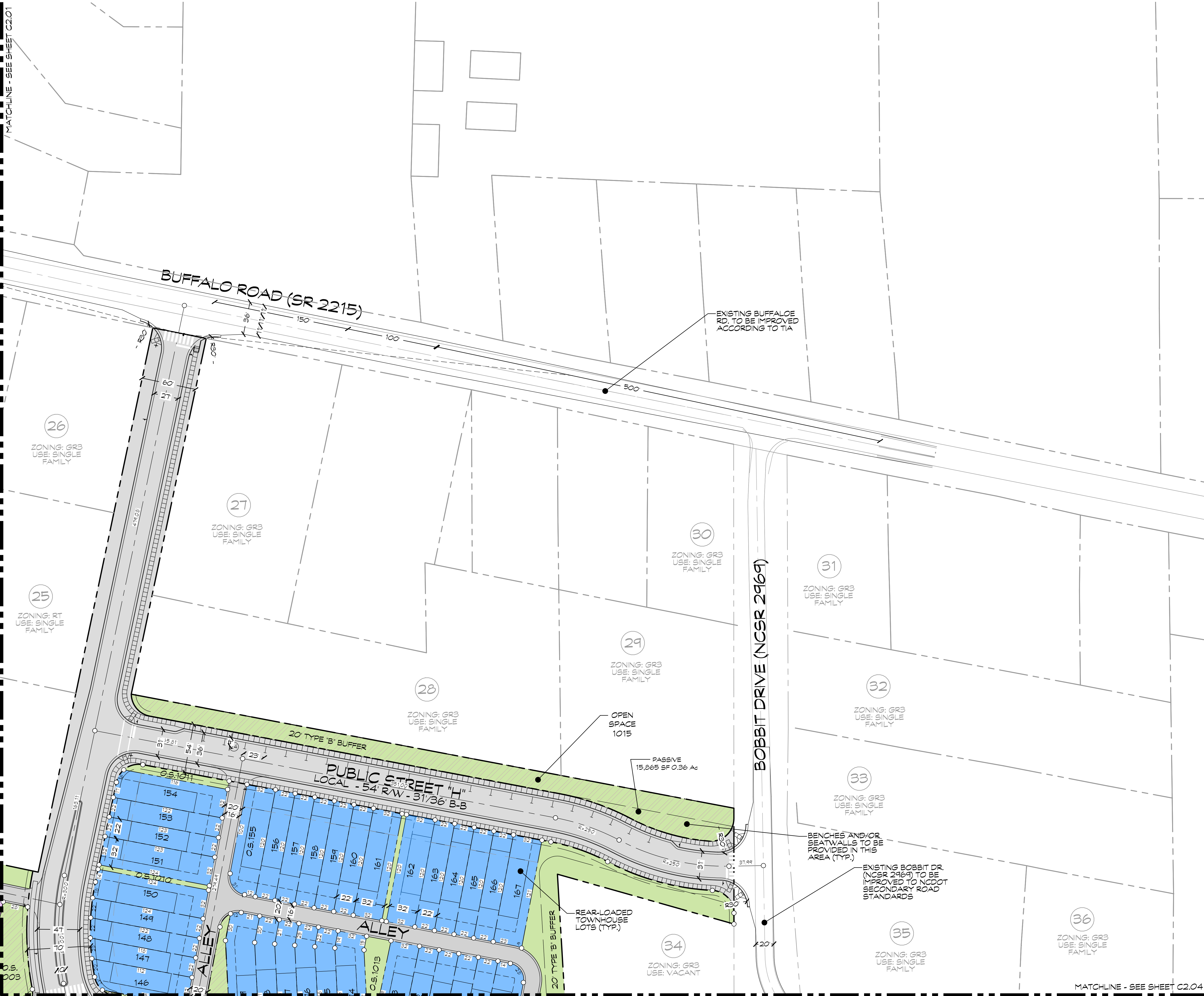
CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**NOT FOR CONSTRUCTION FOR REVIEW ONLY**



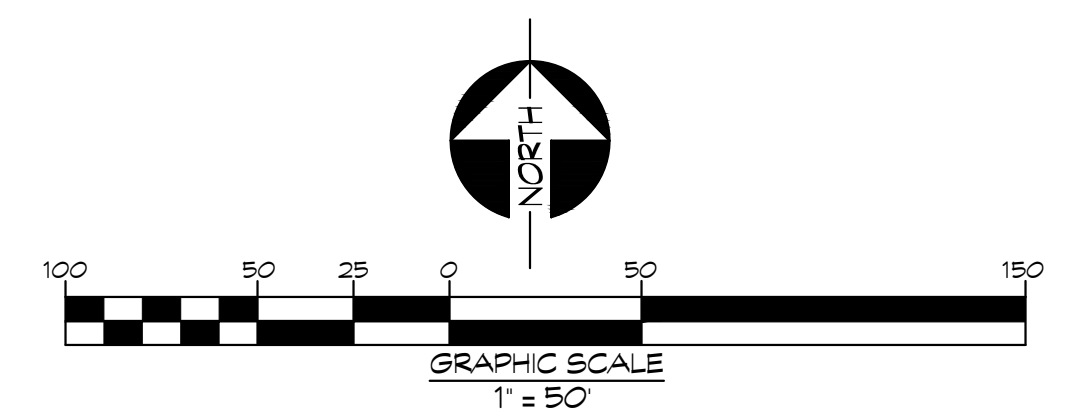
MATCHLINE - SEE SHEET C2.01



**HATCH LEGEND:**

[Hatched Box]	INTERNAL PUBLIC STREET RIGHT-OF-WAY
[Hatched Box]	PUBLIC STREET RIGHT-OF-WAY DEDICATION
[Hatched Box]	EXISTING ACCESS EASEMENT
[Hatched Box]	59X120' SINGLE FAMILY RESIDENTIAL LOT
[Hatched Box]	80X120' SINGLE FAMILY RESIDENTIAL LOT
[Hatched Box]	30X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Hatched Box]	35X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Hatched Box]	REAR-LOADED TOWNHOUSE LOT
[Hatched Box]	ACTIVE RECREATIONAL OPEN SPACE
[Hatched Box]	PASSIVE RECREATIONAL OPEN SPACE
[Hatched Box]	COMMON OPEN SPACE
[Hatched Box]	PRIVATE ALLEY EASEMENT
[Hatched Box]	STORMWATER CONTROL MEASURE

- GENERAL NOTES:**
1. THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
  2. THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
  3. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
  4. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
  5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
  6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
  7. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
  8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
  9. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
  10. WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
  11. STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



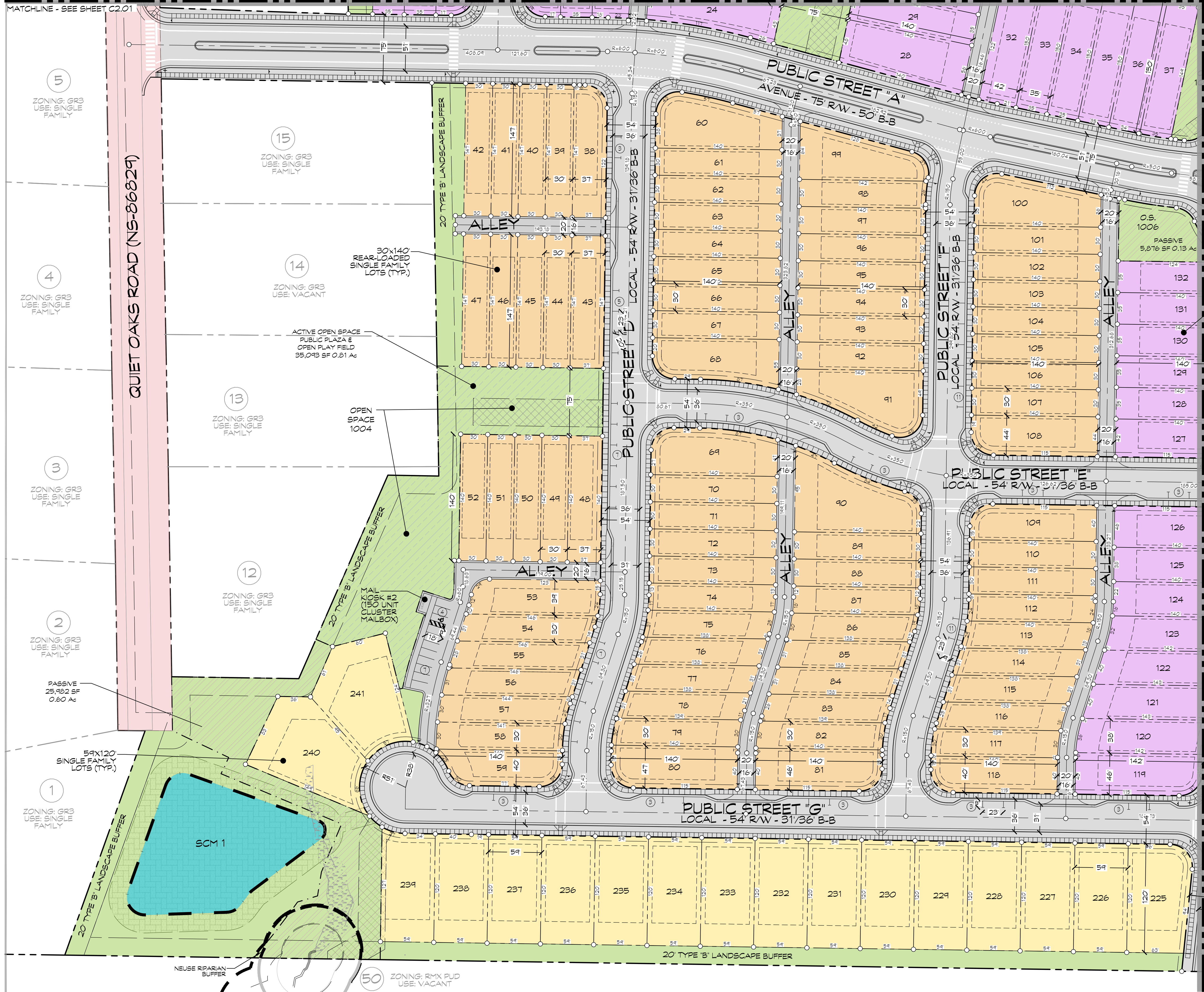
CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

**NOT FOR CONSTRUCTION FOR REVIEW ONLY**



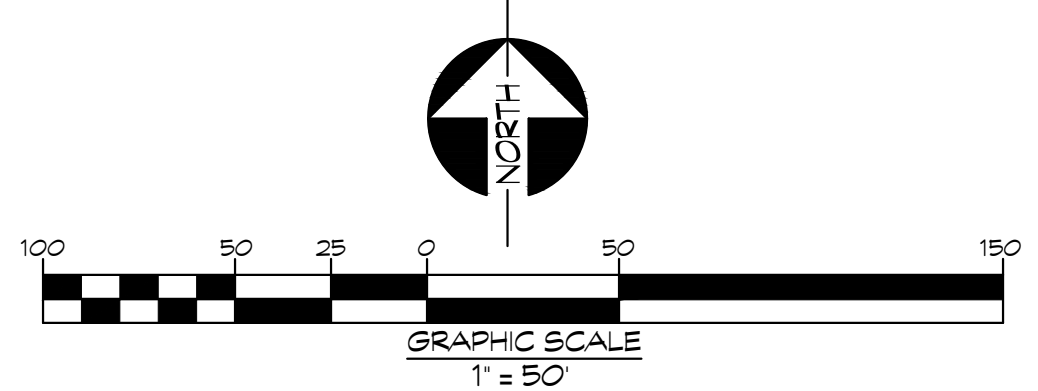
MATCHLINE - SEE SHEET C2.01



**HATCH LEGEND:**

[Hatched Box]	INTERNAL PUBLIC STREET RIGHT-OF-WAY
[Hatched Box]	PUBLIC STREET RIGHT-OF-WAY DEDICATION
[Hatched Box]	EXISTING ACCESS EASEMENT
[Hatched Box]	59X120' SINGLE FAMILY RESIDENTIAL LOT
[Hatched Box]	80X120' SINGLE FAMILY RESIDENTIAL LOT
[Hatched Box]	30X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Hatched Box]	35X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Hatched Box]	REAR-LOADED TOWNHOUSE LOT
[Hatched Box]	ACTIVE RECREATIONAL OPEN SPACE
[Hatched Box]	PASSIVE RECREATIONAL OPEN SPACE
[Hatched Box]	COMMON OPEN SPACE
[Hatched Box]	PRIVATE ALLEY EASEMENT
[Hatched Box]	STORMWATER CONTROL MEASURE

- GENERAL NOTES:**
1. THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
  2. THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
  3. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
  4. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
  5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
  6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCEC STANDARDS AND SPECIFICATIONS.
  7. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
  8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
  9. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCEC.
  10. WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
  11. STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.

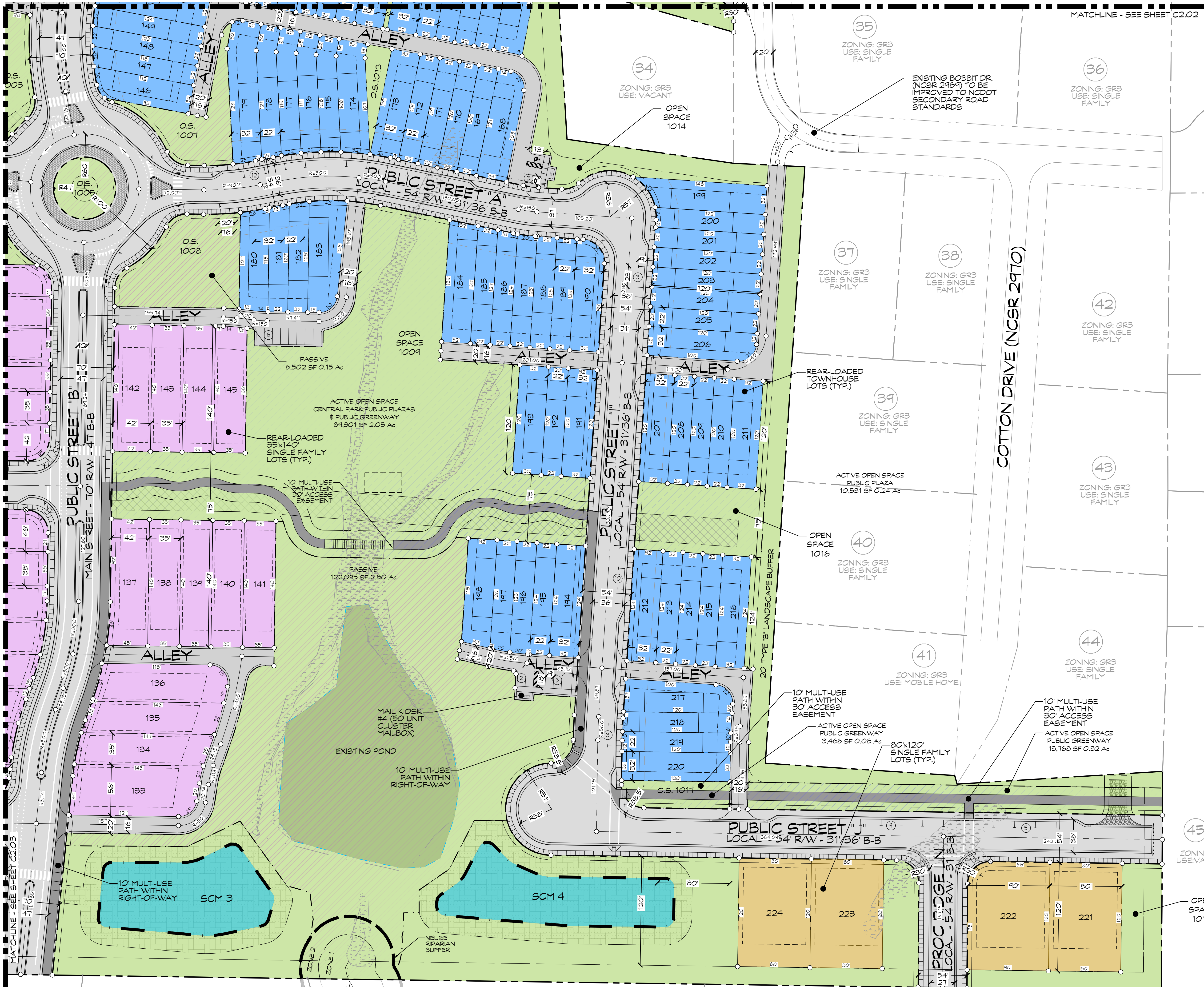


CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**NOT FOR CONSTRUCTION FOR REVIEW ONLY**



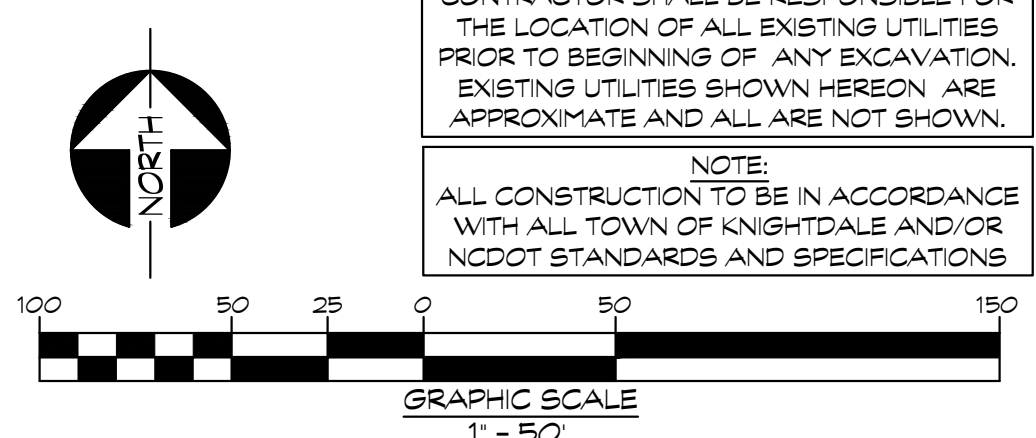


MATCHLINE - SEE SHEET C2.02

**HATCH LEGEND:**

[Hatched Pattern]	INTERNAL PUBLIC STREET RIGHT-OF-WAY
[Hatched Pattern]	PUBLIC STREET RIGHT-OF-WAY DEDICATION
[Hatched Pattern]	EXISTING ACCESS EASEMENT
[Hatched Pattern]	59X120' SINGLE FAMILY RESIDENTIAL LOT
[Hatched Pattern]	80X120' SINGLE FAMILY RESIDENTIAL LOT
[Hatched Pattern]	30X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Hatched Pattern]	35X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Hatched Pattern]	REAR-LOADED TOWNHOUSE LOT
[Hatched Pattern]	ACTIVE RECREATIONAL OPEN SPACE
[Hatched Pattern]	PASSIVE RECREATIONAL OPEN SPACE
[Hatched Pattern]	COMMON OPEN SPACE
[Hatched Pattern]	PRIVATE ALLEY EASEMENT
[Hatched Pattern]	STORMWATER CONTROL MEASURE

- GENERAL NOTES:**
1. THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
  2. THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
  3. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
  4. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
  5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
  6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCEQ STANDARDS AND SPECIFICATIONS.
  7. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
  8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
  9. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCEQ.
  10. WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
  11. STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR CONSTRUCTION FOR REVIEW ONLY



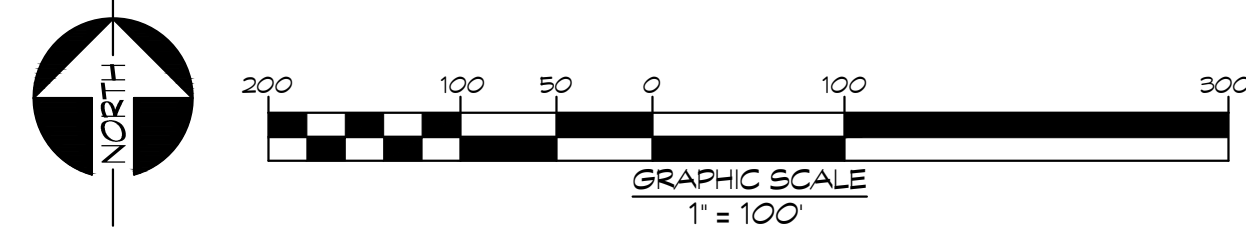


**SIGN LEGEND:**

①		R1-1 STOP TO BE USED ONLY AT ALL WAY INTERSECTIONS AS INDICATED ON PLAN	⑦		R7-2E RESERVED PARKING MAXIMUM PENALTY \$200
②		R1-2	⑧		R6-4
③		R2-1 SPEED LIMIT 25	⑨		W2-6
④		R11-2 STREET NAME PER T.O.C. 3.17	⑩		R11-2 FUTURE ROAD EXTENSION ROAD CLOSED PER T.O.C. STD. DETAIL 3.10
⑤		W11-2			
⑥		W16-9P AHEAD			

**SIGNAGE AND MARKING NOTES:**

- THE DEVELOPER SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL STREET IDENTIFICATION (NAME) AND REGULATORY SIGNS. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR STRIPING ON ALL PUBLIC STREETS CONSTRUCTED WITH DEVELOPMENT AS FOLLOWS:
  - STOP BARS AT CROSSWALKS - ALL STREETS - PER DETAIL 4.06
  - CONTINUOUS CENTERLINE STRIPING - DOUBLE YELLOW LINE ON CATEGORY TWO AND CATEGORY THREE STREETS.
  - PARKING STALLS - WHERE APPLICABLE (ON-STREET).
- ALL PAVEMENT MARKINGS INCLUDING TRAFFIC CONTROL, STOP BARS, FIRE LANES AND CROSS WALKS SHALL BE MADE WITH REFLECTORIZED THERMOPLASTIC STRIPING WITH A MINIMUM THICKNESS IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES. ALL MARKINGS SHALL BE 120 MIL THICK WITH THE EXCEPTION OF SYMBOLS WHICH SHALL BE 90 MIL THICK. PARKING STALL STRIPING IN A PRIVATE PARKING LOT IS EXEMPT FROM USE OF THERMOPLASTICS. THE THERMOPLASTIC STRIPING TYPE OF MARKING MATERIAL SHALL BE APPLIED BY FUSING TO THE PAVEMENT SURFACE BY APPLICATION OF HEAT. MATERIALS SHALL COMPLY FULLY WITH THE REQUIREMENTS SET FORTH IN SECTION 1027 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. APPLICATION OF MARKINGS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS SET FORTH IN SECTION 1205 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT FOR PERMANENT MARKING.
- STREET IDENTIFICATION SIGNS SHALL IDENTIFY ALL STREETS AT EACH INTERSECTION, SUCH SIGNS SHALL BE CONSTRUCTED OF ALUMINUM SHEETS, SIX (6) INCH HIGH, 0.063 INCH THICK, AND LENGTH AS NEEDED TO HAVE A TWO (2) INCH MARGIN BEFORE AND AFTER THE LETTERING, THE BACKGROUND SHALL BE REFLECTORIZED GREEN MEETING THE REQUIREMENTS SET FORTH IN SECTION 1093 THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. STREET NAME LETTERING SHALL BE WHITE, UPPER CASE, BLOCK LETTERS FOUR (4) INCHES IN HEIGHT. STREET CLASSIFICATION (I.E. STREET, AVENUE, ETC.) SHALL BE WHITE, UPPER CASE BLOCK LETTERING, TWO (2) INCHES IN HEIGHT. STREET SIGNS SHALL BE MOUNTED AT A NOMINAL HEIGHT OF EIGHT (8) FEET ABOVE GRADE. THE SIGN SHALL COMPLY WITH THE TOWN OF KNIGHTDALE STANDARD DETAIL 3.16 AND 17.
- REGULATORY SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ANY MODIFICATIONS THERETO ESTABLISHED BY NCDOT. MATERIALS SHALL MEET THE REQUIREMENTS SET FORTH IN SECTIONS 1092 AND 1093 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. THE LOCATION AND TYPES OF REGULATORY SIGNS SHALL BE INDICATED ON THE CONSTRUCTION DRAWINGS.
- ALL SIGNS SHALL BE MOUNTED ON A GALVANIZED STEEL SQUARE TUBE POST WITH A MINIMUM 14 GAUGE STEEL AS SPECIFIED IN SECTION 1094 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES.
- REFER TO TOWN OF KNIGHTDALE DETAILS 3.16 & 3.17 FOR TYPICAL STREET SIGN LOCATIONS AND INFORMATION.
- TWO STREET NAME MARKERS ARE REQUIRED IF THE MAJOR STREET HAS 3 OR MORE LANES.
- ALL STREET NAME SIGNS ARE SUBJECT TO APPROVAL BY THE TOWN. BLOCK NUMBERS SHALL BE PROVIDED ON SIGNS AND CORRESPOND TO OFFICIALLY APPROVED ADDRESSES.

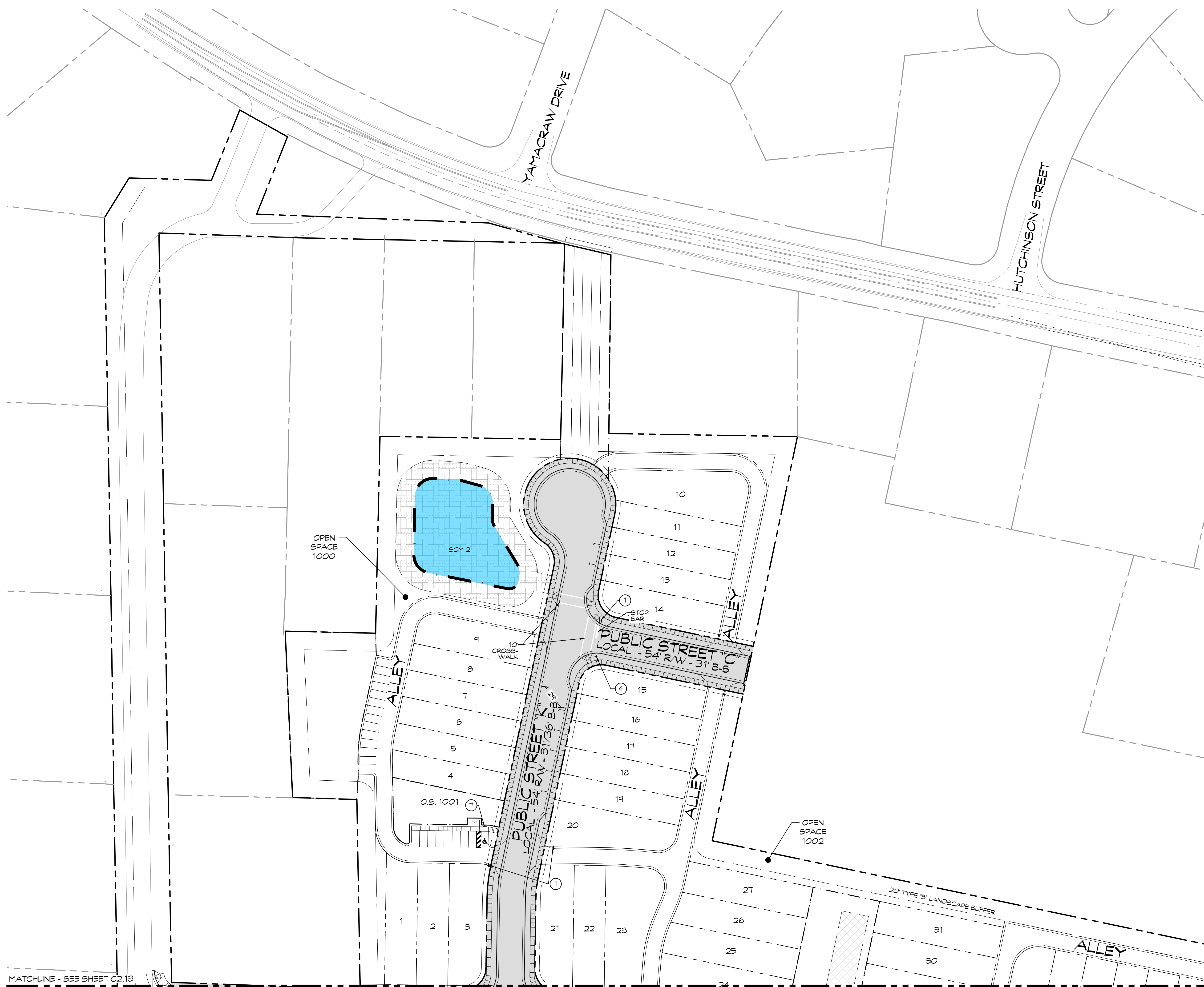


CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

**NOT FOR CONSTRUCTION FOR REVIEW ONLY**



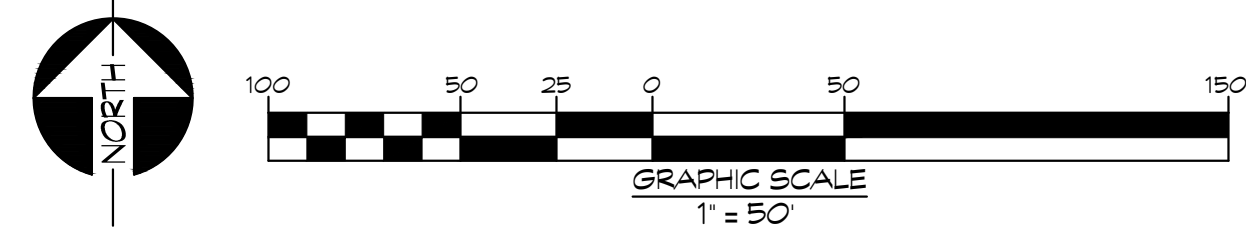


MATCHLINE - SEE SHEET C2.12

SIGN LEGEND:	
①	R1-1 R1-3P (TO BE USED ONLY AT ALL WAY INTERSECTIONS AS INDICATED ON PLAN) 
②	R1-2
③	R2-1
④	R6-4 PER T.O.K. 3.17
⑤	W11-2 W16-7pL
⑥	W11-2 W16-9P
⑦	R7-8A (TO BE USED WITH SPACES INDICATED AS VAN ACCESSIBLE) R7-8E
⑧	R6-4
⑨	W2-6
⑩	R11-2 PER T.O.K. STD. DETAIL 3.10

**SIGNAGE AND MARKING NOTES:**

- THE DEVELOPER SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL STREET IDENTIFICATION (NAME) AND REGULATORY SIGNS. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR STRIPING ON ALL PUBLIC STREETS CONSTRUCTED WITH DEVELOPMENT AS FOLLOWS:
  - STOP BARS AND CROSSWALKS - ALL STREETS - PER DETAIL 4.06
  - CONTINUOUS CENTERLINE STRIPING - DOUBLE YELLOW LINE ON CATEGORY TWO AND CATEGORY THREE STREETS.
  - PARKING STALLS - WHERE APPLICABLE (ON-STREET).
- ALL PAVEMENT MARKINGS INCLUDING TRAFFIC CONTROL, STOP BARS, FIRE LANES AND CROSS WALKS SHALL BE MADE WITH REFLECTORIZED THERMOPLASTIC STRIPING WITH A MINIMUM THICKNESS IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES. ALL MARKINGS SHALL BE 120 MIL THICK WITH THE EXCEPTION OF SYMBOLS WHICH SHALL BE 90 MIL THICK. PARKING STALL STRIPING IN A PRIVATE PARKING LOT IS EXEMPT FROM USE OF THERMOPLASTICS. THE THERMOPLASTIC STRIPING TYPE OF MARKING MATERIAL SHALL BE APPLIED BY FUSING TO THE PAVEMENT SURFACE BY APPLICATION OF HEAT. MATERIALS SHALL COMPLY FULLY WITH THE REQUIREMENTS SET FORTH IN SECTION 1021 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. APPLICATION OF MARKINGS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS SET FORTH IN SECTION 1205 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT FOR PERMANENT MARKING.
- STREET IDENTIFICATION SIGNS SHALL IDENTIFY ALL STREETS AT EACH INTERSECTION. SUCH SIGNS SHALL BE CONSTRUCTED OF ALUMINUM SHEETS, SIX (6) INCH HIGH, 0.063 INCH THICK AND LENGTH AS NEEDED TO HAVE A TWO (2) INCH MARGIN BEFORE AND AFTER THE LETTERING. THE BACKGROUND SHALL BE REFLECTORIZED GREEN MEETING THE REQUIREMENTS SET FORTH IN SECTION 1093 THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. STREET NAME LETTERING SHALL BE WHITE, UPPER CASE, BLOCK LETTERS FOUR (4) INCHES IN HEIGHT. STREET CLASSIFICATION (I.E. STREET, AVENUE, ETC.) SHALL BE WHITE, UPPER CASE BLOCK LETTERING, TWO (2) INCHES IN HEIGHT. STREET SIGNS SHALL BE MOUNTED AT A NOMINAL HEIGHT OF EIGHT (8) FEET ABOVE GRADE. THE SIGN SHALL COMPLY WITH THE TOWN OF KNIGHTDALE STANDARD DETAIL 3.16 AND 17.
- REGULATORY SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ANY MODIFICATIONS THERETO ESTABLISHED BY NCDOT. MATERIALS SHALL MEET THE REQUIREMENTS SET FORTH IN SECTIONS 1092 AND 1093 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. THE LOCATION AND TYPES OF REGULATORY SIGNS SHALL BE INDICATED ON THE CONSTRUCTION DRAWINGS.
- ALL SIGNS SHALL BE MOUNTED ON A GALVANIZED STEEL SQUARE TUBE POST WITH A MINIMUM 14 GAUGE STEEL AS SPECIFIED IN SECTION 1094 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES.
- REFER TO TOWN OF KNIGHTDALE DETAILS 3.16 & 3.17 FOR TYPICAL STREET SIGN LOCATIONS AND INFORMATION.
- TWO STREET NAME MARKERS ARE REQUIRED IF THE MAJOR STREET HAS 3 OR MORE LANES.
- ALL STREET NAME SIGNS ARE SUBJECT TO APPROVAL BY THE TOWN. BLOCK NUMBERS SHALL BE PROVIDED ON SIGNS AND CORRESPOND TO OFFICIALLY APPROVED ADDRESSES.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.  
 NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

NOT FOR  
CONSTRUCTION  
FOR REVIEW  
ONLY

MATCHLINE - SEE SHEET C2.13



MATCHLINE - SEE SHEET C2.11

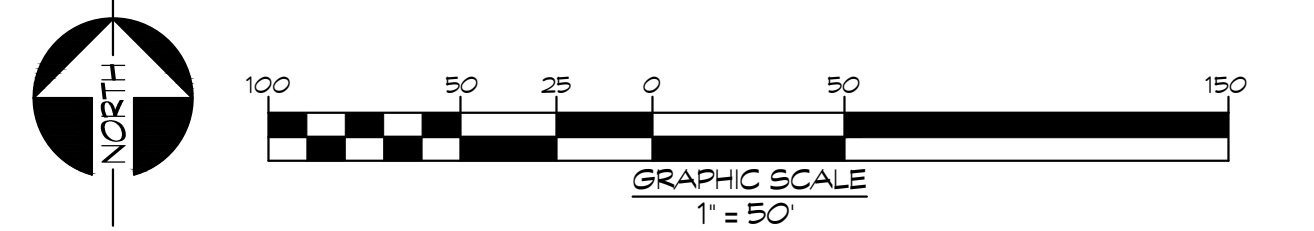


**SIGN LEGEND:**

①	 R1-1 STOP R1-3P (TO BE USED ONLY AT ALL WAY INTERSECTIONS AS INDICATED ON PLAN) ALL WAY	⑦	 RT-8A (TO BE USED WITH SPACES INDICATED AS VAN ACCESSIBLE) VAN ACCESSIBLE RESERVED PARKING MAXIMUM PENALTY \$200
②	 R1-2	⑧	 R6-4
③	 R2-1 SPEED LIMIT 25	⑨	 W2-6
④	 R6-1 STREET NAME AVE 1000 PER T.O.K. 3.17	⑩	 R11-2 FUTURE ROAD EXTENSION ROAD CLOSED PER T.O.K. STD. DETAIL 3.10
⑤	 W11-2 W16-7PL		
⑥	 W16-9P W11-2 AHEAD		

**SIGNAGE AND MARKING NOTES:**

- THE DEVELOPER SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL STREET IDENTIFICATION (NAME) AND REGULATORY SIGNS. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR STRIPING ON ALL PUBLIC STREETS CONSTRUCTED WITH DEVELOPMENT AS FOLLOWS:
  - STOP BARS AND CROSSWALKS - ALL STREETS - PER DETAIL 4.06
  - CONTINUOUS CENTERLINE STRIPING - DOUBLE YELLOW LINE ON CATEGORY TWO AND CATEGORY THREE STREETS.
  - PARKING STALLS - WHERE APPLICABLE (ON-STREET).
- ALL PAVEMENT MARKINGS INCLUDING TRAFFIC CONTROL, STOP BARS, FIRE LANES AND CROSS WALKS SHALL BE MADE WITH REFLECTORIZED THERMOPLASTIC STRIPING WITH A MINIMUM THICKNESS IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES. ALL MARKINGS SHALL BE 120 MIL THICK WITH THE EXCEPTION OF SYMBOLS WHICH SHALL BE 90 MIL THICK. PARKING STALL STRIPING IN A PRIVATE PARKING LOT IS EXEMPT FROM USE OF THERMOPLASTICS. THE THERMOPLASTIC STRIPING TYPE OF MARKING MATERIAL SHALL BE APPLIED BY FUSING TO THE PAVEMENT SURFACE BY APPLICATION OF HEAT. MATERIALS SHALL COMPLY FULLY WITH THE REQUIREMENTS SET FORTH IN SECTION 1087 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. APPLICATION OF MARKINGS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS SET FORTH IN SECTION 1205 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT FOR PERMANENT MARKING.
- STREET IDENTIFICATION SIGNS SHALL IDENTIFY ALL STREETS AT EACH INTERSECTION. SUCH SIGNS SHALL BE CONSTRUCTED OF ALUMINUM SHEETS, SIX (6) INCH HIGH, 0.063 INCH THICK AND LENGTH AS NEEDED TO HAVE A TWO (2) INCH MARGIN BEFORE AND AFTER THE LETTERING. THE BACKGROUND SHALL BE REFLECTORIZED GREEN MEETING THE REQUIREMENTS SET FORTH IN SECTION 1093 THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. STREET NAME LETTERING SHALL BE WHITE, UPPER CASE, BLOCK LETTERS FOUR (4) INCHES IN HEIGHT. STREET CLASSIFICATION (I.E. STREET, AVENUE, ETC.) SHALL BE WHITE, UPPER CASE BLOCK LETTERING, TWO (2) INCHES IN HEIGHT. STREET SIGNS SHALL BE MOUNTED AT A NOMINAL HEIGHT OF EIGHT (8) FEET ABOVE GRADE. THE SIGN SHALL COMPLY WITH THE TOWN OF KNIGHTDALE STANDARD DETAIL 3.16 AND 17.
- REGULATORY SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ANY MODIFICATIONS THERE TO ESTABLISHED BY NCDOT. MATERIALS SHALL MEET THE REQUIREMENTS SET FORTH IN SECTIONS 1092 AND 1093 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. THE LOCATION AND TYPES OF REGULATORY SIGNS SHALL BE INDICATED ON THE CONSTRUCTION DRAWINGS.
- ALL SIGNS SHALL BE MOUNTED ON A GALVANIZED STEEL SQUARE TUBE POST WITH A MINIMUM 14 GAUGE STEEL AS SPECIFIED IN SECTION 1094 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES.
- REFER TO TOWN OF KNIGHTDALE DETAILS 3.16 & 3.17 FOR TYPICAL STREET SIGN LOCATIONS AND INFORMATION.
- TWO STREET NAME MARKERS ARE REQUIRED IF THE MAJOR STREET HAS 3 OR MORE LANES.
- ALL STREET NAME SIGNS ARE SUBJECT TO APPROVAL BY THE TOWN. BLOCK NUMBERS SHALL BE PROVIDED ON SIGNS AND CORRESPOND TO OFFICIALLY APPROVED ADDRESSES.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

**NOT FOR CONSTRUCTION FOR REVIEW ONLY**

MATCHLINE - SEE SHEET C2.14

**TERRAVITA**  
MASTER PLAN REVIEW DRAWINGS  
TOWN OF KNIGHTDALE NORTH CAROLINA

SCALE:	1"=50'
DATE:	NOVEMBER 25, 2024
PROJECT NUMBER:	2023-002.001
CLIENT:	SITE INVESTMENTS, LLC
PLAN TYPE:	MASTER PLAN REVIEW

**PRELIMINARY SITE SIGNAGE PLAN**  
**ENLARGED AREA 2**

RELEASED FOR CONSTRUCTION DATE: (SEE COVER)  NO DYES

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS  
3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 - Phone 919 / 781-0300 - Fax 919 / 782-1288 - Email PCA@PriestCraven.com / Firm #: C-0488

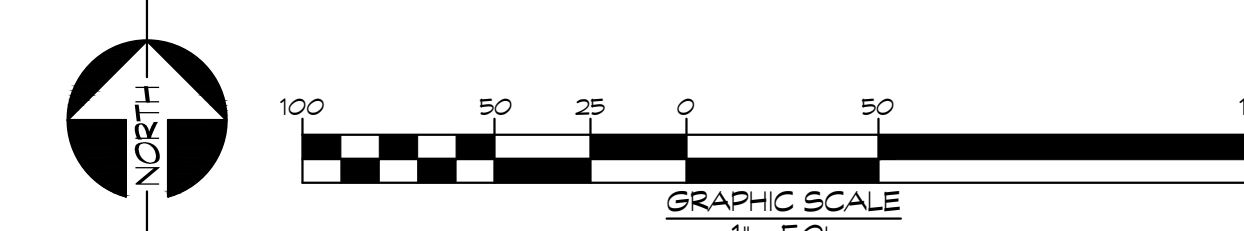
SHEET #  
C2.12



①		R1-1 STOP TO BE USED ONLY AT ALL WAY INTERSECTIONS AS INDICATED ON PLAN	⑦		RT-8A VAN ACCESSIBLE RESERVED PARKING MAXIMUM PENALTY \$200 TO BE USED WITH SPACES INDICATED AS VAN ACCESSIBLE
②		R1-2 YIELD	⑧		R6-4
③		R2-1 SPEED LIMIT 25	⑨		W2-6
④		R1-10 STREET NAME PER T.O.K. 3.17	⑩		R11-2 FUTURE ROAD EXTENSION ROAD CLOSED PER T.O.K. STD. DETAIL 3.10
⑤		W11-2 PEDESTRIAN CROSSING			
⑥		W16-9P AHEAD PEDESTRIAN CROSSING			

SIGNAGE AND MARKING NOTES:

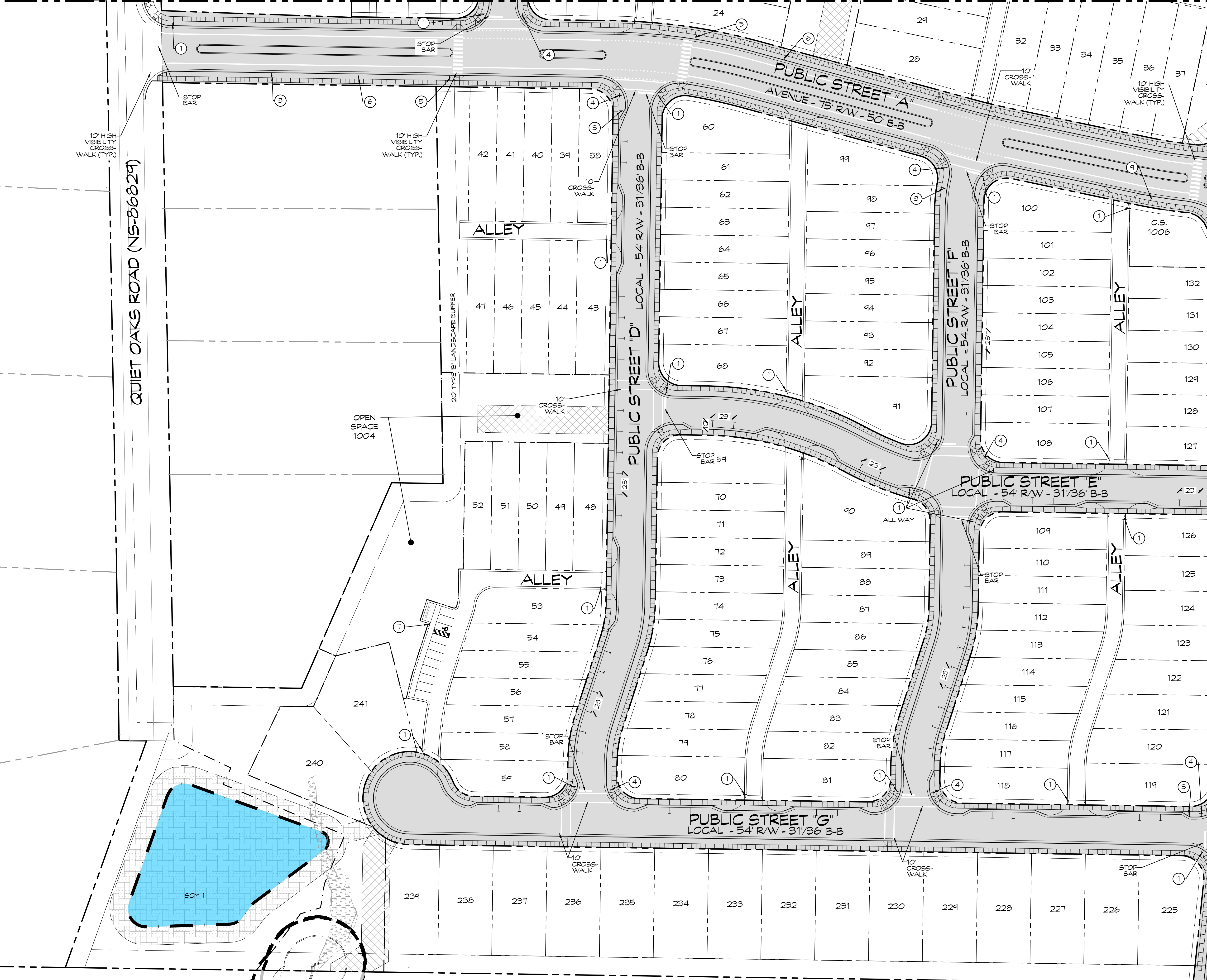
- THE DEVELOPER SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL STREET IDENTIFICATION (NAME) AND REGULATORY SIGNS. THE DEVELOPER SHALL ALSO BE RESPONSIBLE FOR STRIPING ON ALL PUBLIC STREETS CONSTRUCTED WITH DEVELOPMENT AS FOLLOWS:
  - STOP BARS AND CROSSWALKS - ALL STREETS - PER DETAIL 4.06
  - CONTINUOUS CENTERLINE STRIPING - DOUBLE YELLOW LINE ON CATEGORY TWO AND CATEGORY THREE STREETS.
  - PARKING STALLS - WHERE APPLICABLE (ON-STREET).
- ALL PAVEMENT MARKINGS INCLUDING TRAFFIC CONTROL, STOP BARS, FIRE LANES AND CROSS WALKS SHALL BE MADE WITH REFLECTORIZED THERMOPLASTIC STRIPING WITH A MINIMUM THICKNESS IN ACCORDANCE WITH NCDOT STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES. ALL MARKINGS SHALL BE 120 MIL THICK WITH THE EXCEPTION OF SYMBOLS WHICH SHALL BE 90 MIL THICK. PARKING STALL STRIPING IN A PRIVATE PARKING LOT IS EXEMPT FROM USE OF THERMOPLASTICS. THE THERMOPLASTIC STRIPING TYPE OF MARKING MATERIAL SHALL BE APPLIED BY FUSING TO THE PAVEMENT SURFACE BY APPLICATION OF HEAT. MATERIALS SHALL COMPLY FULLY WITH THE REQUIREMENTS SET FORTH IN SECTION 1027 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. APPLICATION OF MARKINGS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS SET FORTH IN SECTION 1205 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT FOR PERMANENT MARKING.
- STREET IDENTIFICATION SIGNS SHALL IDENTIFY ALL STREETS AT EACH INTERSECTION, SUCH SIGNS SHALL BE CONSTRUCTED OF ALUMINUM SHEETS, SIX (6) INCH HIGH, 0.063 INCH THICK AND LENGTH AS NEEDED TO HAVE A TWO (2) INCH MARGIN BEFORE AND AFTER THE LETTERING. THE BACKGROUND SHALL BE REFLECTORIZED GREEN MEETING THE REQUIREMENTS SET FORTH IN SECTION 1093 THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. STREET NAME LETTERING SHALL BE WHITE, UPPER CASE, BLOCK LETTERS FOUR (4) INCHES IN HEIGHT. STREET CLASSIFICATION (I.E. STREET, AVENUE, ETC.) SHALL BE WHITE, UPPER CASE BLOCK LETTERING, TWO (2) INCHES IN HEIGHT. STREET SIGNS SHALL BE MOUNTED AT A NOMINAL HEIGHT OF EIGHT (8) FEET ABOVE GRADE. THE SIGN SHALL COMPLY WITH THE TOWN OF KNIGHTDALE STANDARD DETAIL 3.16 AND 17.
- REGULATORY SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ANY MODIFICATIONS THERETO ESTABLISHED BY NCDOT. MATERIALS SHALL MEET THE REQUIREMENTS SET FORTH IN SECTIONS 1092 AND 1093 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES, LATEST EDITION, AS PUBLISHED BY NCDOT. THE LOCATION AND TYPES OF REGULATORY SIGNS SHALL BE INDICATED ON THE CONSTRUCTION DRAWINGS.
- ALL SIGNS SHALL BE MOUNTED ON A GALVANIZED STEEL SQUARE TUBE POST WITH A MINIMUM 14 GAUGE STEEL AS SPECIFIED IN SECTION 1094 OF THE STANDARD SPECIFICATIONS FOR ROADS & STRUCTURES.
- REFER TO TOWN OF KNIGHTDALE DETAILS 3.16 & 3.17 FOR TYPICAL STREET SIGN LOCATIONS AND INFORMATION.
- TWO STREET NAME MARKERS ARE REQUIRED IF THE MAJOR STREET HAS 3 OR MORE LANES.
- ALL STREET NAME SIGNS ARE SUBJECT TO APPROVAL BY THE TOWN. BLOCK NUMBERS SHALL BE PROVIDED ON SIGNS AND CORRESPOND TO OFFICIALLY APPROVED ADDRESSES.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR CONSTRUCTION FOR REVIEW ONLY











**OPEN SPACE AREA TABLE**

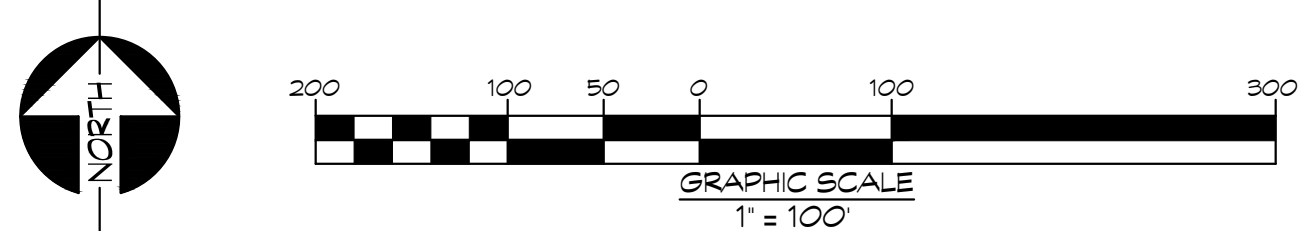
LOT NO.	TOTAL OPEN SPACE AREA (SF)	ACTIVE OPEN SPACE AREA (SF)	PASSIVE OPEN SPACE AREA (SF)	COMMON OPEN SPACE AREA (SF)
1000	11,535	15,535	12,410	49,907
1001	4,961	4,961	0	0
1002	29,662	11,299	0	18,363
1003	5,824	0	5,824	0
1004	138,243	35,011	27,162	76,664
1005	3,739	0	3,739	0
1006	5,875	0	5,875	0
1007	6,502	0	6,502	0
1008	11,501	0	11,501	0
1009	311,142	89,301	122,074	49,762
1010	619	0	0	619
1011	1,049	0	0	1,049
1012	600	0	0	600
1013	1,823	0	0	1,823
1014	19,419	0	0	19,419
1015	15,865	0	15,865	0
1016	46,168	24,299	0	21,869
1017	3,466	3,466	0	0
1018	9,668	0	0	9,668
TOTALS (SF)	644,590	183,884	210,963	249,743
TOTALS (AC)	15.95	4.22	4.84	6.88

**OPEN SPACE CALCULATIONS**

RECREATIONAL OPEN SPACE CALCULATIONS	TOTAL NUMBER OF BEDROOMS	750 x 520	394160	750
DEDICATION RATE (520/UNIT)				9.09 AC
CREDITS				
PARKWAY (PUB. ST. W, 600 LF, 54' RW)	600 x 27		(16200)	(0.37) AC
PARKWAY (PUB. ST. J, 695 LF, 54' RW)	695 x 27		(18645)	(0.42) AC
TOTAL RECREATIONAL OPEN SPACE REQUIRED			359465	8.25 AC
ACTIVE RECREATIONAL SPACE REQD	50.00%			4.13 AC
PASSIVE RECREATIONAL SPACE REQD	50.00%			4.13 AC
ACTIVE RECREATIONAL SPACE PROVIDED				4.22 AC
PASSIVE RECREATIONAL SPACE PROVIDED				4.84 AC
TOTAL AREA IN OPEN SPACE	42.79%			19.08 AC
AREA IN ACTIVE RECREATIONAL OPEN SPACE	9.47%			4.22 AC
AREA IN PASSIVE RECREATIONAL OPEN SPACE	10.26%			4.84 AC
AREA IN COMMON AREA OPEN SPACE	15.44%			6.88 AC
AREA IN PRIVATE ALLEY EASEMENTS				3.13 AC

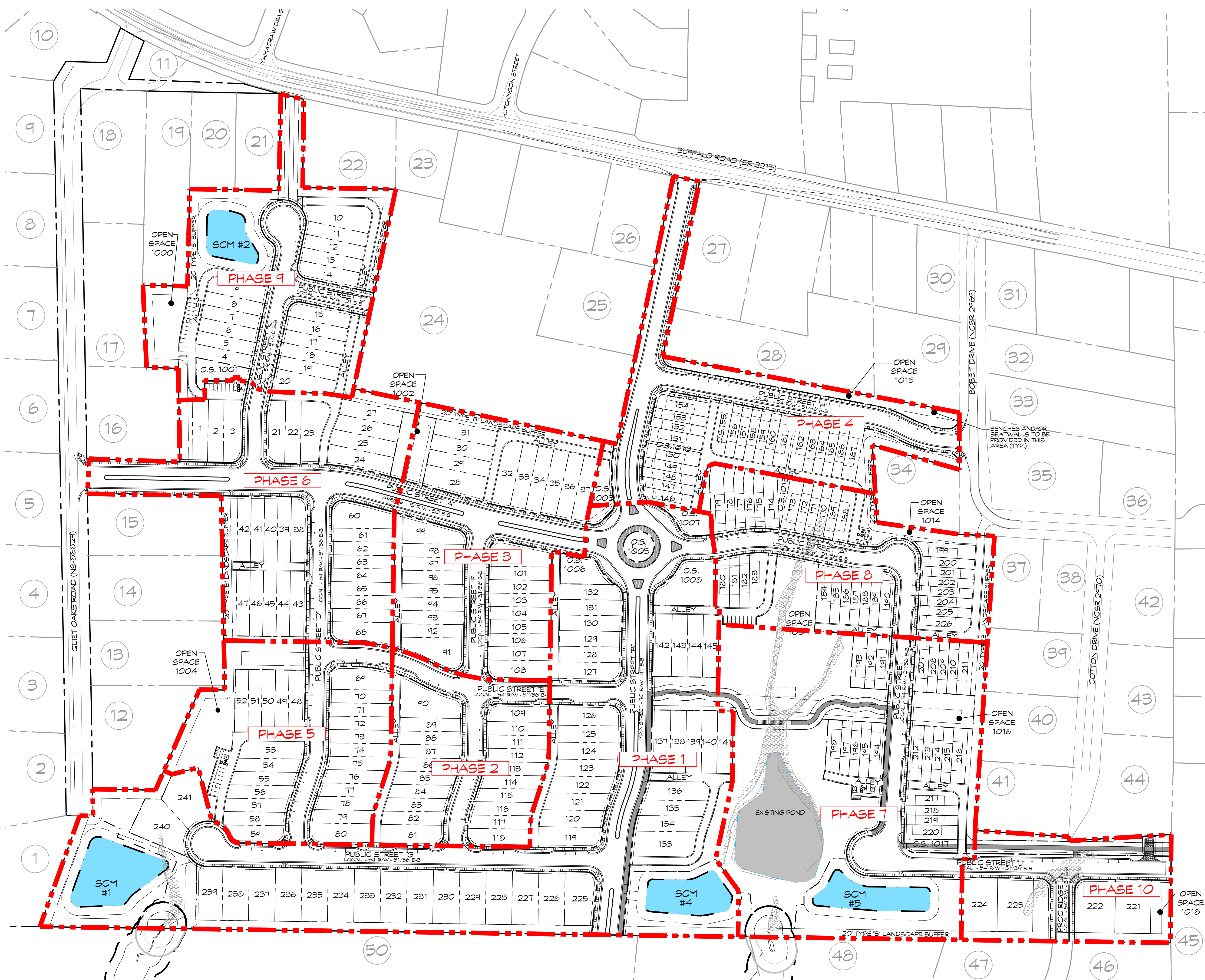
**OPEN SPACE UDO NOTES:**

- ALL DEVELOPMENTS WITH MORE THAN EIGHT (8) RESIDENTIAL UNITS SHALL BE REQUIRED TO DEDICATE RECREATIONAL OPEN SPACE.
- ALL SINGLE FAMILY DEVELOPMENTS WILL DEDICATE OPEN SPACE AT A RATE OF THREE AND ONE-HALF BEDROOMS PER UNIT UNLESS OTHERWISE STIPULATED. IN ABSENCE OF KNOWN BUILDING SPECIFICATIONS, DUPLEXES, TOWNHOMES, AND MULTIFAMILY WILL DEDICATE OPEN SPACE AT A RATE OF TWO AND ONE-HALF BEDROOMS PER UNIT.



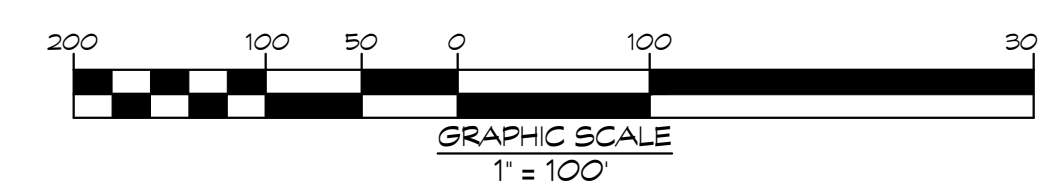
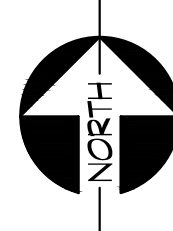
**NOT FOR CONSTRUCTION FOR REVIEW ONLY**





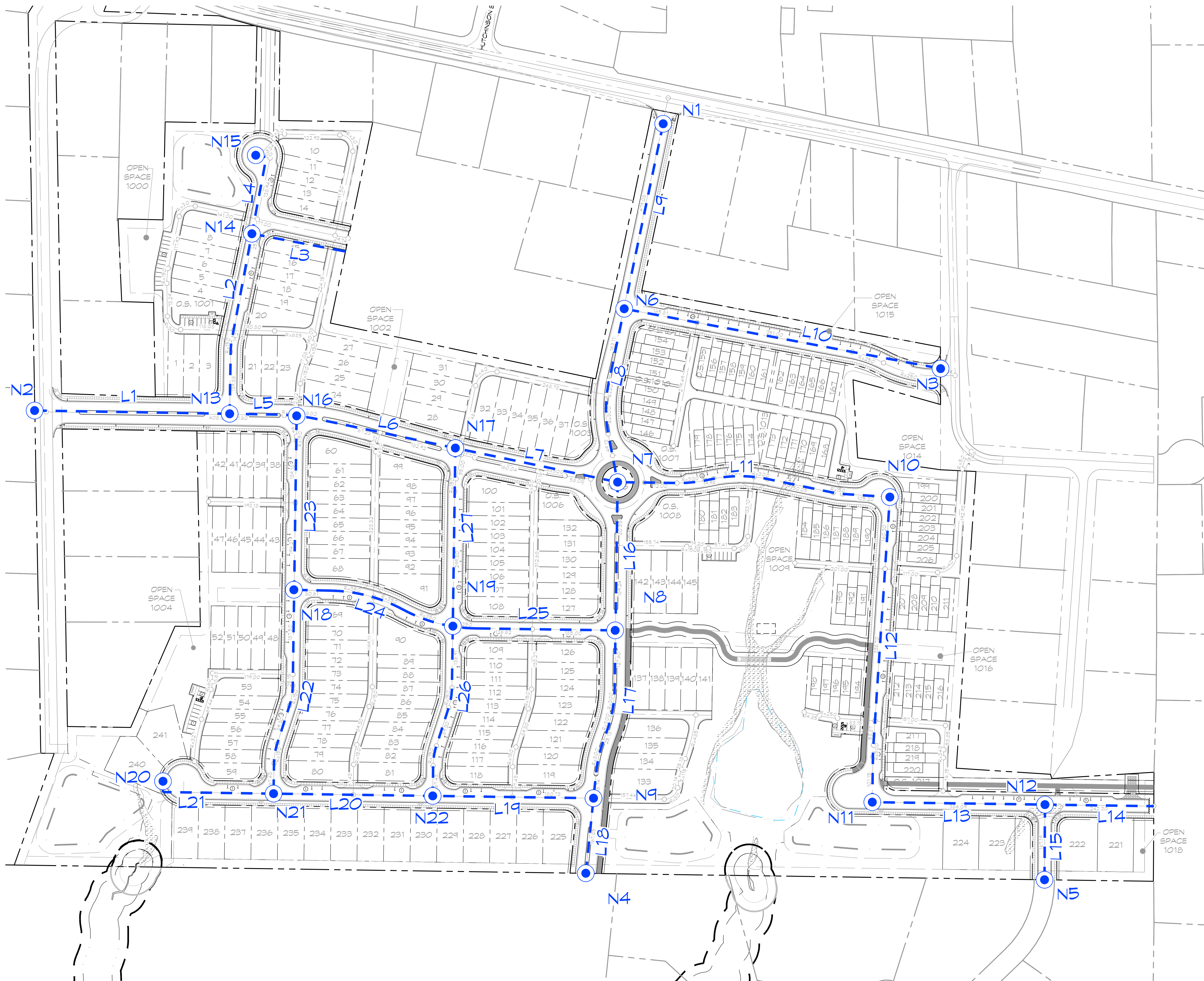
CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCCDT STANDARDS AND SPECIFICATIONS



NOT FOR CONSTRUCTION FOR REVIEW ONLY





**CONNECTIVITY INDEX (C)  
CALCULATIONS**

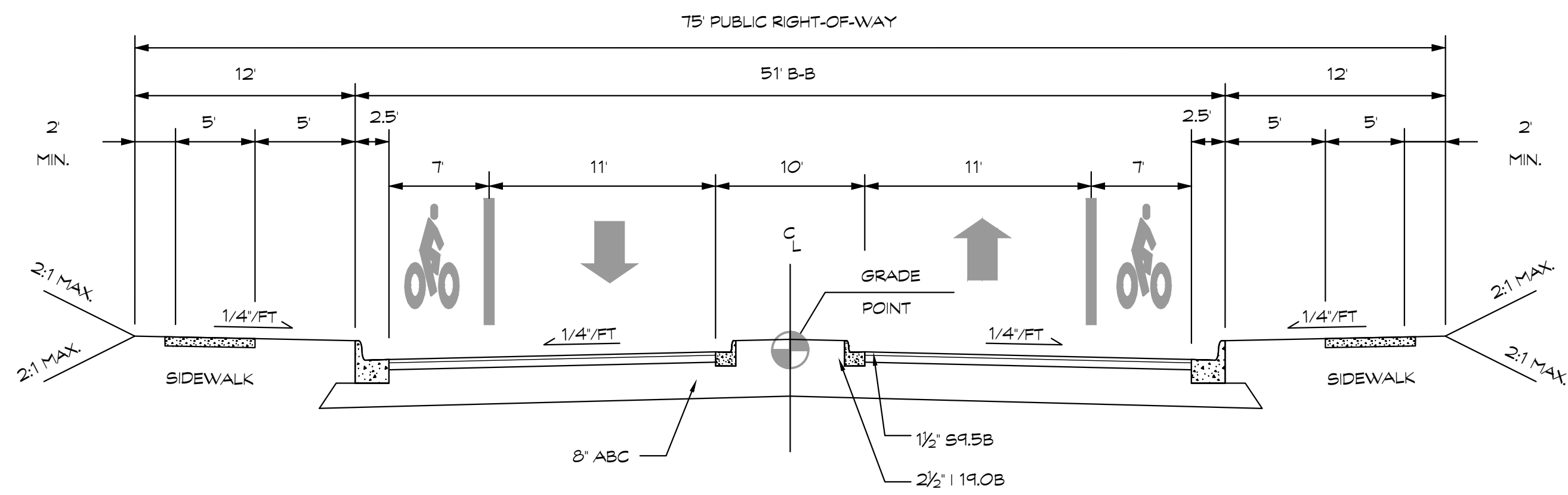
REQUIRED	
LINKS	1.40
REDUCTION FOR 4 SIDES WITH LIMITED ACCESS	(0.20)
CONNECTIVITY INDEX REQUIRED	1.20
PROVIDED	
LINKS	21
NODES	22
C = LINKS / NODES = 21/22 =	1.23
BONUS FOR ST. 'H' CUL-DE-SAC LINK TO BUFFALO	0.03
CONNECTIVITY INDEX PROVIDED	1.26

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

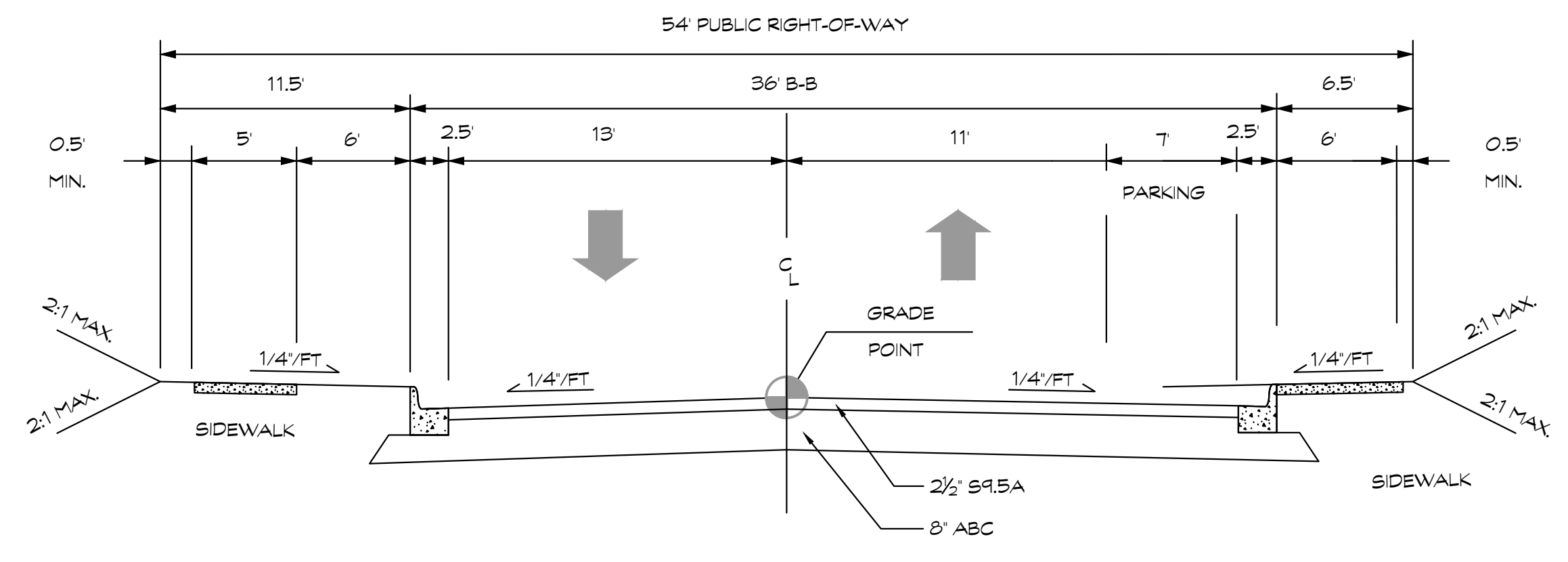
NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR  
CONSTRUCTION  
FOR REVIEW  
ONLY

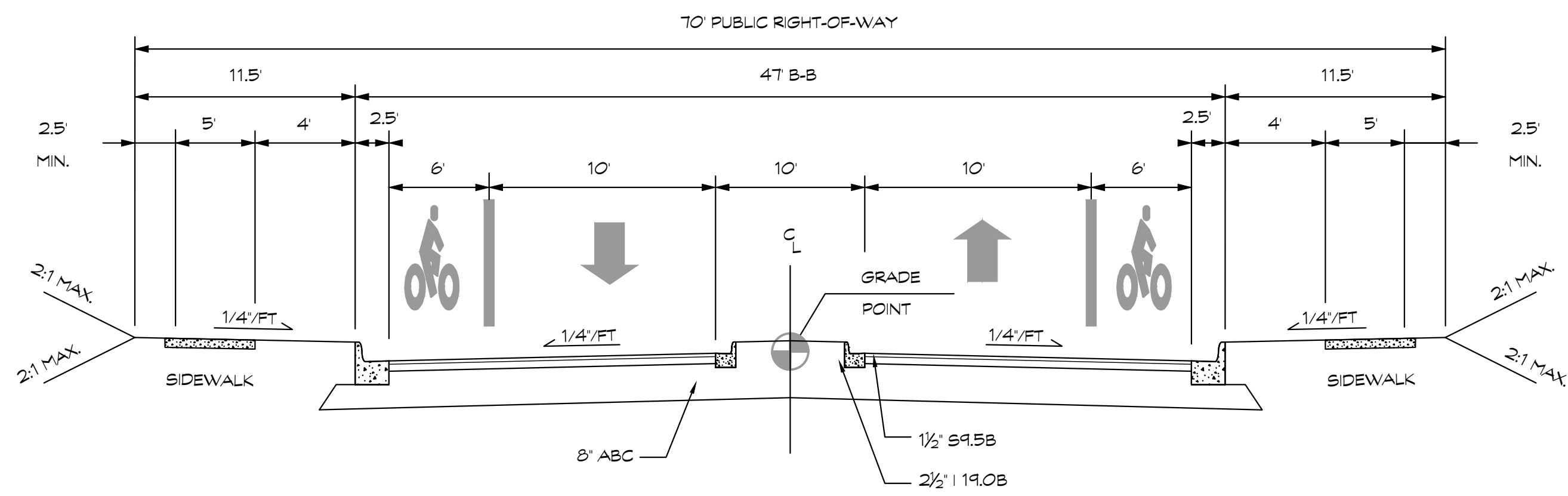




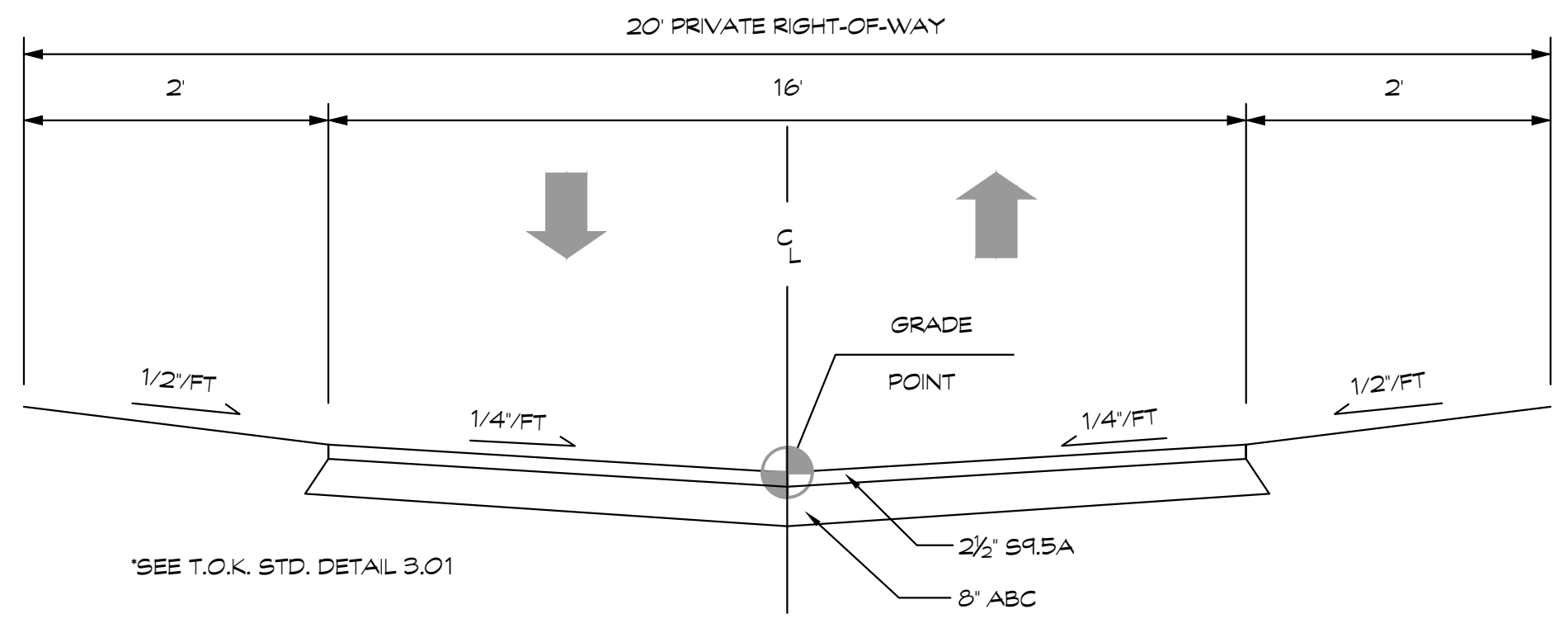
**TYPICAL AVENUE STREET SECTION**  
NOT TO SCALE



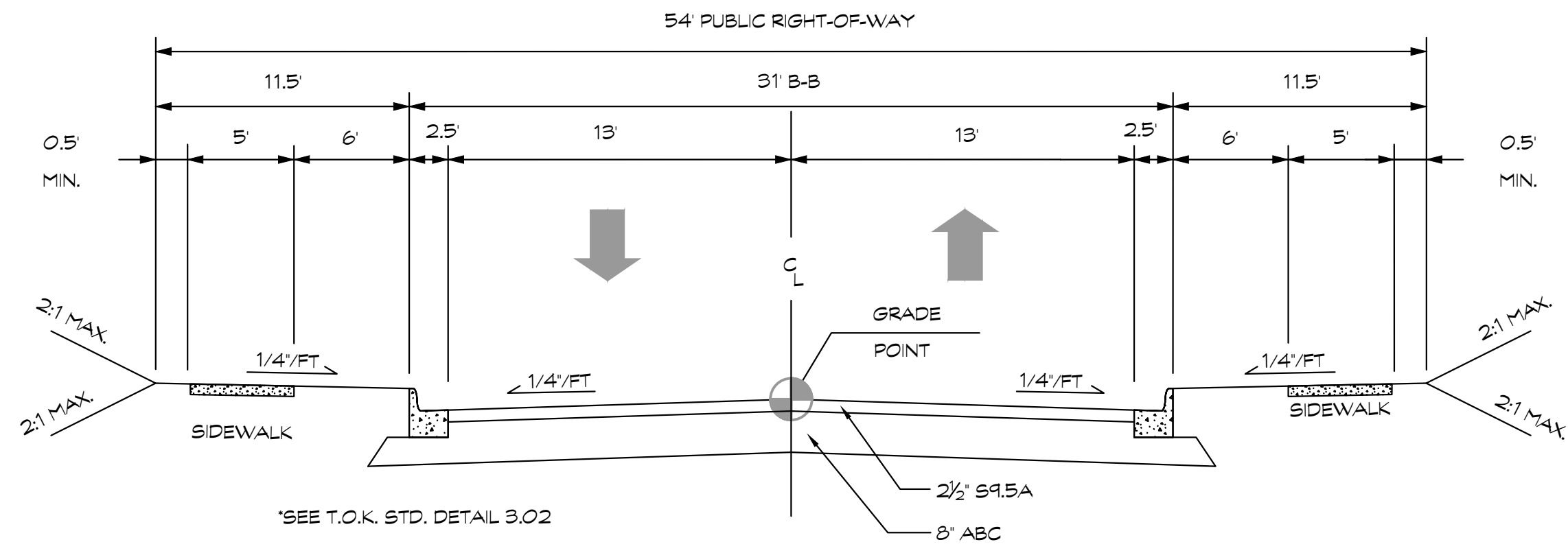
**TYPICAL LOCAL STREET SECTION WITH PARALLEL PARKING (1 SIDE)**  
NOT TO SCALE



**TYPICAL MAIN STREET SECTION**  
NOT TO SCALE



**TYPICAL ALLEY SECTION**  
NOT TO SCALE



**TYPICAL LOCAL STREET SECTION**  
NOT TO SCALE

PAVEMENT DESIGN SHOWN IS MINIMUM. FINAL DESIGN MUST BE CONFIRMED BY GEOTECHNICAL REPORT PRIOR TO CONSTRUCTION

**NOT FOR CONSTRUCTION FOR REVIEW ONLY**

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

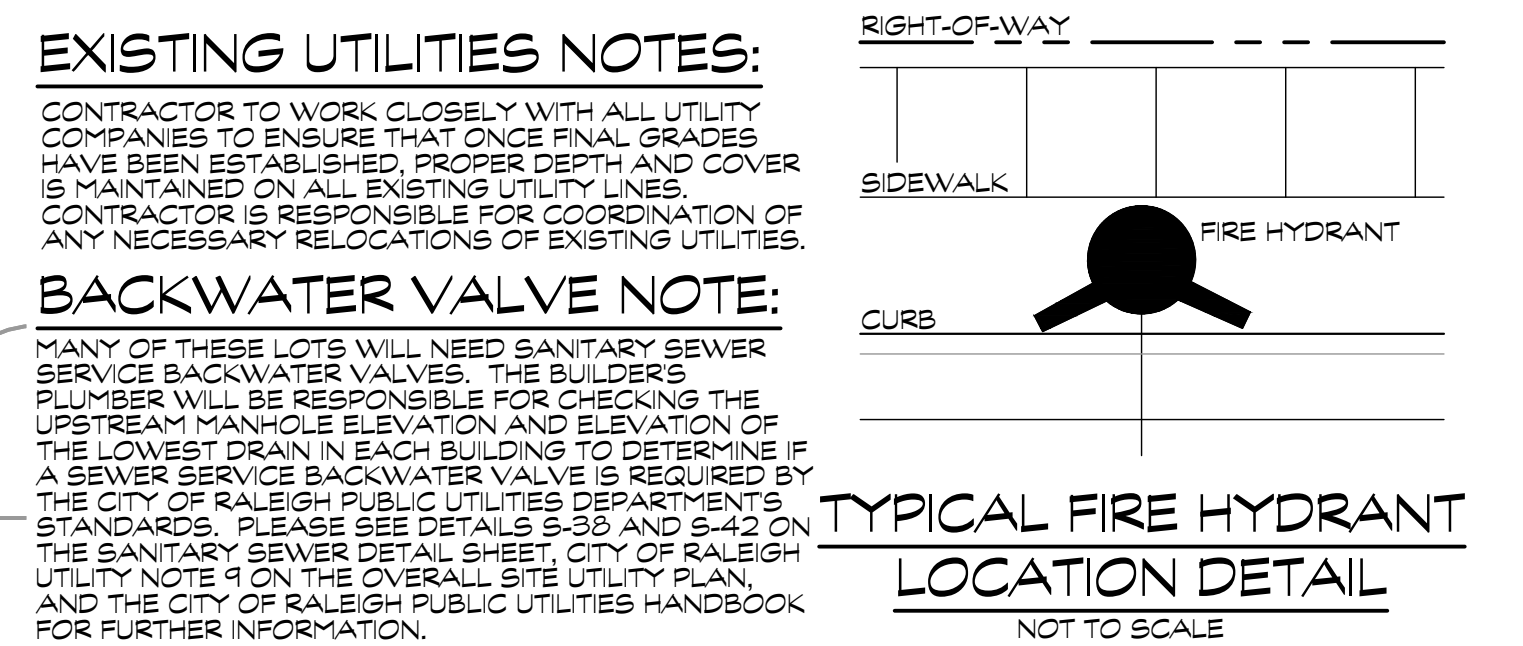
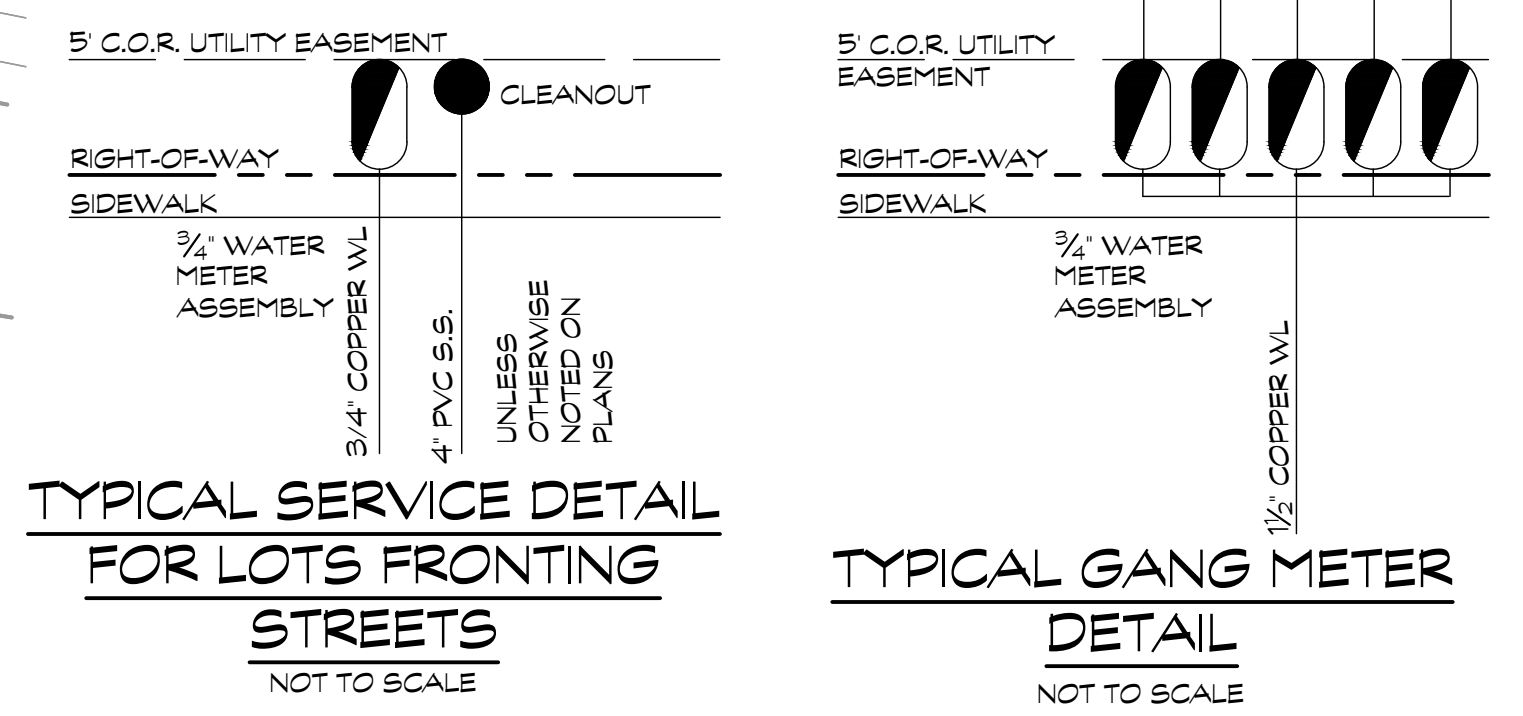
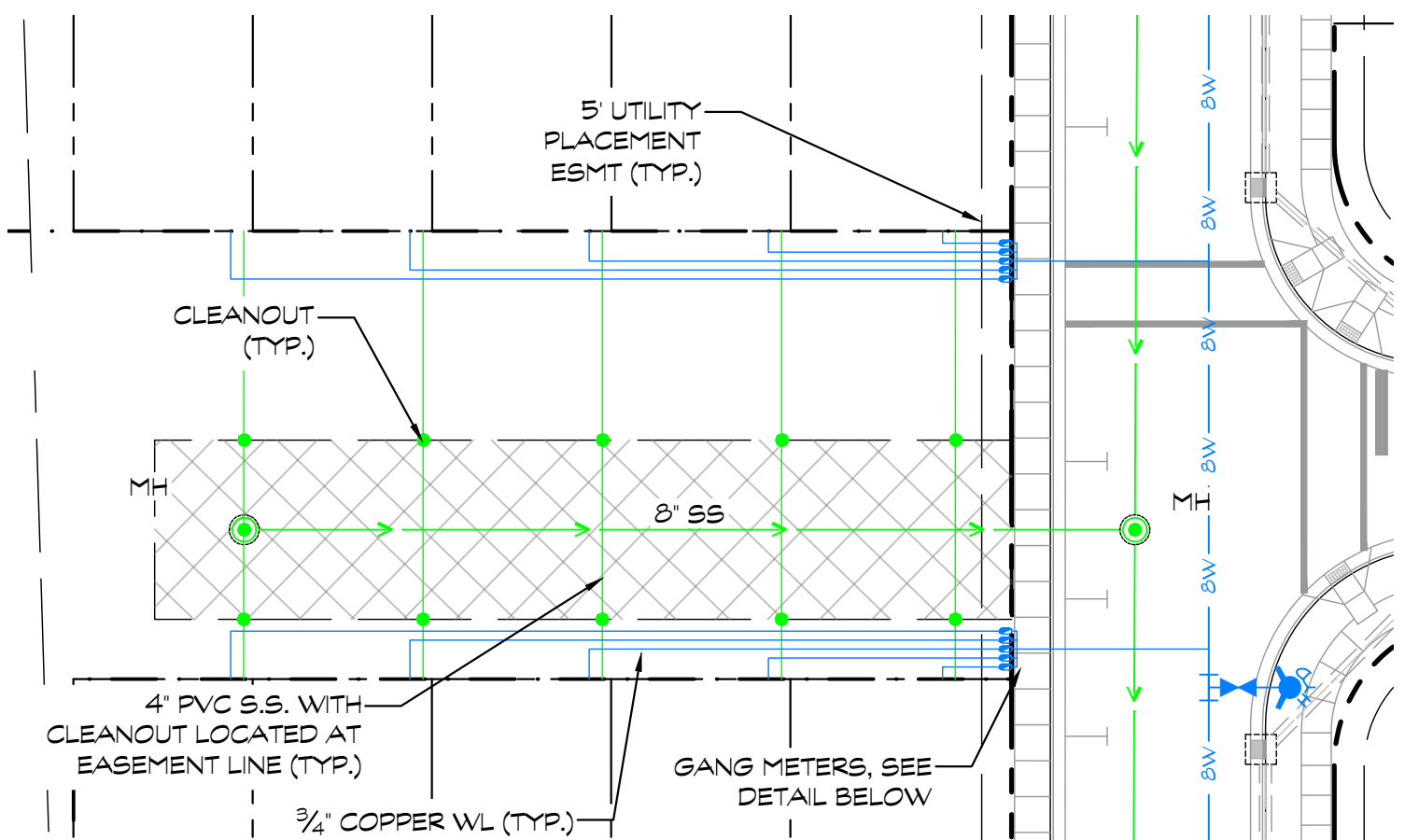
NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS



# SHEET C3.01 SHEET C3.02

### UTILITY SYMBOL LEGEND

	FLARED END SECTION		FIRE HYDRANT
	HEADWALL		GATE VALVE
	NCDOT CATCH BASIN		BLOW OFF & GATE VALVE
	OPEN THROATED CURB INLET		WATER SERVICE
	STORM MANHOLE		WATER MAIN
	YARD INLET		SEWER MANHOLE
	GRATED INLET		SEWER SERVICE
	SWALE / DITCH		SEWER MAIN
	STORM DRAINAGE PIPE		STORMWATER MANGEMENT AREA
	POND - NORMAL POOL		UTILITY EASEMENT LINETYPE

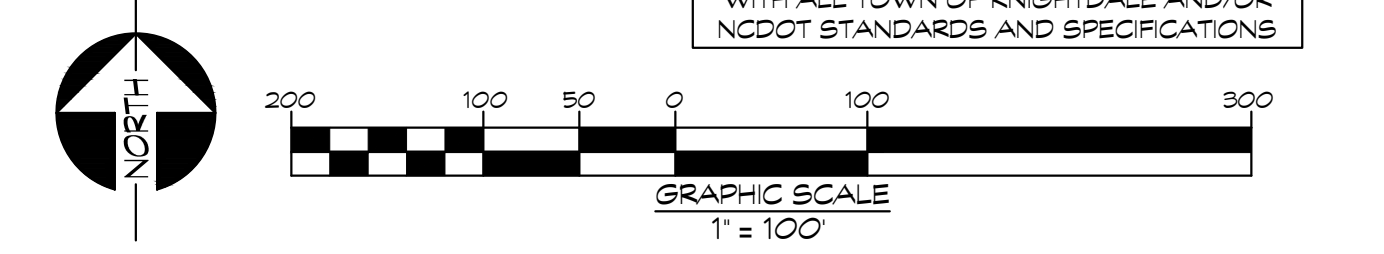


### HATCH LEGEND

	P.U.D.E = PUBLIC DRAINAGE EASEMENT
	PR.D.E = PRIVATE DRAINAGE EASEMENT
	PRIVATE SCM MAINTENANCE & ACCESS ESMT
	SEWER EASEMENT
	TREE SAVE OR PRESERVED WOODED AREA
	STREAM BUFFER
	WETLANDS

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS



# SHEET C3.03 SHEET C3.04

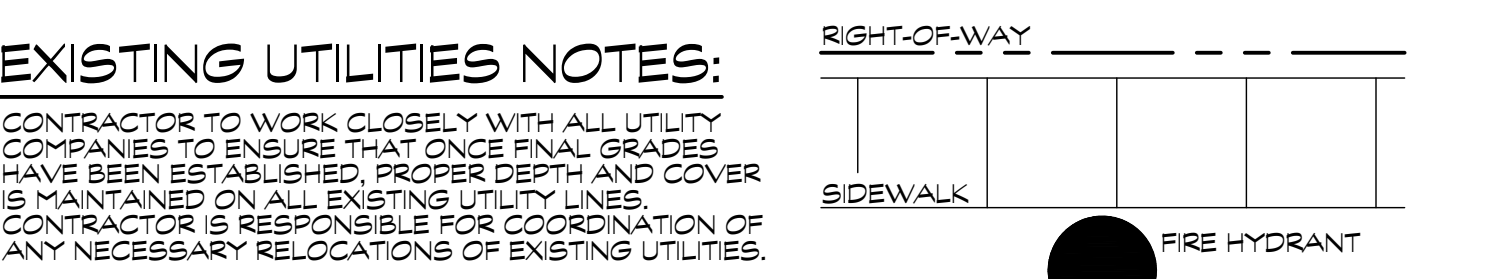
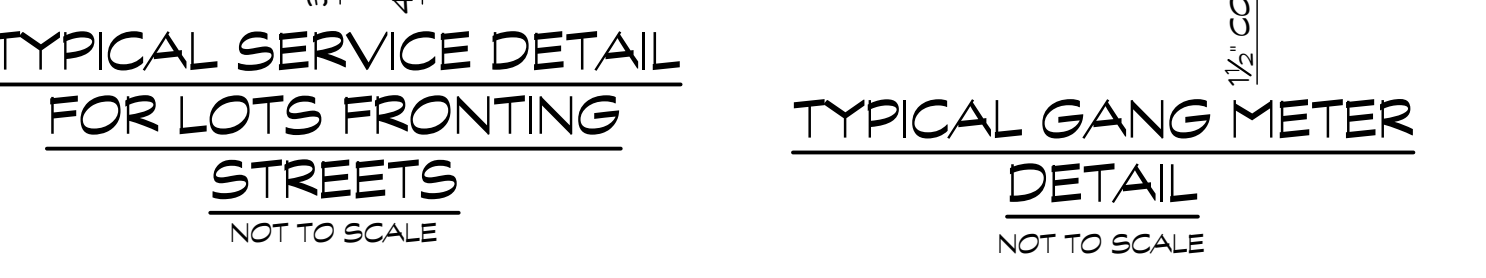
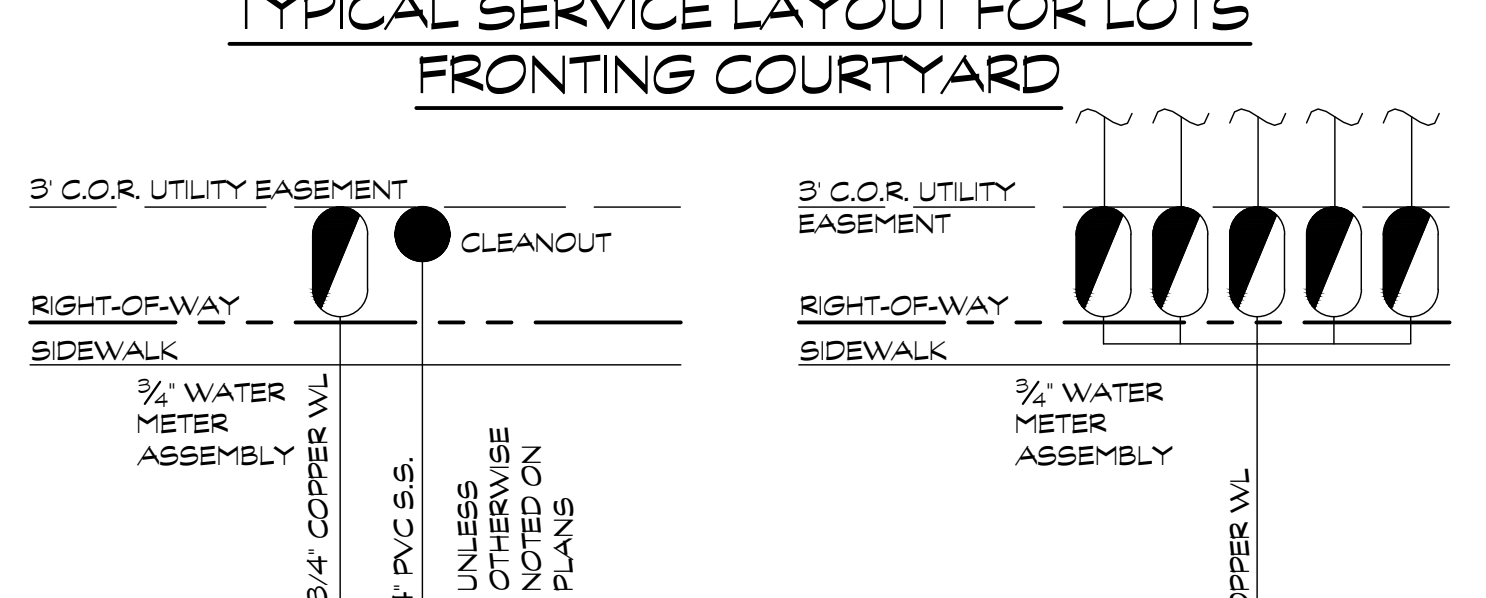
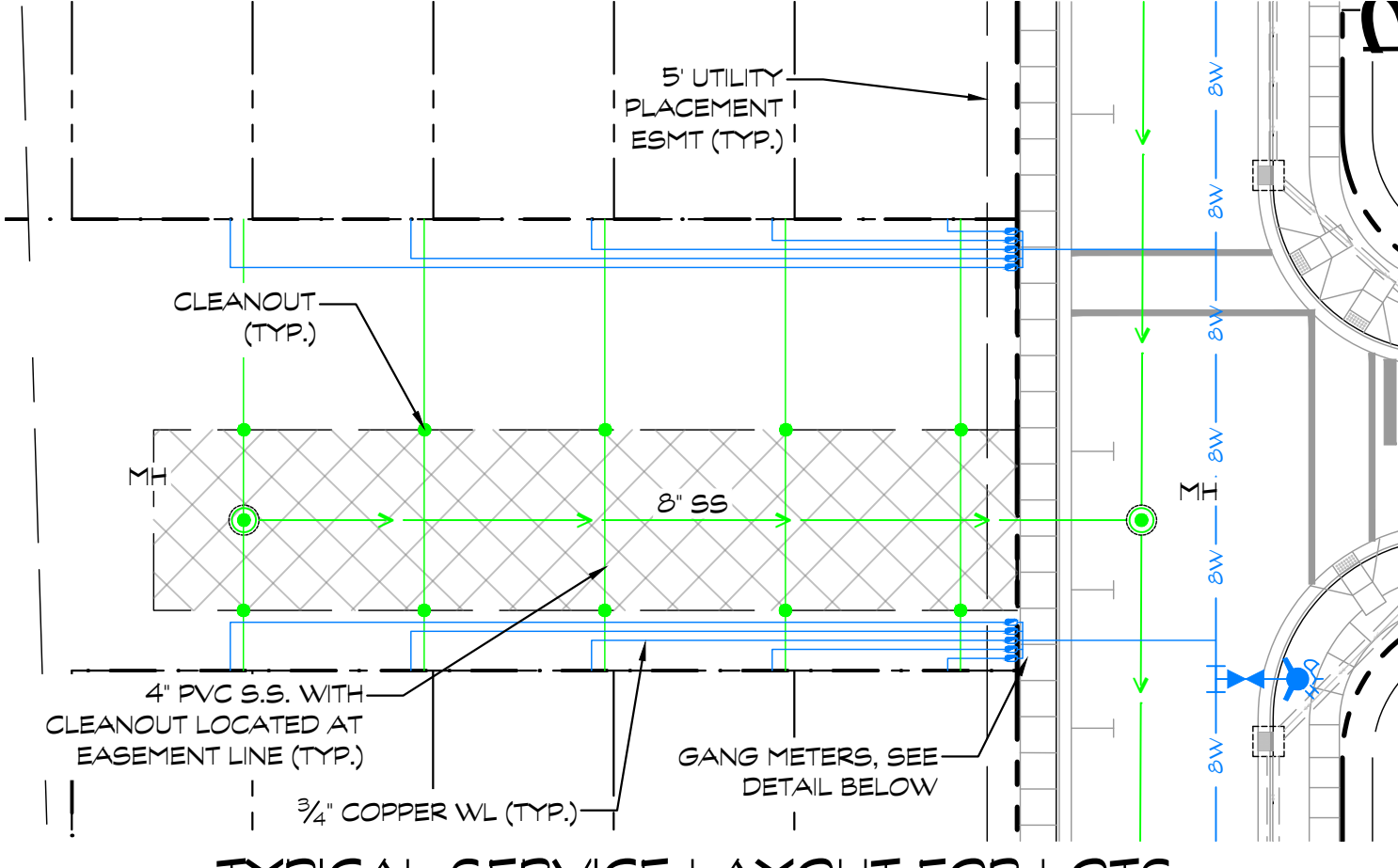




**UTILITY SYMBOL LEGEND**

	FLARED END SECTION		FIRE HYDRANT
	HEADWALL		GATE VALVE
	NCDOT CATCH BASIN		BLOW OFF & GATE VALVE
	OPEN THROATED CURB INLET		WATER SERVICE
	STORM MANHOLE		SEWER MANHOLE
	YARD INLET		SEWER SERVICE
	GRADED INLET		SEWER MAIN
	SWALE / DITCH		STORMWATER MANGEMENT AREA
	STORM DRAINAGE PIPE		UTILITY EASEMENT LINETYPE
	POND - NORMAL POOL		

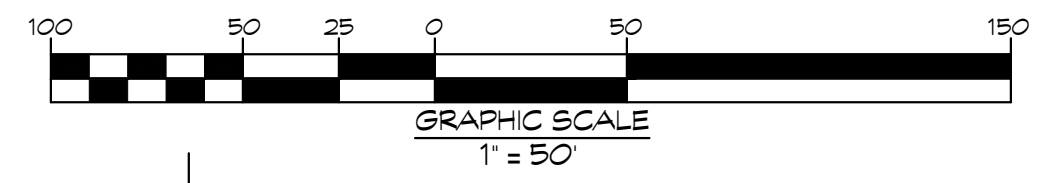
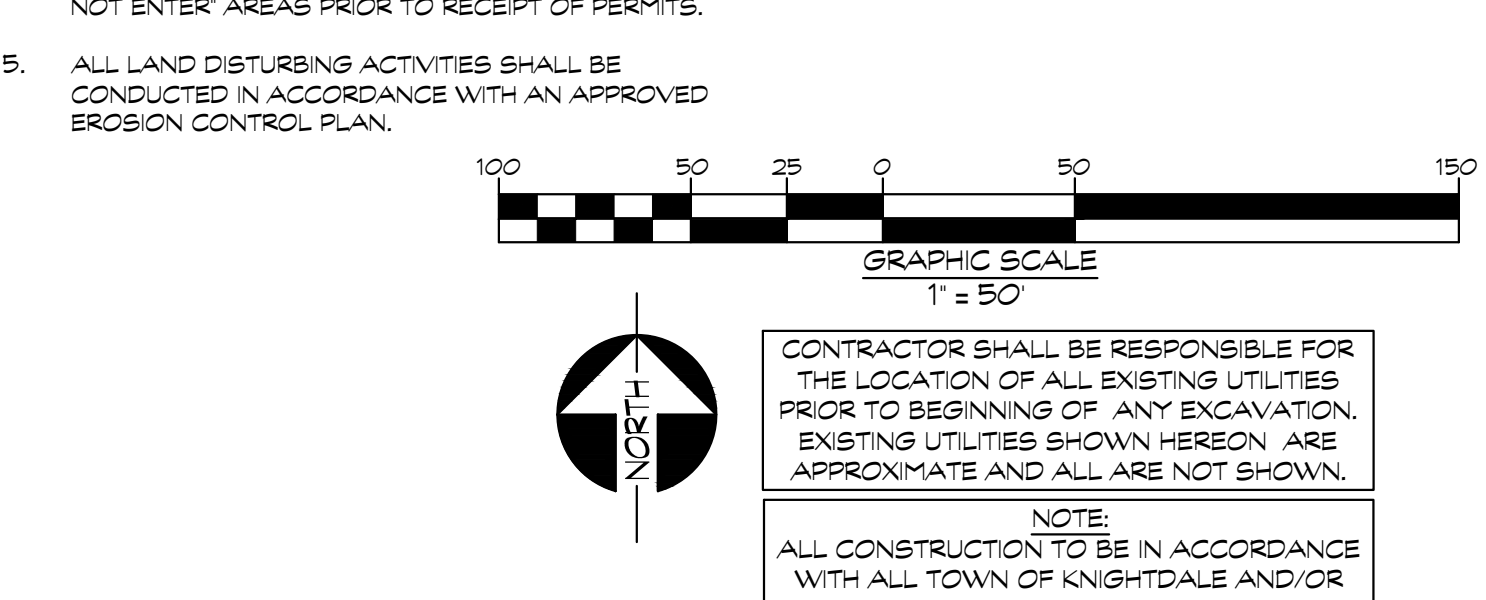
MATCHLINE - SEE SHEET C3.02



**EXISTING UTILITIES NOTES:**  
CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.

**BACKWATER VALVE NOTE:**  
MANY OF THESE LOTS WILL NEED SANITARY SEWER SERVICE BACKWATER VALVES. THE BUILDERS PLUMBER WILL BE RESPONSIBLE FOR CHECKING THE UPSTREAM MANHOLE ELEVATION AND ELEVATION OF THE LOWEST BUILDING TO DETERMINE IF A SEWER SERVICE BACKWATER VALVE IS REQUIRED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT'S STANDARDS. PLEASE SEE DETAILS S-38 AND S-42 ON THE SANITARY SEWER DETAIL SHEET CITY OF RALEIGH UTILITY NOTE 9 ON THE OVERALL SITE UTILITY PLAN, AND THE CITY OF RALEIGH PUBLIC UTILITIES HANDBOOK FOR FURTHER INFORMATION.

- GENERAL UTILITY NOTES**
- ALL UTILITIES SHOWN ON THESE PLANS ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE DURING CONSTRUCTION PLAN REVIEW.
  - EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ALL MAY NOT BE SHOWN. CONTRACTOR SHALL VERIFY EXACT LOCATION AND GRADE OF ALL EXISTING UTILITIES AND COORDINATE ANY REQUIRED RELOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
  - NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, TOWN OF KNIGHTDALE, AND NCDOT.
  - NO NEW IMPACTS TO EXISTING WETLANDS AND EXISTING NEUSE RIVER BUFFERS SHALL TAKE PLACE WITHOUT APPROVAL BY THE U.S. ARMY CORPS OF ENGINEERS, NCDWR, AND THE TOWN OF KNIGHTDALE. NO DISTURBANCE SHALL TAKE PLACE WITHIN JURISDICTIONAL WETLANDS AND NEUSE RIVER BUFFERS PRIOR TO RECEIPT OF ALL U.S. ARMY CORPS OF ENGINEERS & N.C. DIVISION OF WATER RESOURCES PERMITS. THESE AREAS WILL BE FLAGGED AS 'DO NOT ENTER' AREAS PRIOR TO RECEIPT OF PERMITS.
  - ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

**NOT FOR CONSTRUCTION FOR REVIEW ONLY**

MATCHLINE - SEE SHEET C3.03



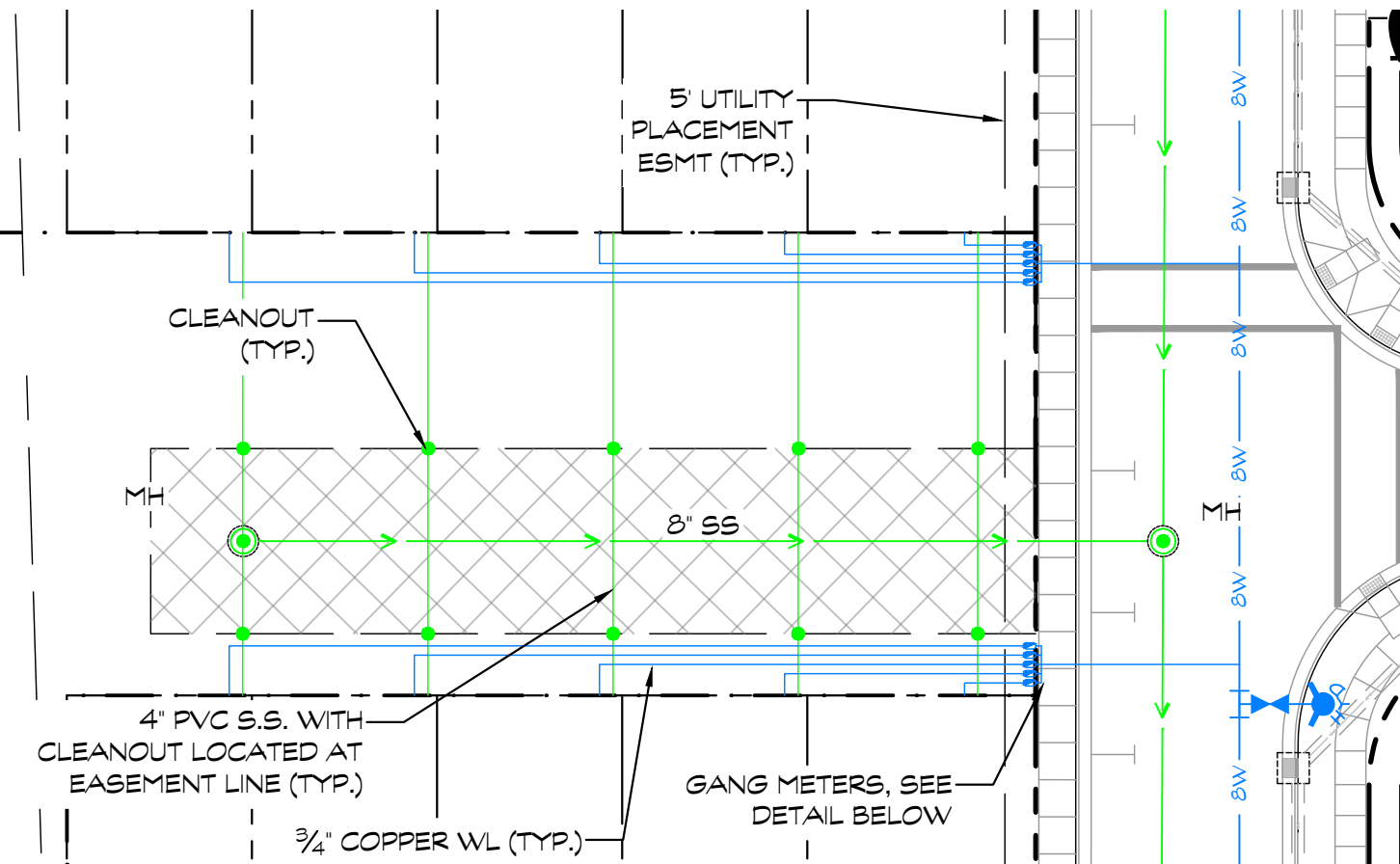
MATCHLINE - SEE SHEET C3.01



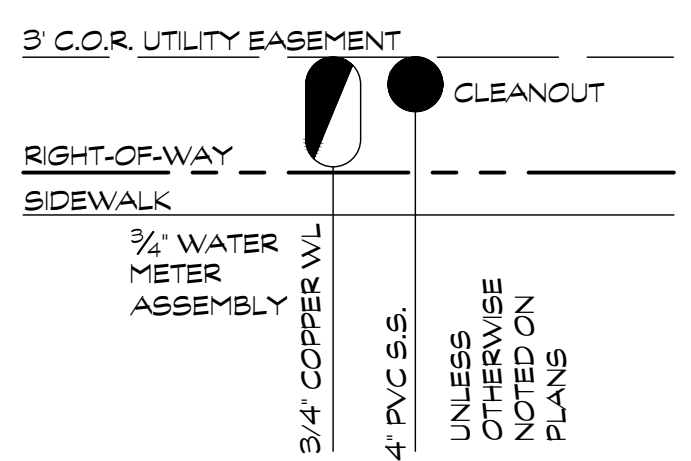
UTILITY SYMBOL LEGEND

	FLARED END SECTION		FIRE HYDRANT
	HEADWALL		GATE VALVE
	NCDOT CATCH BASIN		BLOW OFF & GATE VALVE
	OPEN THROATED CURB INLET		WATER SERVICE
	STORM MANHOLE		WATER MAIN
	YARD INLET		SEWER MANHOLE
	GRATED INLET		SEWER SERVICE
	SWALE / DITCH		SEWER MAIN
	STORM DRAINAGE PIPE		STORMWATER MANGEMENT AREA
	POND - NORMAL POOL		STORMWATER MANGEMENT AREA
			UTILITY EASEMENT LINETYPE

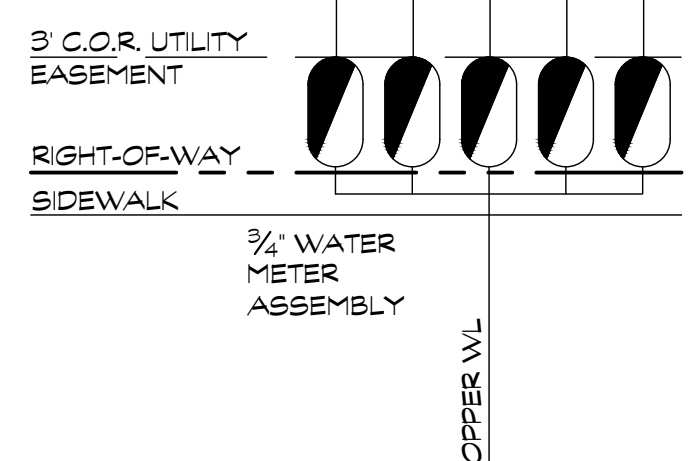
MATCHLINE - SEE SHEET C3.02



TYPICAL SERVICE LAYOUT FOR LOTS FRONTING COURTYARD



TYPICAL SERVICE DETAIL FOR LOTS FRONTING STREETS NOT TO SCALE



TYPICAL GANG METER DETAIL NOT TO SCALE

EXISTING UTILITIES NOTES:

CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FIN GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.

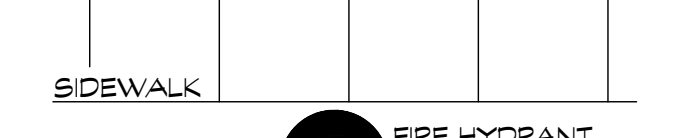
BACKWATER VALVE NOTE:

MANY OF THESE LOTS WILL NEED SANITARY SEWER SERVICE BACKWATER VALVES. THE BUILDERS PLUMBER WILL BE RESPONSIBLE FOR CHECKING THE UPSTREAM MANHOLE ELEVATION AND ELEVATION OF THE LOWEST DRAIN IN EACH BUILDING TO DETERMINE IF A SEWER SERVICE BACKWATER VALVE IS REQUIRED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT'S STANDARDS. PLEASE SEE DETAILS B-38 AND B-42 ON THE SANITARY SEWER DETAIL SHEET, CITY OF RALEIGH UTILITY NOTE 9 ON THE OVERALL SITE UTILITY PLAN, AND THE CITY OF RALEIGH PUBLIC UTILITIES HANDBOOK FOR FURTHER INFORMATION.

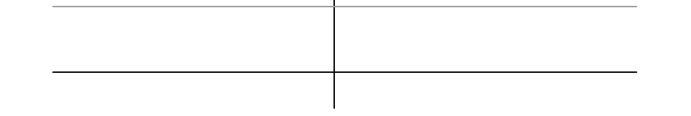
GENERAL UTILITY NOTES

- ALL UTILITIES SHOWN ON THESE PLANS ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE DURING CONSTRUCTION PLAN REVIEW.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ALL MAY NOT BE SHOWN. CONTRACTOR SHALL VERIFY EXACT LOCATION AND GRADE OF ALL EXISTING UTILITIES AND COORDINATE ANY REQUIRED RELOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, TOWN OF KNIGHTDALE, AND NCDOT.
- NO NEW IMPACTS TO EXISTING WETLANDS AND EXISTING NEUSE RIVER BUFFERS SHALL TAKE PLACE WITHOUT APPROVAL BY THE U.S. ARMY CORPS OF ENGINEERS, NCDWR, AND THE TOWN OF KNIGHTDALE. NO DISTURBANCE SHALL TAKE PLACE WITHIN JURISDICTIONAL WETLANDS AND NEUSE RIVER BUFFERS PRIOR TO RECEIPT OF ALL U.S. ARMY CORPS OF ENGINEERS & N.C. DIVISION OF WATER RESOURCES PERMITS. THESE AREAS WILL BE FLAGGED AS 'DO NOT ENTER' AREAS PRIOR TO RECEIPT OF PERMITS.
- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.

RIGHT-OF-WAY



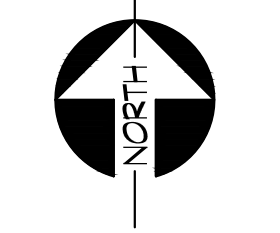
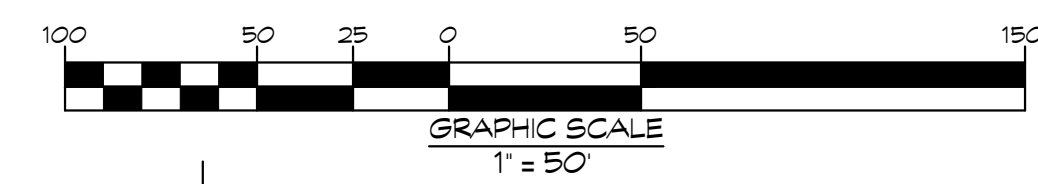
CURB



TYPICAL FIRE HYDRANT LOCATION DETAIL NOT TO SCALE

HATCH LEGEND

	PUDE = PUBLIC DRAINAGE EASEMENT
	PRDE = PRIVATE DRAINAGE EASEMENT
	PRIVATE SCM MAINTENANCE & ACCESS ESMT
	SEWER EASEMENT
	TREE SAVE OR PRESERVED WOODED AREA
	STREAM BUFFER
	WETLANDS



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR CONSTRUCTION FOR REVIEW ONLY

MATCHLINE - SEE SHEET C3.04



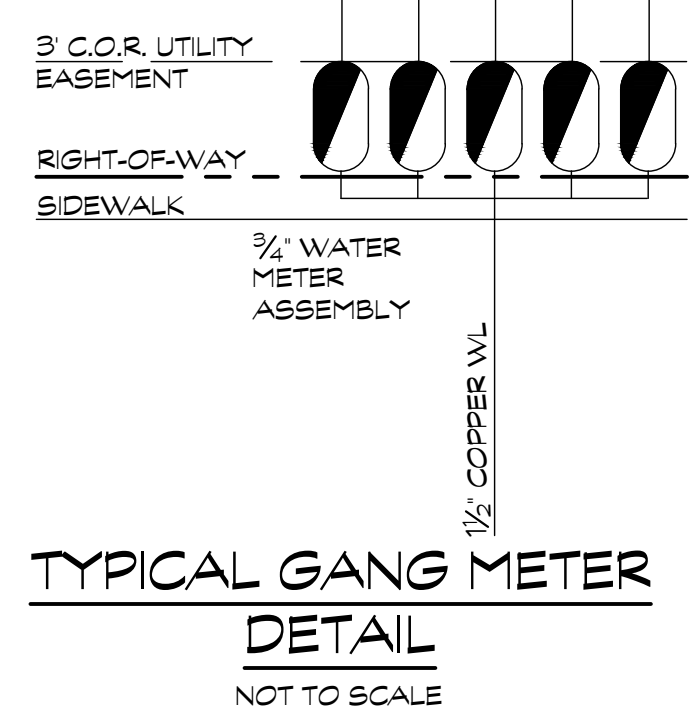
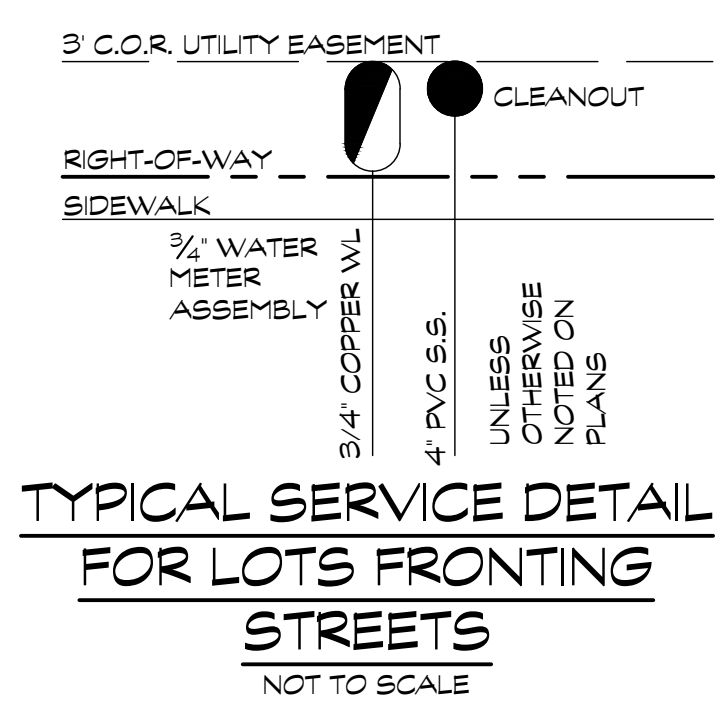
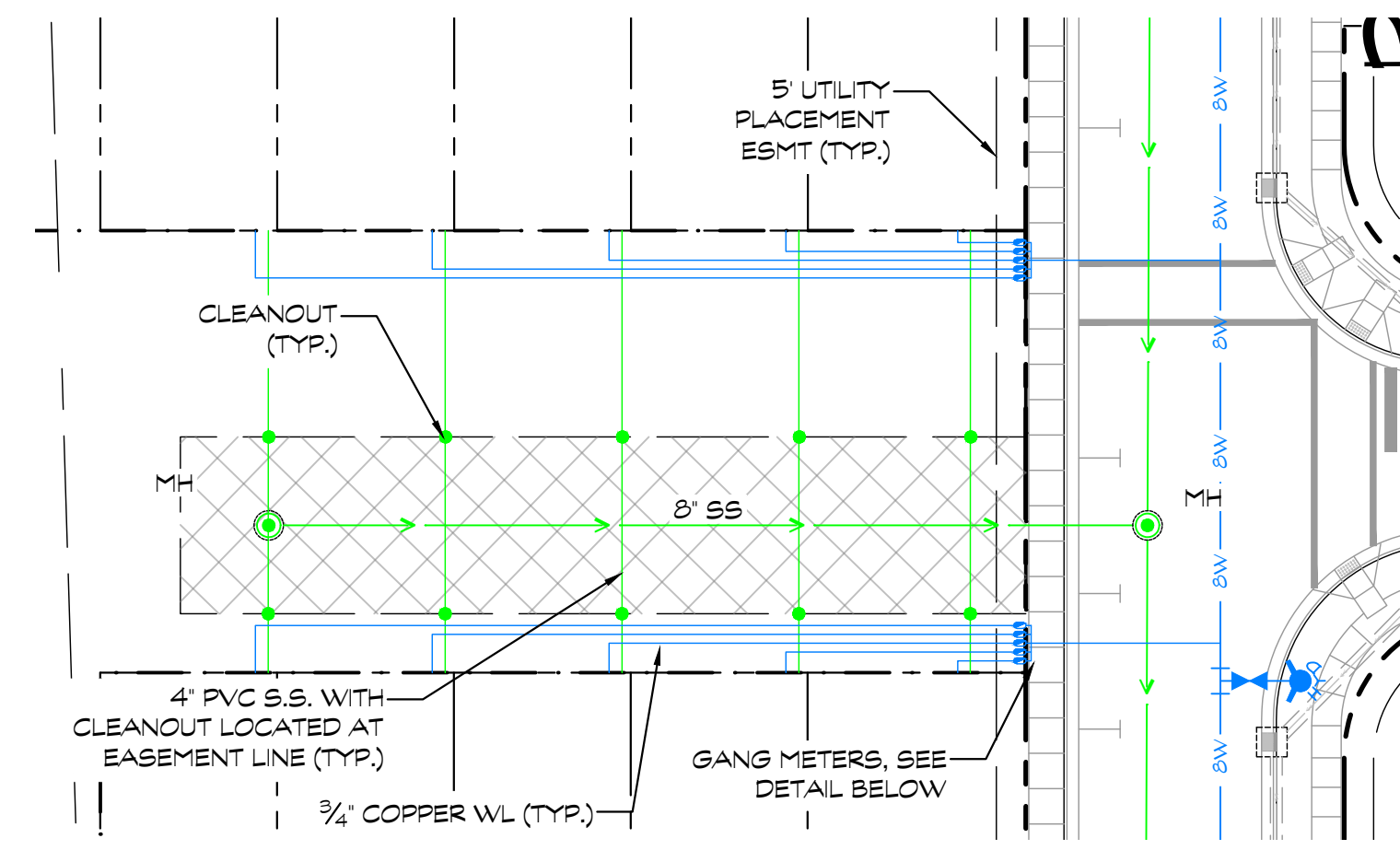
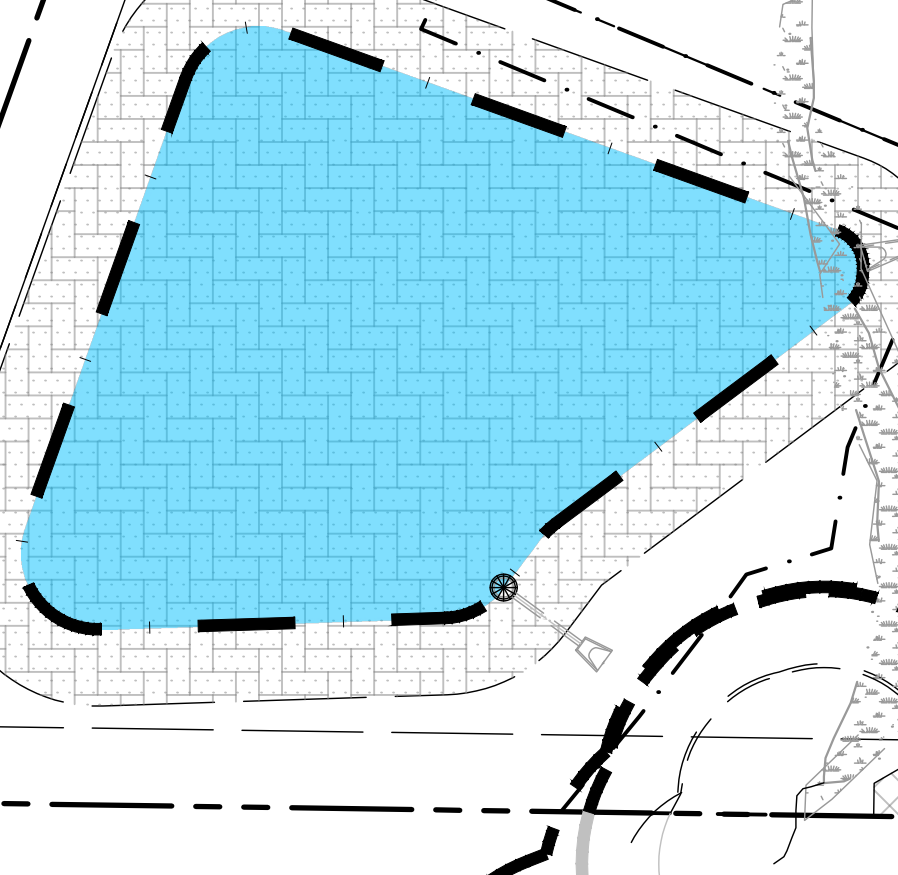
**UTILITY SYMBOL LEGEND**

	FLARED END SECTION
	HEADWALL
	NC DOT CATCH BASIN
	OPEN THROATED CURB INLET
	STORM MANHOLE
	YARD INLET
	GRATED INLET
	FIRE HYDRANT
	GATE VALVE
	BLOW OFF & GATE VALVE
	WATER SERVICE
	WATER MAIN
	SEWER MANHOLE
	SEWER SERVICE
	SEWER MAIN
	STORMWATER MANAGEMENT AREA
	UTILITY EASEMENT LINE TYPE
	SWALE / DITCH
	STORM DRAINAGE PIPE
	POND - NORMAL POOL

QUIET OAKS ROAD (NS-86829)

OPEN SPACE 1004

CONNECT TO PROPOSED MANHOLE TO BE CONSTRUCTED PER ZMA-11-22

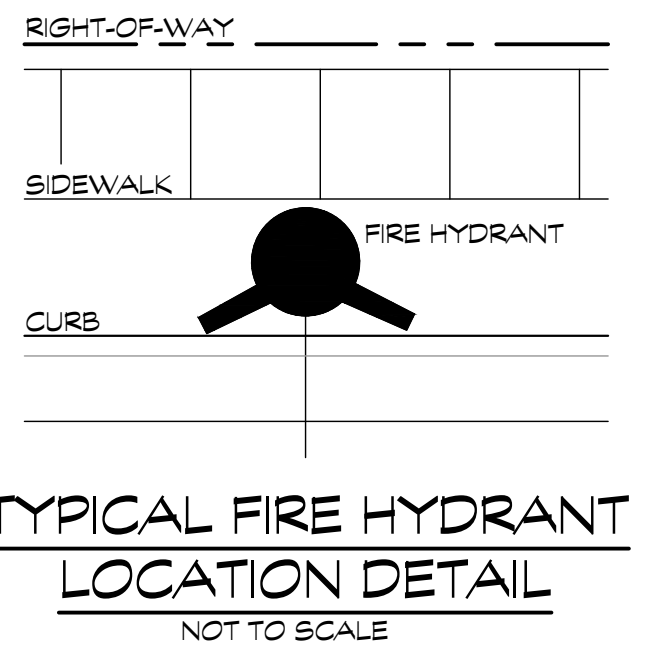


**EXISTING UTILITIES NOTES:**  
CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.

**BACKWATER VALVE NOTE:**  
MANY OF THESE LOTS WILL NEED SANITARY SEWER SERVICE BACKWATER VALVES. THE BUILDERS PLUMBER WILL BE RESPONSIBLE FOR CHECKING THE UPSTREAM MANHOLE ELEVATION AND ELEVATION OF THE LOWEST DRAIN CATCH BASIN TO DETERMINE IF A SEWER SERVICE BACKWATER VALVE IS REQUIRED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT'S STANDARDS. PLEASE SEE DETAILS S-20 AND S-42 ON THE SANITARY SEWER DETAIL SHEET, CITY OF RALEIGH UTILITY NOTE 9 ON THE OVERALL SITE UTILITY PLAN, AND THE CITY OF RALEIGH PUBLIC UTILITIES HANDBOOK FOR FURTHER INFORMATION.

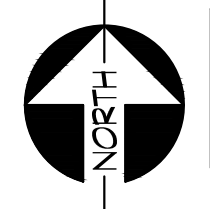
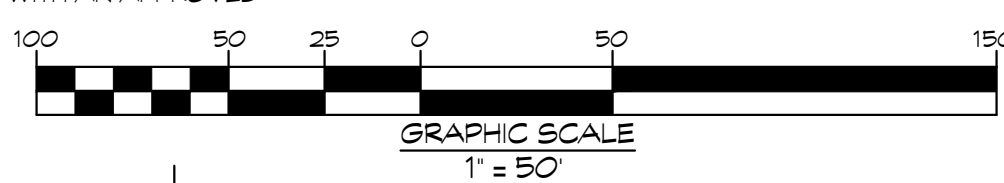
**GENERAL UTILITY NOTES**

- ALL UTILITIES SHOWN ON THESE PLANS ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE DURING CONSTRUCTION PLAN REVIEW.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ALL MAY NOT BE SHOWN. CONTRACTOR SHALL VERIFY EXACT LOCATION AND GRADE OF ALL EXISTING UTILITIES AND COORDINATE ANY REQUIRED RELOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, TOWN OF KNIGHTDALE, AND NCDOT.
- NO NEW IMPACTS TO EXISTING WETLANDS AND EXISTING NEUSE RIVER BUFFERS SHALL TAKE PLACE WITHOUT APPROVAL BY THE U.S. ARMY CORPS OF ENGINEERS, NCDWR, AND THE TOWN OF KNIGHTDALE. NO DISTURBANCE SHALL TAKE PLACE WITHIN JURISDICTIONAL WETLANDS AND NEUSE RIVER BUFFERS PRIOR TO RECEIPT OF ALL U.S. ARMY CORPS OF ENGINEERS & N.C. DIVISION OF WATER RESOURCES PERMITS. THESE AREAS WILL BE FLAGGED AS 'DO NOT ENTER' AREAS PRIOR TO RECEIPT OF PERMITS.
- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.



**HATCH LEGEND**

	P.U.D.E = PUBLIC DRAINAGE EASEMENT
	P.R.D.E = PRIVATE DRAINAGE EASEMENT
	PRIVATE SCM MAINTENANCE & ACCESS ESMT
	SEWER EASEMENT
	TREE SAVE OR PRESERVED WOODED AREA
	STREAM BUFFER
	WETLANDS



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE NOT SHOWN.

NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**NOT FOR CONSTRUCTION FOR REVIEW ONLY**



**TERRAVITA**  
MASTER PLAN REVIEW DRAWINGS

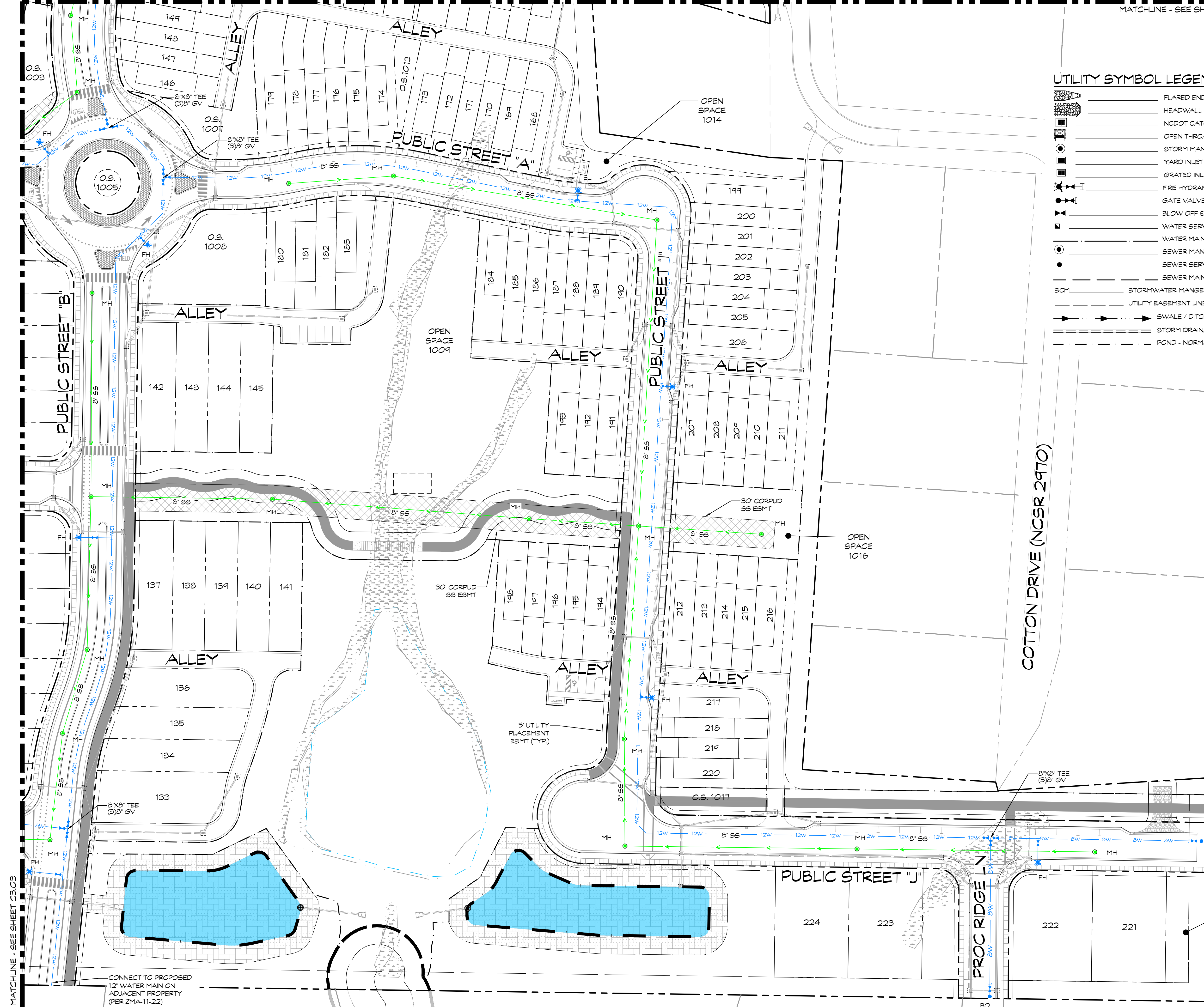
SCALE:	1"=50'
DATE:	NOVEMBER 25, 2024
PROJECT NUMBER:	2023-002.001
CLIENT:	SITE INVESTMENTS, LLC
PLAN TYPE:	MASTER PLAN REVIEW

**PRELIMINARY UTILITY PLAN ENLARGED AREA 3**

**PRIEST, CRAVEN & ASSOCIATES, INC.**  
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

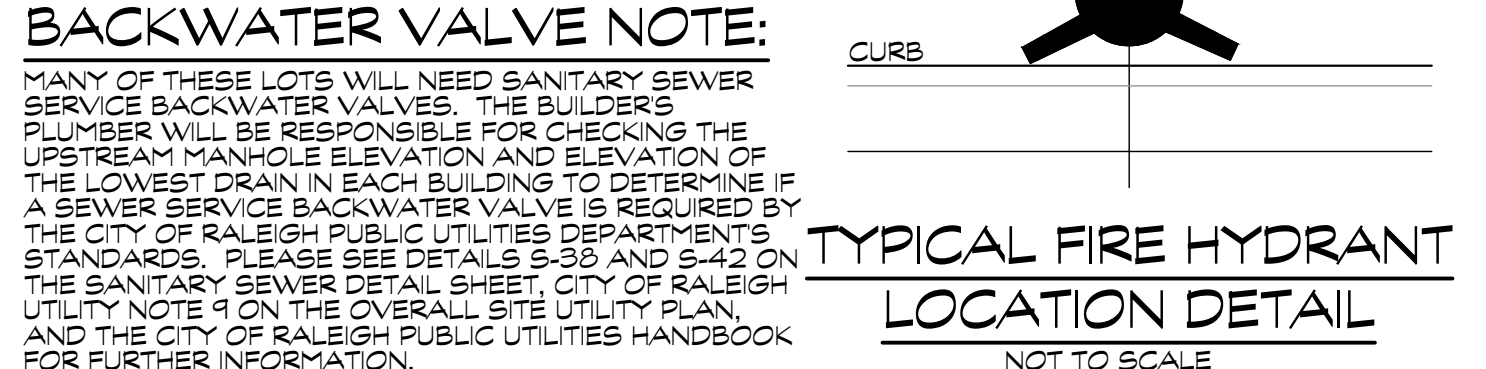
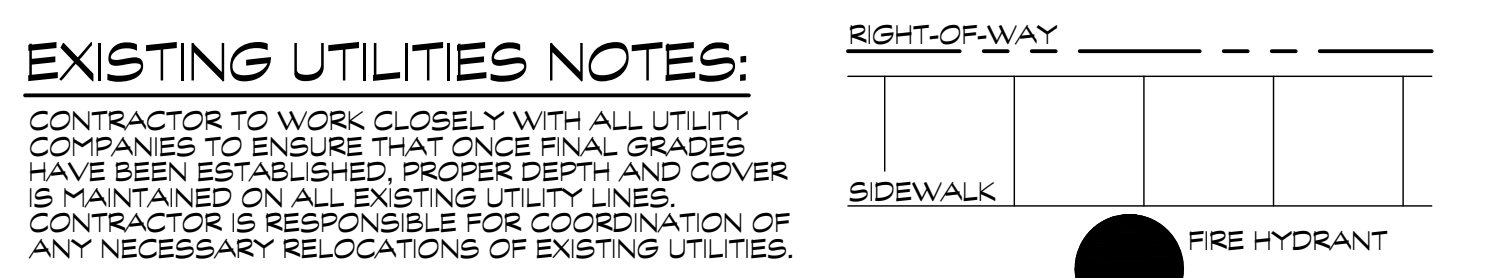
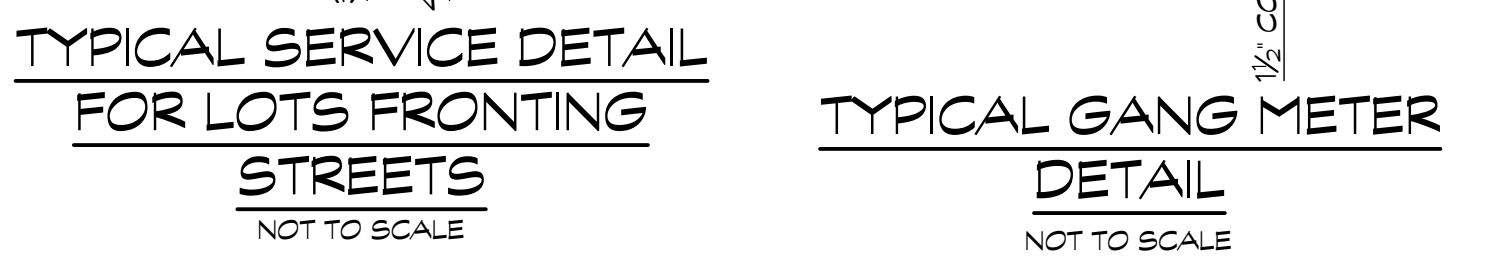
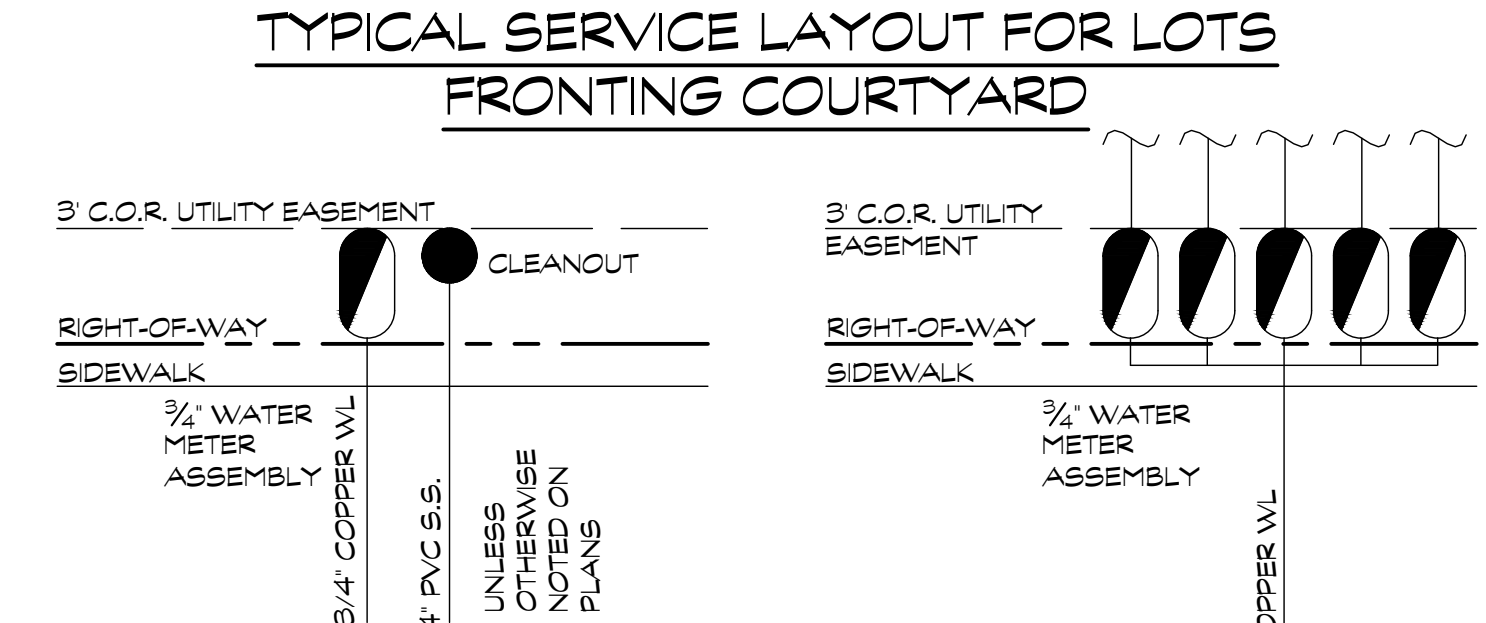
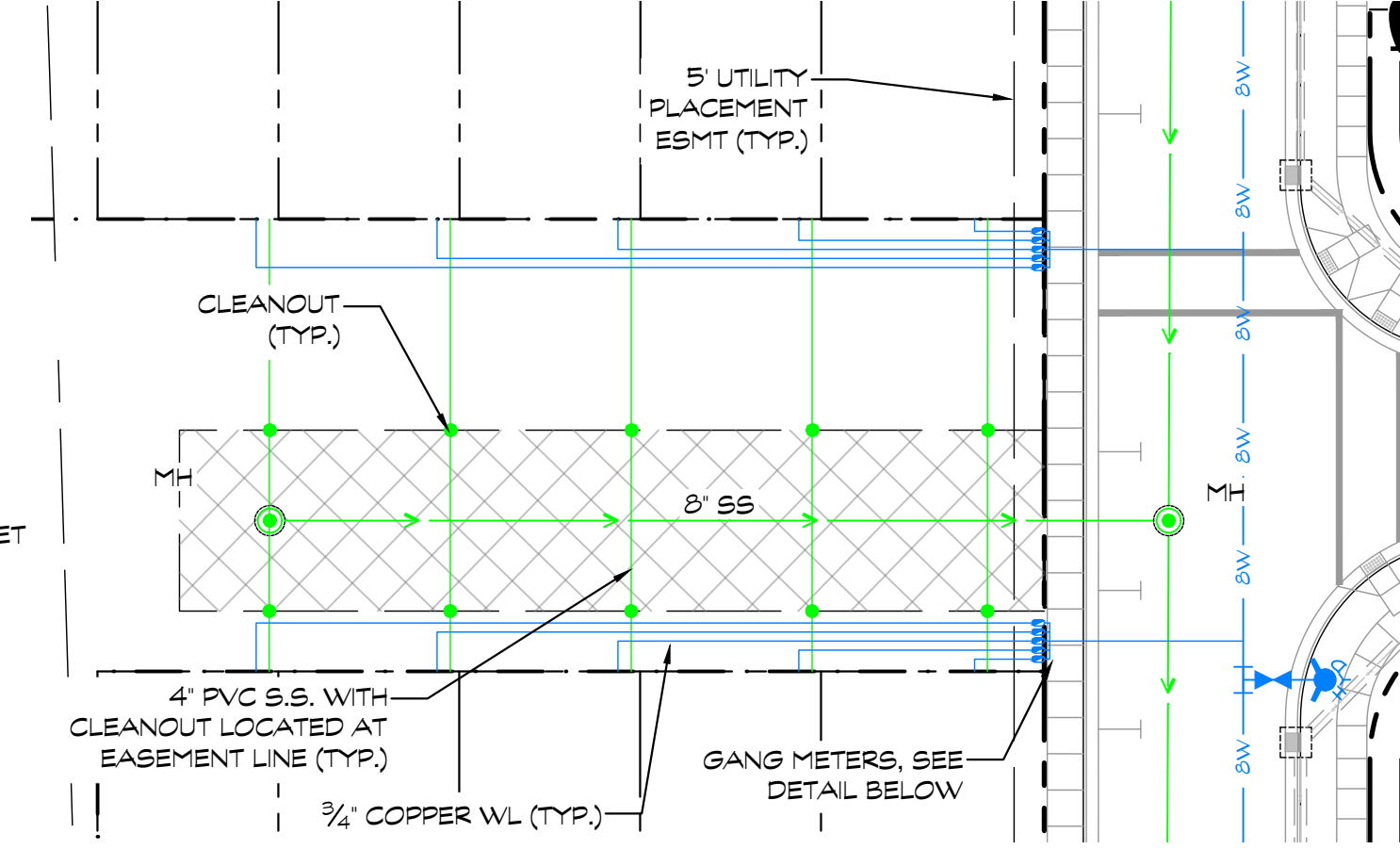
SHEET #  
C3.03



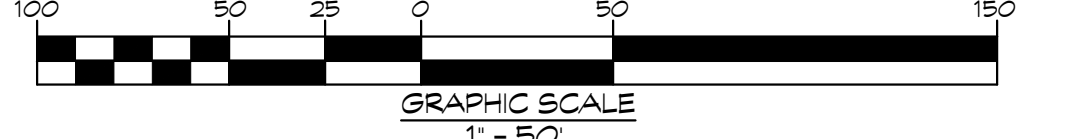


**UTILITY SYMBOL LEGEND**

[Symbol]	FLARED END SECTION
[Symbol]	HEADWALL
[Symbol]	NCDOT CATCH BASIN
[Symbol]	OPEN THROATED CURB INLET
[Symbol]	STORM MANHOLE
[Symbol]	YARD INLET
[Symbol]	GRATED INLET
[Symbol]	FIRE HYDRANT
[Symbol]	GATE VALVE
[Symbol]	BLOW OFF & GATE VALVE
[Symbol]	WATER SERVICE
[Symbol]	WATER MAIN
[Symbol]	SEWER MANHOLE
[Symbol]	SEWER SERVICE
[Symbol]	SEWER MAIN
[Symbol]	STORMWATER MANAGEMENT AREA
[Symbol]	UTILITY EASEMENT LINETYPE
[Symbol]	SWALE / DITCH
[Symbol]	STORM DRAINAGE PIPE
[Symbol]	POND - NORMAL POOL



- EXISTING UTILITIES NOTES:**  
CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FIN GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.
- BACKWATER VALVE NOTE:**  
MANY OF THESE LOTS WILL NEED SANITARY SEWER SERVICE BACKWATER VALVES. THE BUILDERS PLUMBER WILL BE RESPONSIBLE FOR CHECKING THE UPSTREAM MANHOLE ELEVATION AND IDENTIFICATION OF THE LOWEST DRAIN IN EACH BUILDING TO DETERMINE IF A SEWER SERVICE BACKWATER VALVE IS REQUIRED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT'S STANDARDS. PLEASE SEE DETAILS S-38 AND S-42 ON THE SANITARY SEWER DETAIL SHEET, CITY OF RALEIGH UTILITY NOTE #1 ON THE OVERALL SITE UTILITY PLAN, AND THE CITY OF RALEIGH PUBLIC UTILITIES HANDBOOK FOR FURTHER INFORMATION.
- GENERAL UTILITY NOTES**
- ALL UTILITIES SHOWN ON THESE PLANS ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE DURING CONSTRUCTION PLAN REVIEW.
  - EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ALL MAY NOT BE SHOWN. CONTRACTOR SHALL VERIFY EXACT LOCATION AND GRADE OF ALL EXISTING UTILITIES AND COORDINATE ANY REQUIRED RELOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
  - NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, TOWN OF KNIGHTDALE, AND NCDOT.
  - NO NEW IMPACTS TO EXISTING WETLANDS AND EXISTING NEUSE RIVER BUFFERS SHALL TAKE PLACE WITHOUT APPROVAL BY THE U.S. ARMY CORPS OF ENGINEERS, NCDWR, AND THE TOWN OF KNIGHTDALE. NO DISTURBANCE SHALL TAKE PLACE WITHIN JURISDICTIONAL WETLANDS AND NEUSE RIVER BUFFERS PRIOR TO RECEIPT OF ALL U.S. ARMY CORPS OF ENGINEERS & N.C. DIVISION OF WATER RESOURCES PERMITS. THESE AREAS WILL BE FLAGGED AS 'DO NOT ENTER' AREAS PRIOR TO RECEIPT OF PERMITS.
  - ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

MATCHLINE - SEE SHEET C3.03

CONNECT TO PROPOSED 12\"/>

NOT FOR  
CONSTRUCTION  
FOR REVIEW  
ONLY





HATCH LEGEND		UTILITY SYMBOL LEGEND	
	PU.DE = PUBLIC DRAINAGE EASEMENT		FLARED END SECTION
	PR.DE = PRIVATE DRAINAGE EASEMENT		HEADWALL
	PRIVATE SCM MAINTENANCE & ACCESS EASMT		NCDOT CATCH BASIN
	SEWER EASEMENT		OPEN THROATED CURB INLET
	TREE SAVE OR PRESERVED WOODED AREA		STORM MANHOLE
	STREAM BUFFER		YARD INLET
	WETLANDS		GRATED INLET
			FIRE HYDRANT
			GATE VALVE
			BLOW OFF & GATE VALVE
			WATER SERVICE
			SEWER MANHOLE
			SEWER SERVICE
			SEWER MAIN
			SCM - STORMWATER MANAGEMENT AREA
			UTILITY EASEMENT LINETYPE
			SWALE / DITCH
			STORM DRAINAGE PIPE
			POND - NORMAL POOL

**EXISTING UTILITIES NOTES:**  
 CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.

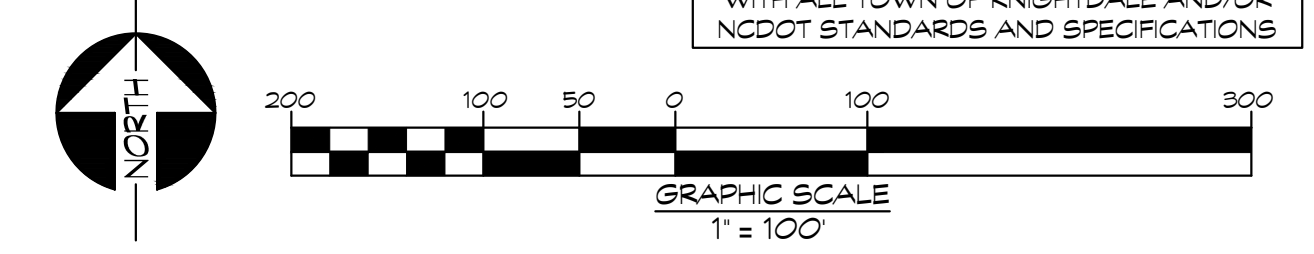
**GENERAL UTILITY NOTES**

- ALL UTILITIES SHOWN ON THESE PLANS ARE PRELIMINARY IN NATURE AND SUBJECT TO CHANGE DURING CONSTRUCTION PLAN REVIEW.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ALL MAY NOT BE SHOWN. CONTRACTOR SHALL VERIFY EXACT LOCATION AND GRADE OF ALL EXISTING UTILITIES AND COORDINATE ANY REQUIRED RELOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, TOWN OF KNIGHTDALE, AND NCDOT.
- NO NEW IMPACTS TO EXISTING WETLANDS AND EXISTING NEUSE RIVER BUFFERS SHALL TAKE PLACE WITHOUT APPROVAL BY THE U.S. ARMY CORPS OF ENGINEERS, NCDWR, AND THE TOWN OF KNIGHTDALE. NO DISTURBANCE SHALL TAKE PLACE WITHIN JURISDICTIONAL WETLANDS AND NEUSE RIVER BUFFERS PRIOR TO RECEIPT OF ALL U.S. ARMY CORPS OF ENGINEERS & N.C. DIVISION OF WATER RESOURCES PERMITS. THESE AREAS WILL BE FLAGGED AS 'DO NOT ENTER' AREAS PRIOR TO RECEIPT OF PERMITS.
- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.



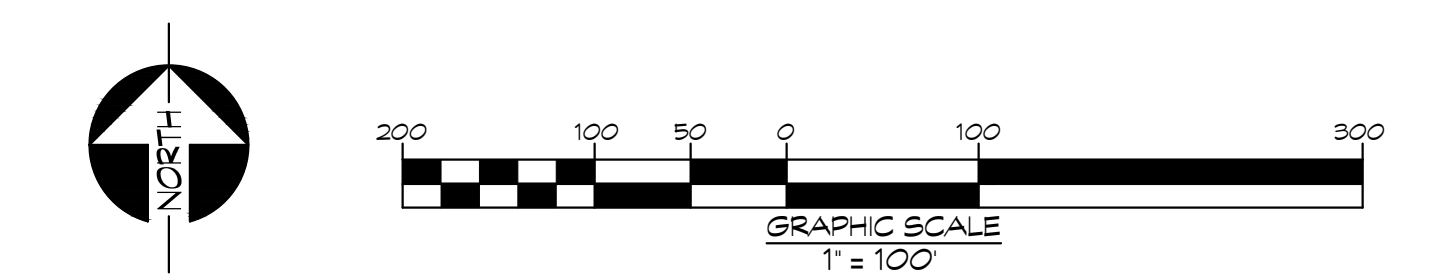
CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS



**NOT FOR CONSTRUCTION FOR REVIEW ONLY**





- GENERAL NOTES:**
1. THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
  2. THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
  3. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
  4. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
  5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
  6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCEQ STANDARDS AND SPECIFICATIONS.
  7. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
  8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
  9. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
  10. WETLAND AND STREAM BUFFER LOCATIONS ARE BASED INFORMATION PROVIDED BY SOIL & ENVIRONMENTAL CONSULTANTS, PA.
  11. STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

NOT FOR CONSTRUCTION FOR REVIEW ONLY





19 FOOT DETACHED SINGLE-FAMILY DWELLING



19 FOOT DETACHED SINGLE-FAMILY DWELLING



21 FOOT DETACHED SINGLE-FAMILY DWELLING



45 FOOT DETACHED SINGLE-FAMILY DWELLING



51 FOOT DETACHED SINGLE-FAMILY DWELLING



22 FOOT END UNIT TOWNHOME



25 FOOT END UNIT TOWNHOME



21 FOOT TOWNHOME



23 FOOT END UNIT TOWNHOME

NOTE: UNIT PLANS ARE ILLUSTRATIVE OF THE FORM AND SCALE OF THE PROPOSED HOMES. PLANS ARE SUBJECT TO CHANGE AS THE PROJECT PROGRESSES.

NOT FOR CONSTRUCTION FOR REVIEW ONLY



**STREET TREE PLANTINGS (PER UDO 7.4.L)**

- ALL DEVELOPMENT SHALL BE REQUIRED TO HAVE STREET TREES ALONG ALL PUBLIC RIGHTS-OF-WAY IN ACCORDANCE WITH THE ILLUSTRATIONS OF STREET CLASSIFICATION AND DESIGN FOUND IN SECTION 10.4 (A). STREET TREES ARE NOT REQUIRED ALONG PUBLIC RIGHTS-OF-WAY IN THE OPEN SPACE PRESERVE (OSP) ZONING DISTRICT.
- THE SPECIES OF EVERY OTHER TREE ALONG A STREET FRONTAGE SHALL ALTERNATE IN ORDER TO MAXIMIZE SPECIES DIVERSITY.
- STREET TREES SHALL BE CANOPY TREES AND SHALL BE INSTALLED AT A MINIMUM AVERAGE DISTANCE OF FORTY (40) FEET ON CENTER IN A PLANTING STRIP A MINIMUM OF FIVE (5) FEET IN WIDTH. WHERE OVERHEAD UTILITIES EXIST PRIOR TO DEVELOPMENT, UNDERSTORY TREES MAY BE SUBSTITUTED, AS APPROVED BY THE LAND USE ADMINISTRATOR. THE PLANTING STRIP SHALL BE LOCATED AS DETAILED BELOW.
  - TOWN OF KNIGHTDALE ROADWAYS. ON ROADWAYS UNDER TOWN OF KNIGHTDALE JURISDICTION, THE PLANTING STRIP SHALL BE LOCATED BETWEEN THE SIDEWALK AND ROADWAY.
  - NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROADWAYS. ON ROADWAYS UNDER NCDOT JURISDICTION, THE PLANTING STRIP SHALL BE LOCATED IN ACCORDANCE WITH APPLICABLE NCDOT SPECIFICATIONS.
- STREET TREES SHALL BE PLACED AT LEAST TEN (10) FEET FROM LIGHT POLES AND TWELVE (12) FEET FROM ELECTRICAL TRANSFORMERS IN ORDER TO AVOID THESE UTILITIES TO BE SAFELY SERVICED. UNDERSTORY TREES MAY BE PLACED WITHIN FIVE (5) FEET OF SUCH DEVICES.
- STREET TREES SHALL BE DECIDUOUS HARDWOODS AND SHALL MEET THE CRITERIA SET FORTH IN SECTION 7.4 (C).
- STREET TREE MAINTENANCE. STREET TREES SHALL BE MAINTAINED IN GOOD, TRIMMED, AND NEAT CONDITION, AND AT MATURITY SHALL HAVE A CLEARANCE OF ONE-HALF (1.5) FEET OF CLEARANCE TO ACCOMMODATE EMERGENCY RESPONSE VEHICLES.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

**PROPOSED CANOPY TREE LEGEND:**

- NYSSA SYLVATICA WILDFIRE (NS)
- QUERCUS ROBUR (QR)
- QUERCUS ALBA (QA)
- CARPINUS BETULUS (CB)
- ZELKOVA SERRATA (ZS)
- ULMUS PARVIFOLIA (UP)
- BLACK GUM
- ENGLISH OAK
- WHITE OAK
- EUROPEAN HORNBEAM (GROWN SINGLE STEM)
- JAPANESE ZELKOVA
- CHINESE ELM

**PROPOSED UNDERSTORY TREE LEGEND:**

- PRUNUS CAROLINIANA (PR)
- MAGNOLIA VIRGINIANA (MV)
- ILEX LATIFOLIA (IL)
- CHERRY LAUREL
- SWEETBAY MAGNOLIA
- LUSTERLEAF HOLLY

**PROPOSED SHRUB LEGEND:**

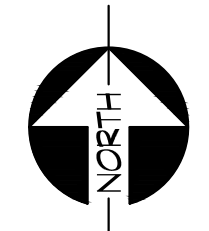
- ILEX GLABRA (IG)
- MYRTICA CERIFERA (MC)
- TERNSTROEMIA GYMNATHERA (TG)
- INKBERRY HOLLY
- WAX MYRTLE
- CLEYERA

**LEGEND**

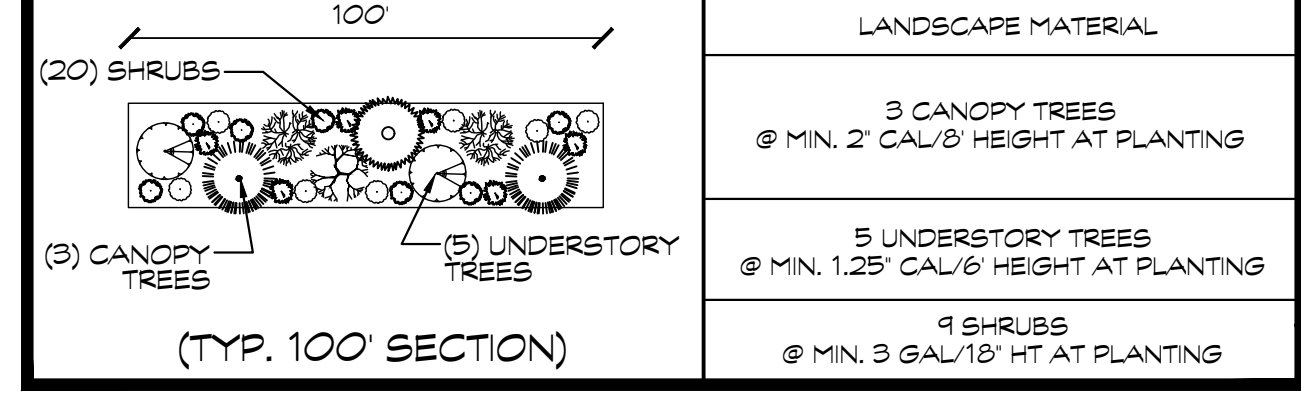
- PROPOSED LIGHT
- NEUSE RIVER BUFFER BOUNDARY LINE
- TREE PROTECTION FENCING

**HATCH LEGEND**

- PUDE = PUBLIC DRAINAGE EASEMENT
- PRDE = PRIVATE DRAINAGE EASEMENT
- PRIVATE SCM MAINTENANCE & ACCESS ESMT
- SEWER EASEMENT
- TREE SAVE OR PRESERVED WOODED AREA
- STREAM BUFFER
- WETLANDS
- WATER EASEMENT



**20' WIDE TYPE B BUFFER TYPICAL PLANTING**



**LANDSCAPING CALCULATIONS**

STREET TREE CALCULATIONS & PLANT LIST (PLANTED AT 40' INTERVALS PER UDO 7.4.L)

CANOPY STREET TREES PROVIDED: 407 TREES

CARPINUS BETULUS (CB)	EUROPEAN HORNBEAM (SINGLE STEM)	67 TREES
NYSSA SYLVATICA WILDFIRE (NS)	BLACK GUM	60 TREES
QUERCUS ALBA (QA)	WHITE OAK	60 TREES
QUERCUS ROBUR FASTIGIATA (QR)	FASTIGIATE ENGLISH OAK	60 TREES
ULMUS PARVIFOLIA (UP)	CHINESE ELM	60 TREES
ZELKOVA SERRATA (ZS)	JAPANESE ZELKOVA	60 TREES

20' TYPE B BUFFER

TOTAL LENGTH OF TYPE BUFFER TO BE PLANTED: 1500 LF

CANOPY TREES REQUIRED (3 PER 100 LF): 225 TREES

UNDERSTORY TREES REQUIRED (5 PER 100 LF): 375 TREES

SHRUBS REQUIRED (20 PER 100 LF): 1500 SHRUBS

CANOPY TREES PROVIDED:

ULMUS PARVIFOLIA (UP)	CHINESE ELM	225 TREES
ZELKOVA SERRATA (ZS)	JAPANESE ZELKOVA	112 TREES

UNDERSTORY TREES PROVIDED:

PRUNUS CAROLINIANA (PR)	CHERRY LAUREL	125 TREES
MAGNOLIA VIRGINIANA (MV)	SWEETBAY MAGNOLIA	125 TREES
ILEX LATIFOLIA (IL)	LUSTERLEAF HOLLY	125 TREES

SHRUBS PROVIDED:

ILEX GLABRA (IG)	INKBERRY HOLLY	1500 SHRUBS
MYRTICA CERIFERA (MC)	WAX MYRTLE	500 SHRUBS
TERNSTROEMIA GYMNATHERA (TG)	CLEYERA	500 SHRUBS

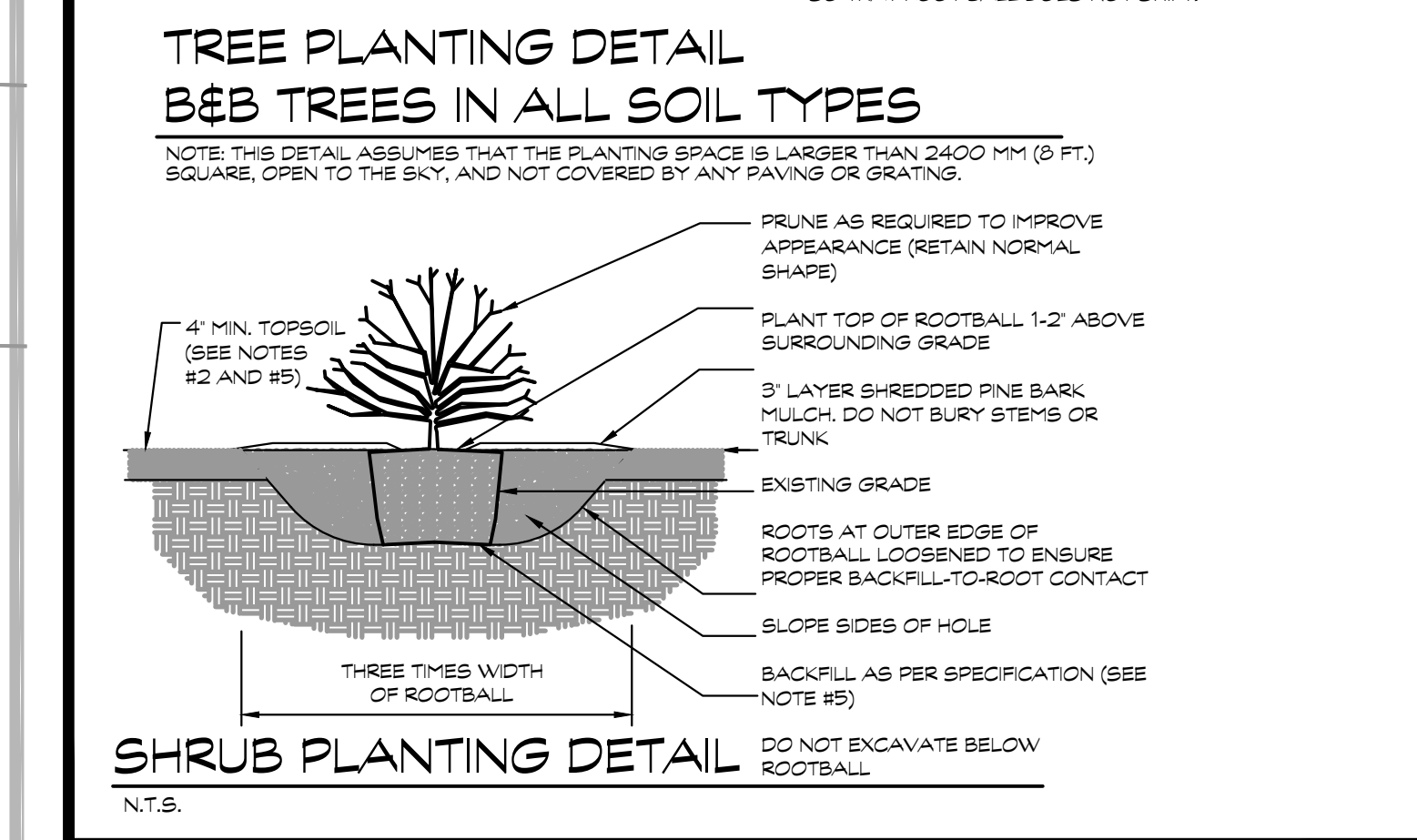
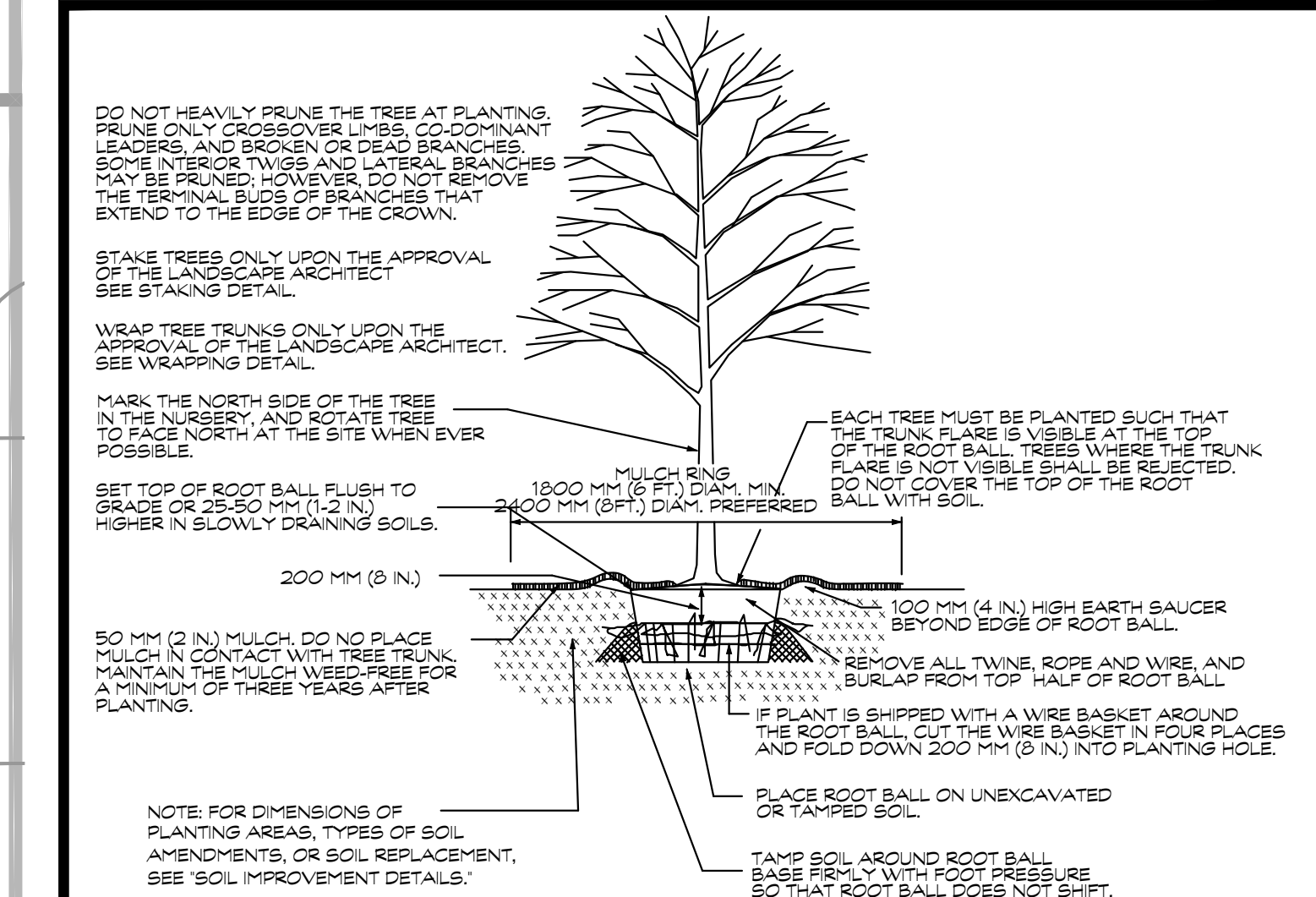
**PLANT LIST:**

**CANOPY TREES**

KEY	BOTANICAL NAME	COMMON NAME	MIN. CAL/HT	MATURE HT/SPREA	QTY.
CB	CARPINUS BETULUS	EUROPEAN HORNBEAM	2.5'/8' MIN.	50/40'	67
NS	NYSSA SYLVATICA WILDFIRE	BLACK GUM	2.5'/8' MIN.	50/20'	60
QA	QUERCUS ALBA	WHITE OAK	2.5'/8' MIN.	70/50'	60
QR	QUERCUS ROBUR FASTIGIATA	ENGLISH OAK	2.5'/8' MIN.	55/50'	60
UP	ULMUS PARVIFOLIA 'EMER II' ALLEE	CHINESE ELM	2.5'/8' MIN.	50/40'	101
ZS	ZELKOVA SERRATA VILLAGE GREEN	JAPANESE ZELKOVA	2.5'/8' MIN.	70/50'	100
					<b>TOTAL 632</b>

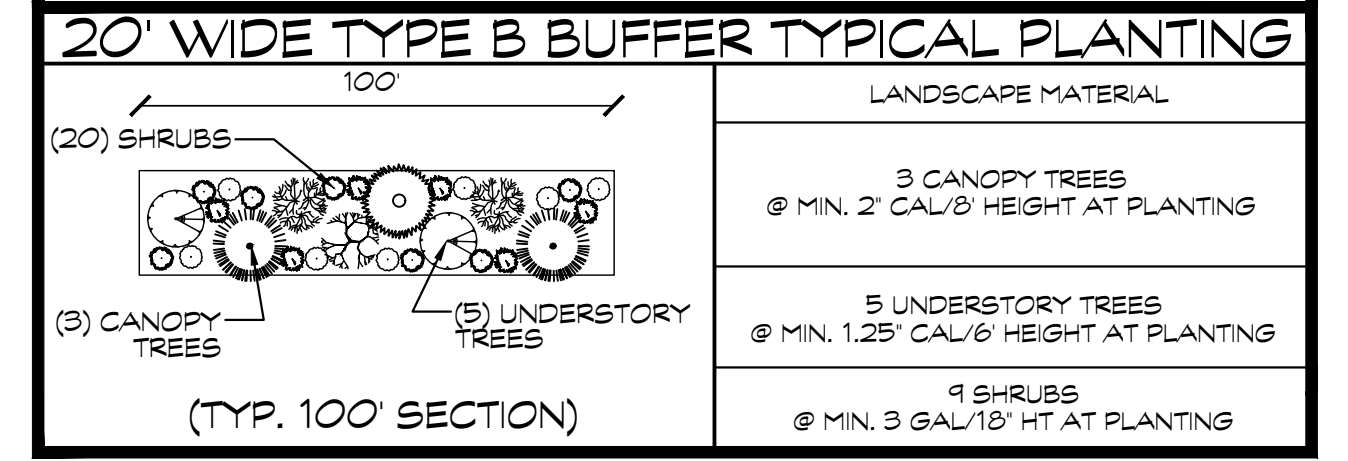
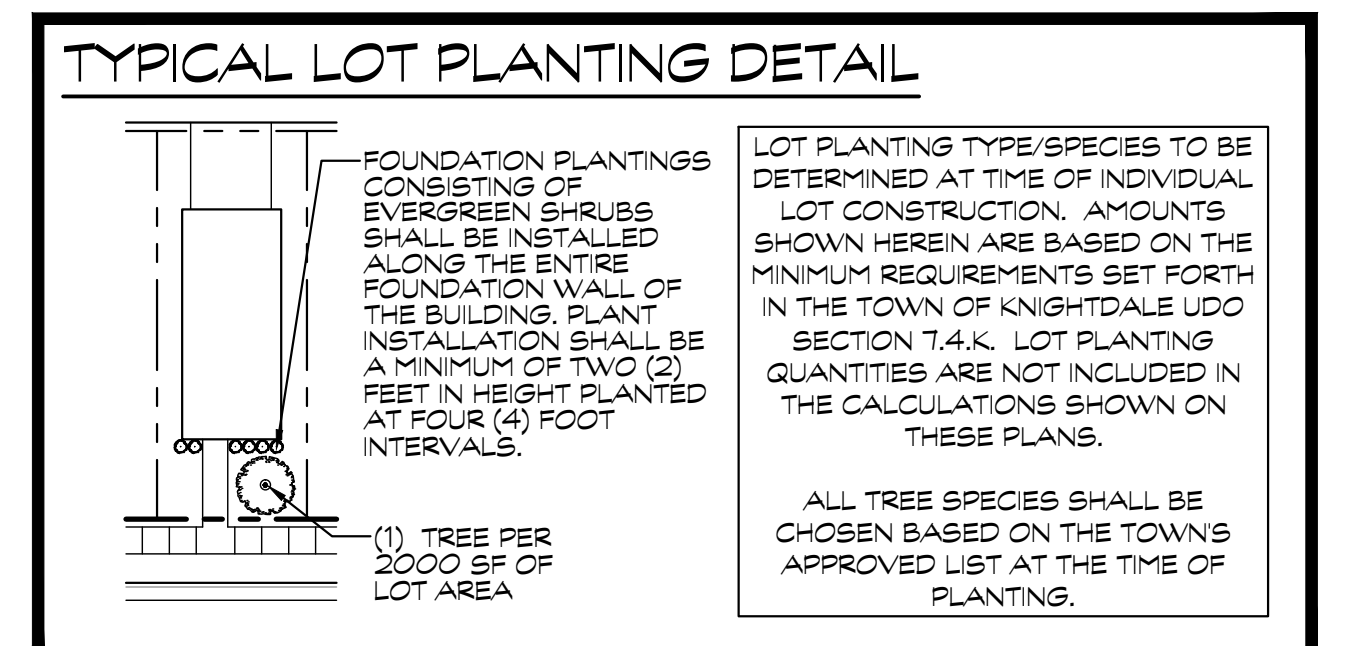
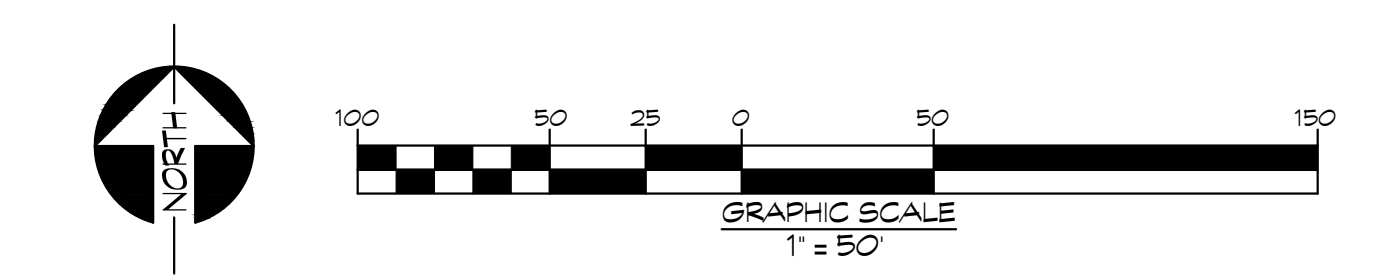
**UNDERSTORY TREES**

KEY	BOTANICAL NAME	COMMON NAME	MIN. CAL/HT	MATURE HT/SPREA	QTY.
IL	ILEX LATIFOLIA	LUSTERLEAF HOLLY	1 1/2' MIN.	20/15'	125
MV	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	1 1/2' MIN.	20/20'	125
PR	PRUNUS CAROLINIANA	CHERRY LAUREL	1 1/2' MIN.	20/15'	125
					<b>TOTAL 375</b>



NOT FOR CONSTRUCTION FOR REVIEW ONLY



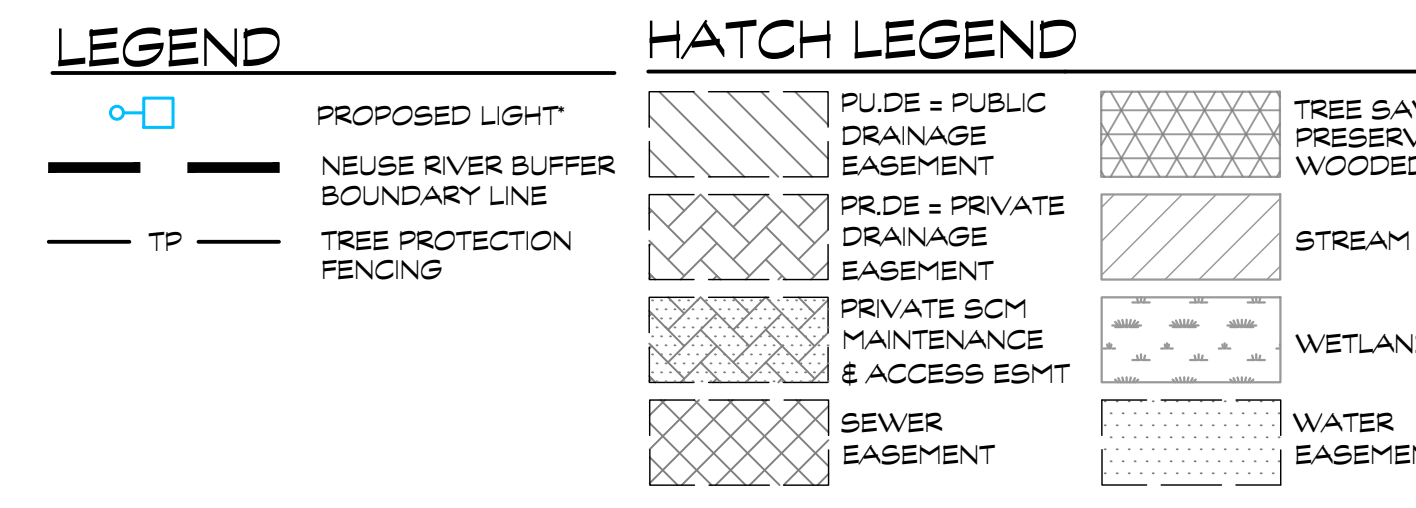


- ### STREET TREE PLANTINGS (PER UDO 7.4.L)
- ALL DEVELOPMENT SHALL BE REQUIRED TO HAVE STREET TREES ALONG ALL PUBLIC RIGHTS-OF-WAY IN ACCORDANCE WITH THE ILLUSTRATIONS OF STREET CLASSIFICATION AND DESIGN FOUND IN SECTION 10.4 (A). STREET TREES ARE NOT REQUIRED ALONG PUBLIC RIGHTS-OF-WAY IN THE OPEN SPACE PRESERVE (OSP) ZONING DISTRICT.
  - THE SPECIES OF EVERY OTHER TREE ALONG A STREET FRONTAGE SHALL ALTERNATE IN ORDER TO MAXIMIZE SPECIES DIVERSITY.
  - STREET TREES SHALL BE CANOPY TREES AND SHALL BE INSTALLED AT A MINIMUM AVERAGE DISTANCE OF FORTY (40) FEET ON CENTER IN A PLANTING STRIP A MINIMUM OF FIVE (5) FEET IN WIDTH. WHERE OVERHEAD UTILITIES EXIST PRIOR TO DEVELOPMENT, UNDERSTORY TREES MAY BE SUBSTITUTED, AS APPROVED BY THE LAND USE ADMINISTRATOR. THE PLANTING STRIP SHALL BE LOCATED AS DETAILED BELOW.
    - TOWN OF KNIGHTDALE ROADWAYS, ON ROADWAYS UNDER TOWN OF KNIGHTDALE JURISDICTION, THE PLANTING STRIP SHALL BE LOCATED BETWEEN THE SIDEWALK AND ROADWAY.
    - NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROADWAYS, ON ROADWAYS UNDER NCDOT JURISDICTION, THE PLANTING STRIP SHALL BE LOCATED IN ACCORDANCE WITH APPLICABLE NCDOT SPECIFICATIONS.
  - STREET TREES SHALL BE PLACED AT LEAST TEN (10) FEET FROM LIGHT POLES AND TWELVE (12) FEET FROM ELECTRICAL TRANSFORMERS IN ORDER TO ALLOW THESE UTILITIES TO BE SAFELY SERVICED (UNDERSTORY TREES MAY BE PLACED WITHIN FIVE (5) FEET OF SUCH DEVICES).
  - STREET TREES SHALL BE DECIDUOUS HARDWOODS AND SHALL MEET THE CRITERIA SET FORTH IN SECTION 7.4 (C).
  - STREET TREE MAINTENANCE. STREET TREES SHALL BE MAINTAINED IN GOOD, TRIMMED, AND NEAT CONDITION, AND AT MATURITY SHOULD PROVIDE THIRTEEN AND ONE-HALF (13.5) FEET OF CLEARANCE TO ACCOMMODATE EMERGENCY RESPONSE VEHICLES.

- ### PROPOSED CANOPY TREE LEGEND:
- NYSSA SYLVATICA WILDFIRE (NS)
  - QUERCUS ROBUR (QR)
  - QUERCUS ALBA (QA)
  - CARPINUS BETULUS (CB)
  - ZELKOVA SERRATA (ZS)
  - ULMUS PARVIFOLIA (UP)
  - BLACK GUM
  - ENGLISH OAK
  - WHITE OAK
  - EUROPEAN HORNBEAM (GROWN SINGLE STEM)
  - JAPANESE ZELKOVA
  - CHINESE ELM

- ### PROPOSED UNDERSTORY TREE LEGEND:
- PRUNUS CAROLINIANA (PR)
  - MAGNOLIA VIRGINIANA (MV)
  - ILEX LATIFOLIA (L)
  - CHERRY LAUREL
  - SWEETBAY MAGNOLIA
  - LUSTERLEAF HOLLY

- ### PROPOSED SHRUB LEGEND:
- ILEX GLABRA (IG)
  - MYRICA CERIFERA (MC)
  - TERNSTROEMIA GYMNATHERA (TG)
  - INKBERRY HOLLY
  - WAX MYRTLE
  - CLEYERA



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

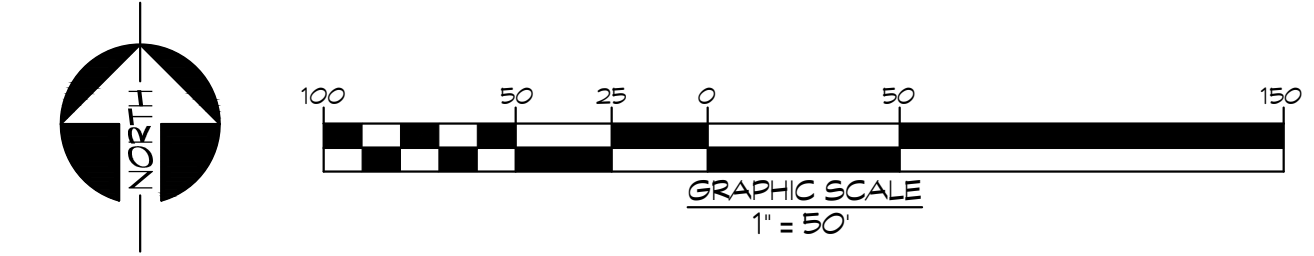
NOT FOR CONSTRUCTION FOR REVIEW ONLY

MATCHLINE - SEE SHEET LS1.03

MATCHLINE - SEE SHEET LS1.02



MATCHLINE - SEE SHEET LS1.01



### TYPICAL LOT PLANTING DETAIL

FOUNDATION PLANTINGS CONSISTING OF EVERGREEN SHRUBS SHALL BE INSTALLED ALONG THE ENTIRE FOUNDATION WALL OF THE BUILDING. PLANT INSTALLATION SHALL BE A MINIMUM OF TWO (2) FEET IN HEIGHT AND PLANTED AT FOUR (4) FOOT INTERVALS.

(1) TREE PER 2000 SF OF LOT AREA

LOT PLANTING TYPE/SPECIES TO BE DETERMINED AT TIME OF INDIVIDUAL LOT CONSTRUCTION. AMOUNTS SHOWN HEREIN ARE BASED ON THE MINIMUM REQUIREMENTS SET FORTH IN THE TOWN OF KNIGHTDALE UDO SECTION 7.4.K. LOT PLANTING QUANTITIES ARE NOT INCLUDED IN THE CALCULATIONS SHOWN ON THESE PLANS.

ALL TREE SPECIES SHALL BE CHOSEN BASED ON THE TOWN'S APPROVED LIST AT THE TIME OF PLANTING.

---

### 20' WIDE TYPE B BUFFER TYPICAL PLANTING

(20) SHRUBS  
(3) CANOPY TREES  
(5) UNDERSTORY TREES

(TYP. 100' SECTION)

LANDSCAPE MATERIAL	
3 CANOPY TREES @ MIN. 2' GAL/8' HEIGHT AT PLANTING	
5 UNDERSTORY TREES @ MIN. 1.25' GAL/6' HEIGHT AT PLANTING	
9 SHRUBS @ MIN. 3' GAL/18' HT AT PLANTING	

- ### STREET TREE PLANTINGS (PER UDO 7.4.L)
- ALL DEVELOPMENT SHALL BE REQUIRED TO HAVE STREET TREES ALONG ALL PUBLIC RIGHTS-OF-WAY IN ACCORDANCE WITH THE ILLUSTRATIONS OF STREET CLASSIFICATION AND DESIGN FOUND IN SECTION 10.1.4 (A). STREET TREES ARE NOT REQUIRED ALONG PUBLIC RIGHTS-OF-WAY IN THE OPEN SPACE PRESERVE (OSP) ZONING DISTRICT.
  - THE SPECIES OF EVERY OTHER TREE ALONG A STREET FRONTAGE SHALL ALTERNATE IN ORDER TO MAXIMIZE SPECIES DIVERSITY.
  - STREET TREES SHALL BE CANOPY TREES AND SHALL BE INSTALLED AT A MINIMUM AVERAGE DISTANCE OF FORTY (40) FEET ON CENTER IN A PLANTING STRIP A MINIMUM OF FIVE (5) FEET IN WIDTH. WHERE OVERHEAD UTILITIES EXIST PRIOR TO DEVELOPMENT, UNDERSTORY TREES MAY BE SUBSTITUTED, AS APPROVED BY THE LAND USE ADMINISTRATOR. THE PLANTING STRIP SHALL BE LOCATED AS DETAILED BELOW.
    - TOWN OF KNIGHTDALE ROADWAYS, ON ROADWAYS UNDER TOWN OF KNIGHTDALE JURISDICTION, THE PLANTING STRIP SHALL BE LOCATED BETWEEN THE SIDEWALK AND ROADWAY.
    - NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROADWAYS, ON ROADWAYS UNDER NCDOT JURISDICTION, THE PLANTING STRIP SHALL BE LOCATED IN ACCORDANCE WITH APPLICABLE NCDOT SPECIFICATIONS.
  - STREET TREES SHALL BE PLACED AT LEAST TEN (10) FEET FROM LIGHT POLES AND TWELVE (12) FEET FROM ELECTRICAL TRANSFORMERS IN ORDER TO ALLOW THESE UTILITIES TO BE SAFELY SERVICED (UNDERSTORY TREES MAY BE PLACED WITHIN FIVE (5) FEET OF SUCH DEVICES).
  - STREET TREES SHALL BE DECIDUOUS HARDWOODS AND SHALL MEET THE CRITERIA SET FORTH IN SECTION 7.4 (C).
  - STREET TREE MAINTENANCE, STREET TREES SHALL BE MAINTAINED IN GOOD, TRIMMED, AND NEAT CONDITION, AND AT MATURITY SHOULD PROVIDE THIRTEEN AND ONE-HALF (13.5) FEET OF CLEARANCE TO ACCOMMODATE EMERGENCY RESPONSE VEHICLES.

- ### PROPOSED CANOPY TREE LEGEND:
- NYSSA SYLVATICA WILDFIRE (NS)
  - QUERCUS ROBUR (QR)
  - QUERCUS ALBA (QA)
  - CARPINUS BETULUS (CB)
  - ZELKOVA SERRATA (ZS)
  - ULMUS PARVIFOLIA (UP)
  - BLACK GUM
  - ENGLISH OAK
  - WHITE OAK
  - EUROPEAN HORNBEAM (GROWN SINGLE STEM)
  - JAPANESE ZELKOVA
  - CHINESE ELM
- ### PROPOSED UNDERSTORY TREE LEGEND:
- PRUNUS CAROLINIANA (PR)
  - MAGNOLIA VIRGINIANA (MV)
  - ILEX LATIFOLIA (L)
  - CHERRY LAUREL
  - SWEETBAY MAGNOLIA
  - LUSTERLEAF HOLLY
- ### PROPOSED SHRUB LEGEND:
- ILEX GLABRA (IG)
  - MYRICA CERIFERA (MC)
  - TERNSTROEMIA GYMNANTHERA (TG)
  - INKBERRY HOLLY
  - WAX MYRTLE
  - CLETHRA

- ### LEGEND
- PROPOSED LIGHT
  - NEUSE RIVER BUFFER BOUNDARY LINE
  - TREE PROTECTION FENCING
- ### HATCH LEGEND
- PUDE = PUBLIC DRAINAGE EASEMENT
  - PRDE = PRIVATE DRAINAGE EASEMENT
  - PRIVATE SCM MAINTENANCE & ACCESS EASMT
  - SEWER EASEMENT
  - TREE SAVE OR PRESERVED WOODED AREA
  - STREAM BUFFER
  - WETLANDS
  - WATER EASEMENT

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

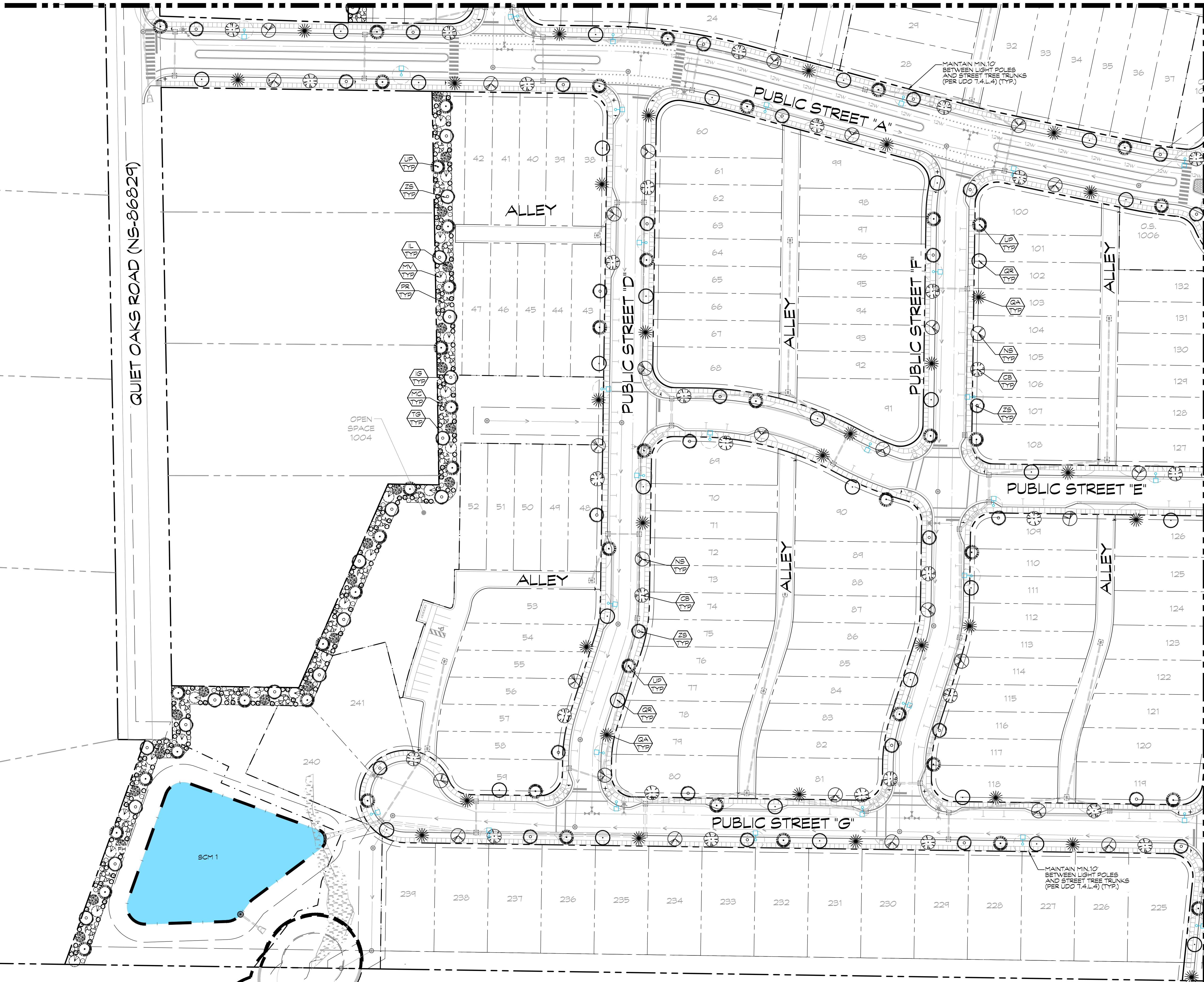
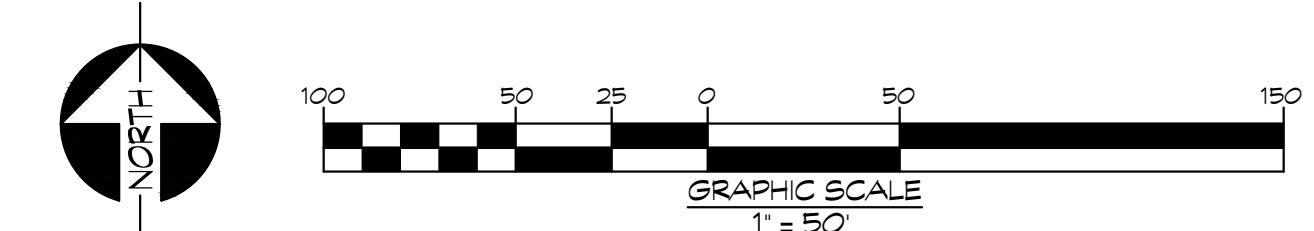
NOTE:  
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR CONSTRUCTION FOR REVIEW ONLY

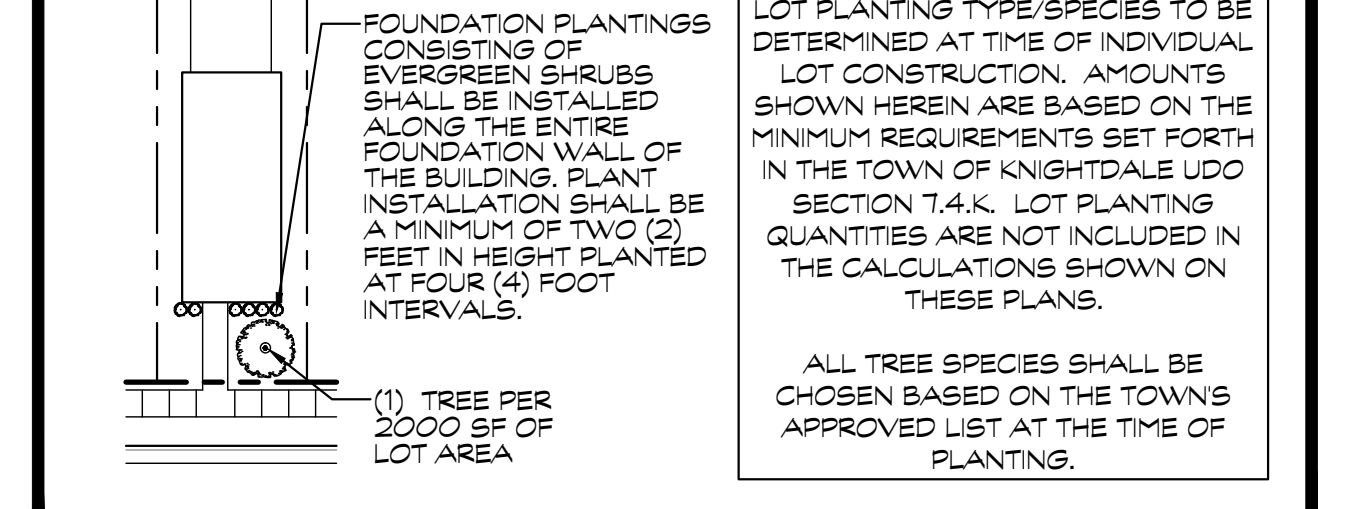


MATCHLINE - SEE SHEET LS1.04

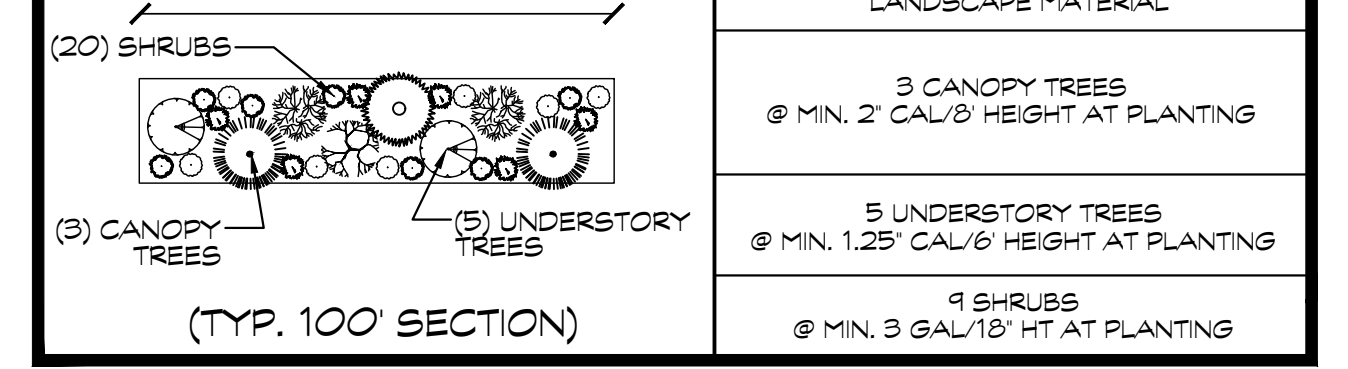




**TYPICAL LOT PLANTING DETAIL**



**20' WIDE TYPE B BUFFER TYPICAL PLANTING**



**STREET TREE PLANTINGS (PER UDO T.4.L.)**

- ALL DEVELOPMENT SHALL BE REQUIRED TO HAVE STREET TREES ALONG ALL PUBLIC RIGHTS-OF-WAY IN ACCORDANCE WITH THE ILLUSTRATIONS OF STREET CLASSIFICATION AND DESIGN FOUND IN SECTION 10.1.4 (A). STREET TREES ARE NOT REQUIRED ALONG PUBLIC RIGHTS-OF-WAY IN THE OPEN SPACE PRESERVE (OSP) ZONING DISTRICT.
- THE SPECIES OF EVERY OTHER TREE ALONG A STREET FRONTAGE SHALL ALTERNATE IN ORDER TO MAXIMIZE SPECIES DIVERSITY.
- STREET TREES SHALL BE CANOPY TREES AND SHALL BE INSTALLED AT A MINIMUM AVERAGE DISTANCE OF FORTY (40) FEET ON CENTER IN A PLANTING STRIP A MINIMUM OF FIVE (5) FEET IN WIDTH. WHERE OVERHEAD UTILITIES EXIST PRIOR TO DEVELOPMENT, UNDERSTORY TREES MAY BE SUBSTITUTED, AS APPROVED BY THE LAND USE ADMINISTRATOR, THE PLANTING STRIP SHALL BE LOCATED AS DETAILED BELOW.
  - TOWN OF KNIGHTDALE ROADWAYS, ON ROADWAYS UNDER TOWN OF KNIGHTDALE JURISDICTION, THE PLANTING STRIP SHALL BE LOCATED BETWEEN THE SIDEWALK AND ROADWAY.
  - NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROADWAYS, ON ROADWAYS UNDER NCDOT JURISDICTION, THE PLANTING STRIP SHALL BE LOCATED IN ACCORDANCE WITH APPLICABLE NCDOT SPECIFICATIONS.
- STREET TREES SHALL BE PLACED AT LEAST TEN (10) FEET FROM LIGHT POLES AND TWELVE (12) FEET FROM ELECTRICAL TRANSFORMERS IN ORDER TO ALLOW THESE UTILITIES TO BE SAFELY SERVICED (UNDERSTORY TREES MAY BE PLACED WITHIN FIVE (5) FEET OF SUCH DEVICES).
- STREET TREES SHALL BE DECIDUOUS HARDWOODS AND SHALL MEET THE CRITERIA SET FORTH IN SECTION 7.4 (C).
- STREET TREE MAINTENANCE: STREET TREES SHALL BE MAINTAINED IN GOOD, TRIMMED, AND NEAT CONDITION, AND AT MATURITY SHOULD PROVIDE THIRTEEN AND ONE-HALF (13.5) FEET OF CLEARANCE TO ACCOMMODATE EMERGENCY RESPONSE VEHICLES.

**PROPOSED CANOPY TREE LEGEND:**

- NYSSA SYLVATICA WILDFIRE (NS) \_\_\_\_\_ BLACK GUM
- QUERCUS ROBUR (QR) \_\_\_\_\_ ENGLISH OAK
- QUERCUS ALBA (QA) \_\_\_\_\_ WHITE OAK
- CARPINUS BETULUS (CB) \_\_\_\_\_ EUROPEAN HORNBEAM (GROWN SINGLE STEM)
- ZELKOVA SERRATA (ZS) \_\_\_\_\_ JAPANESE ZELKOVA
- ULMUS PARVIFOLIA (UP) \_\_\_\_\_ CHINESE ELM

**PROPOSED UNDERSTORY TREE LEGEND:**

- PRUNUS CAROLINIANA (PR) \_\_\_\_\_ CHERRY LAUREL
- MAGNOLIA VIRGINIANA (MV) \_\_\_\_\_ SWEETBAY MAGNOLIA
- ILEX LATIFOLIA (IL) \_\_\_\_\_ LUSTERLEAF HOLLY

**PROPOSED SHRUB LEGEND:**

- ILEX GLABRA (IG) \_\_\_\_\_ INKBERRY HOLLY
- MYRICA CERIFERA (MC) \_\_\_\_\_ WAX MYRTLE
- TERNSTROEMIA GYMNATHERA (TG) \_\_\_\_\_ CLEYERA

**LEGEND**

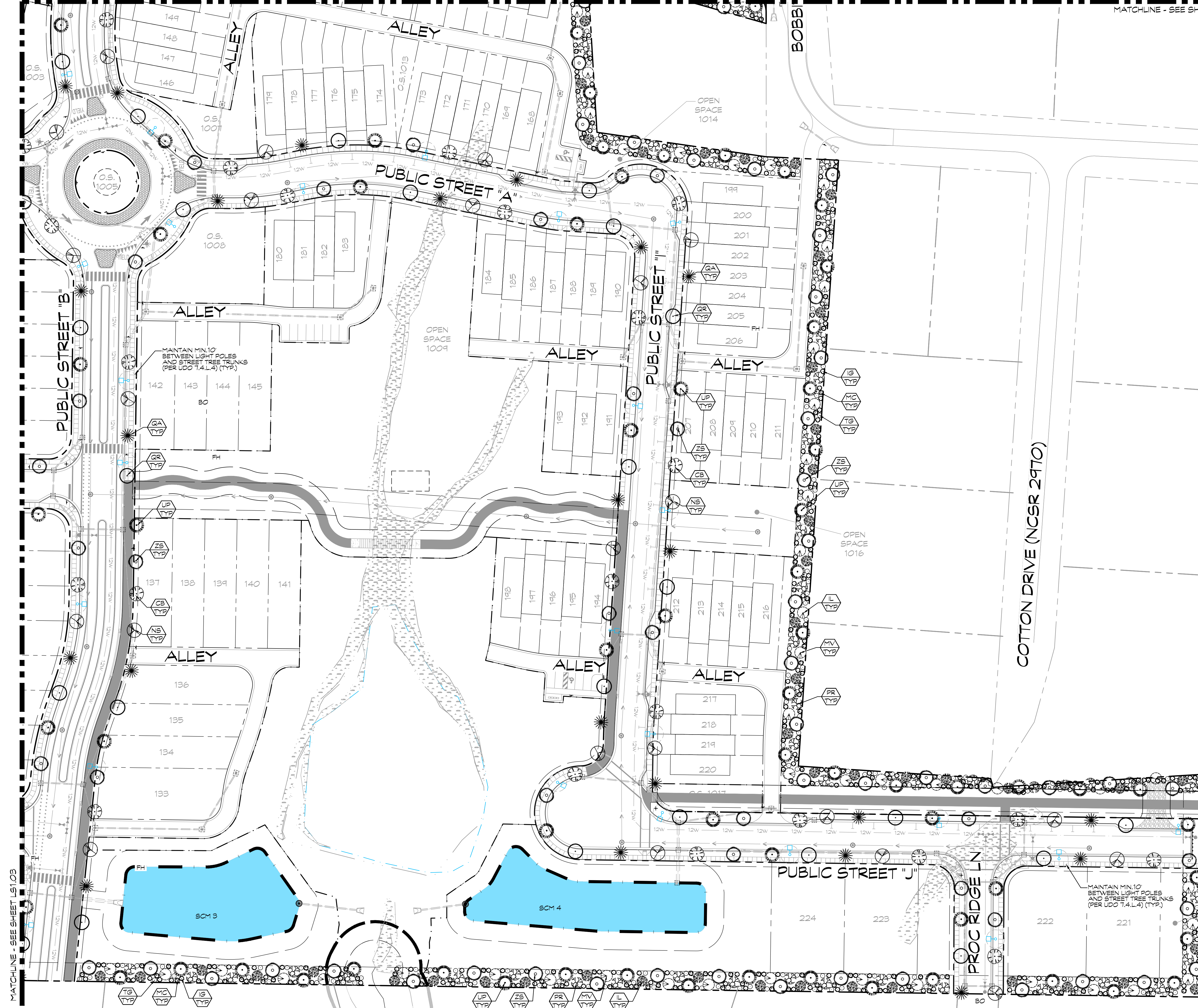
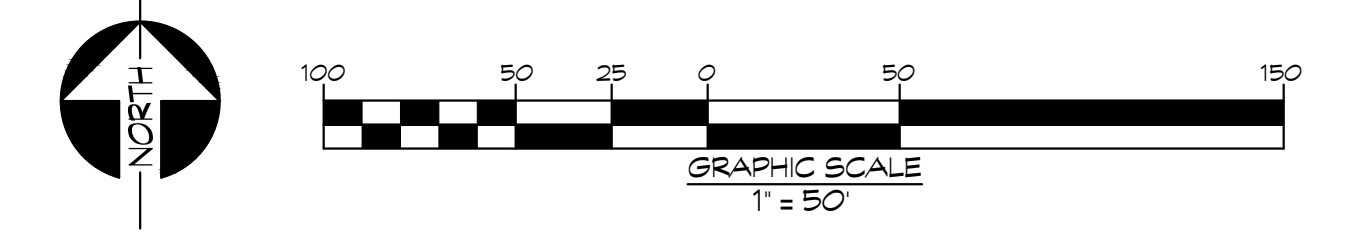
- PROPOSED LIGHT
- NEUSE RIVER BUFFER BOUNDARY LINE
- TREE PROTECTION FENCING
- PUDE = PUBLIC DRAINAGE EASEMENT
- PRDE = PRIVATE DRAINAGE EASEMENT
- PRIVATE SCM MAINTENANCE & ACCESS ESMT
- SEWER EASEMENT
- TREE SAVE OR PRESERVED WOODED AREA
- STREAM BUFFER
- WETLANDS
- WATER EASEMENT

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

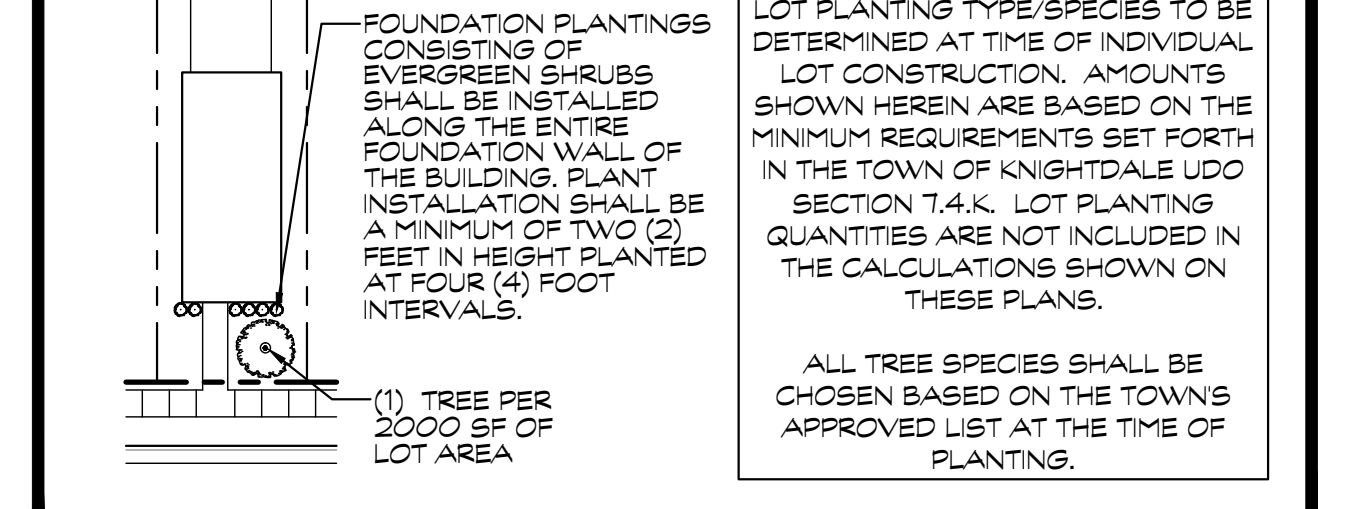
NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

NOT FOR CONSTRUCTION FOR REVIEW ONLY

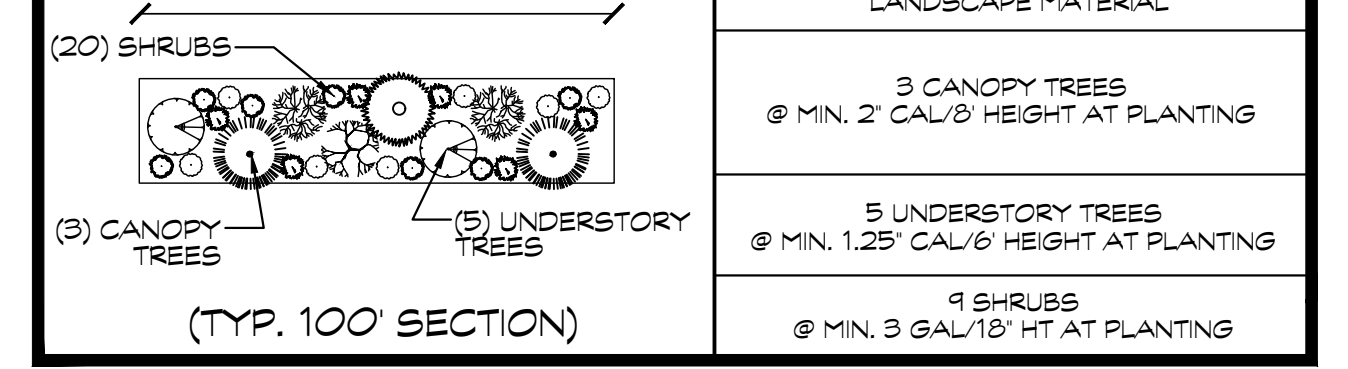




TYPICAL LOT PLANTING DETAIL



20' WIDE TYPE B BUFFER TYPICAL PLANTING



STREET TREE PLANTINGS (PER UDO 7.4.L)

- 1. ALL DEVELOPMENT SHALL BE REQUIRED TO HAVE STREET TREES ALONG ALL PUBLIC RIGHTS-OF-WAY...
2. THE SPECIES OF EVERY OTHER TREE ALONG A STREET FRONTAGE SHALL ALTERNATE IN ORDER TO MAXIMIZE SPECIES DIVERSITY.
3. STREET TREES SHALL BE CANOPY TREES AND SHALL BE INSTALLED AT A MINIMUM AVERAGE DISTANCE OF FORTY (40) FEET ON CENTER...
4. STREET TREES SHALL BE PLACED AT LEAST TEN (10) FEET FROM LIGHT POLES AND TWELVE (12) FEET FROM ELECTRICAL TRANSFORMERS...
5. STREET TREES SHALL BE DECIDUOUS HARDWOODS AND SHALL MEET THE CRITERIA SET FORTH IN SECTION 7.4 (C).
6. STREET TREE MAINTENANCE, STREET TREES SHALL BE MAINTAINED IN GOOD, TRIMMED, AND NEAT CONDITION...

PROPOSED CANOPY TREE LEGEND:

- NYSSA SYLVATICA WILDFIRE (NS) BLACK GUM
QUERCUS ROBUR (QR) ENGLISH OAK
QUERCUS ALBA (QA) WHITE OAK
CARPINUS BETULUS (CB) EUROPEAN HORNBEAM (GROWN SINGLE STEM)
ZELKOVA SERRATA (ZS) JAPANESE ZELKOVA
ULMUS PARVIFOLIA (UP) CHINESE ELM

PROPOSED UNDERSTORY TREE LEGEND:

- PRUNUS CAROLINIANA (PR) CHERRY LAUREL
MAGNOLIA VIRGINIANA (MV) SWEETBAY MAGNOLIA
ILEX LATIFOLIA (L) LUSTERLEAF HOLLY

PROPOSED SHRUB LEGEND:

- ILEX GLABRA (IG) INKBERRY HOLLY
MYRICA CERIFERA (MC) WAX MYRTLE
TERNSTROEMIA GYMNATHERA (TG) CLEYERA

LEGEND

- PROPOSED LIGHT
NEUSE RIVER BUFFER BOUNDARY LINE
TREE PROTECTION FENCING
PUDE = PUBLIC DRAINAGE EASEMENT
PRDE = PRIVATE DRAINAGE EASEMENT
PRIVATE SCM MAINTENANCE & ACCESS ESMT
SEWER EASEMENT
TREE SAVE OR PRESERVED WOODED AREA
STREAM BUFFER
WETLANDS
WATER EASEMENT

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

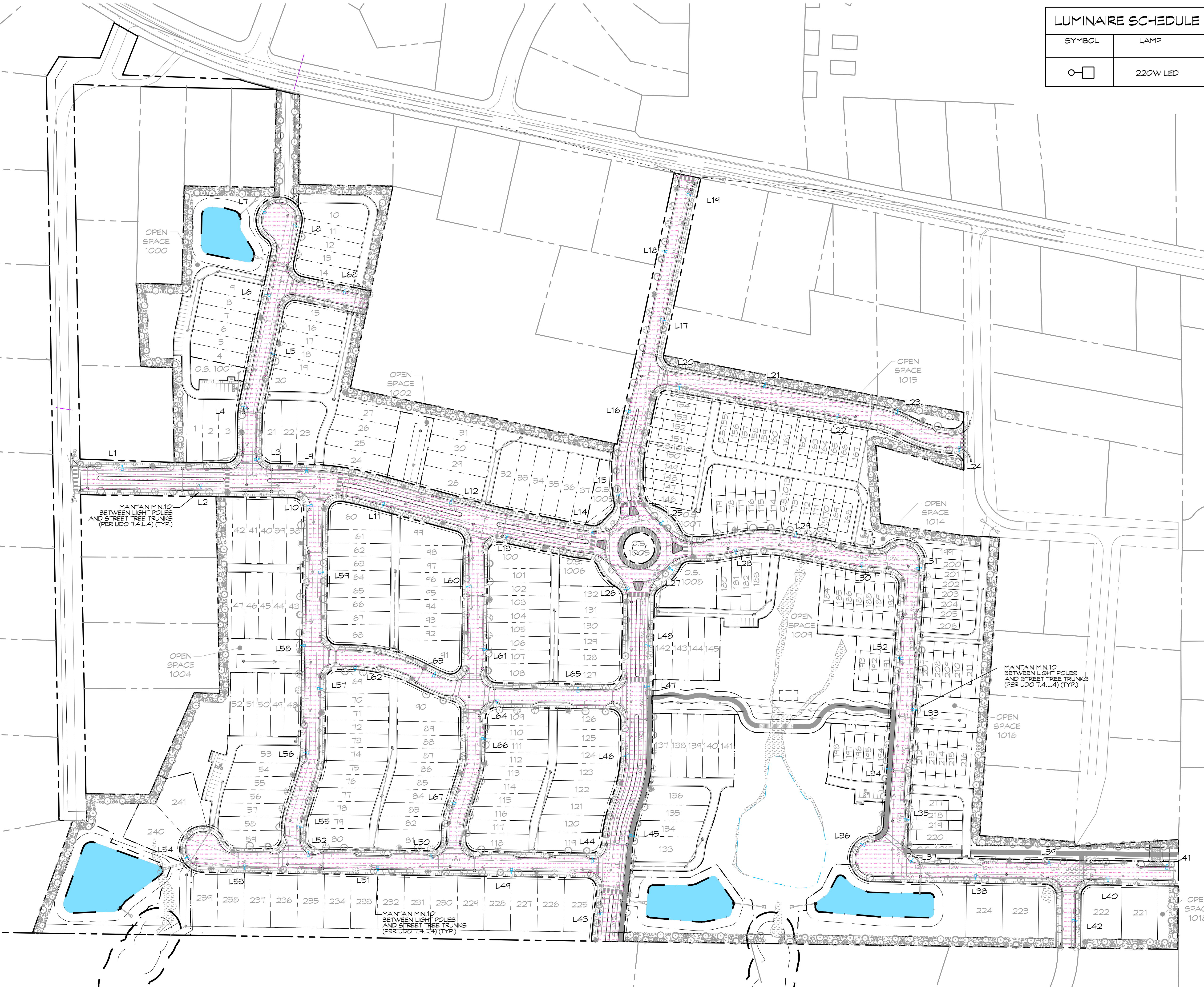
NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

NOT FOR CONSTRUCTION FOR REVIEW ONLY

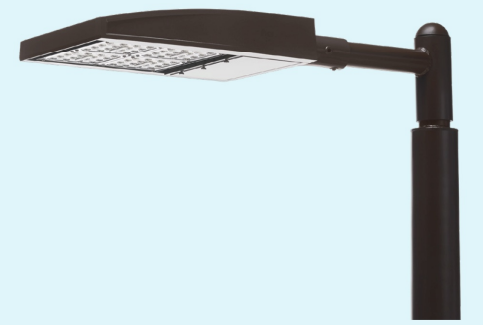
MATCHLINE - SEE SHEET LS1.03



LUMINAIRE SCHEDULE						
SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	QUANTITY	LUMENS
	220W LED	COOPER LIGHTING - STREETWORKS, GAN-AE-04-LED-U-T4W	ELECTRONIC	25' BLACK POLE, UNLESS OTHERWISE NOTED	68	18,500



### Outdoor Lighting



**SHOBOX LED**  
(Meets Dark Sky Criteria)

LED (Light-emitting diode)	150   220   420   530 watts
Mounting height	25', 30', 35'
Color	Black   Bronze   Gray   White
Pole	Fiberglass (1 or 2 fixtures per pole) Decorative tapered metal Decorative square metal
Applications	Neighborhoods Roadways Shopping centers

Light source: LED (white)  
 Wattage: 150 | 220 | 420 | 530 watts  
 Light pattern: IES Type V | Type IV (forward throw) | Type III  
 IESNA cutoff classification: Full-cutoff  
 BUG rating: 150W Type III = B2U03 / Type IV = B3U04 / Type V = B5U03  
 220W Type III = B2U04 / Type IV = B3U04 / Type V = B4U03  
 420W Type IV = B3U05 / Type V = B5U05  
 530W Type IV = B3U05 / Type V = B5U05  
 Color temperature: 4,000K

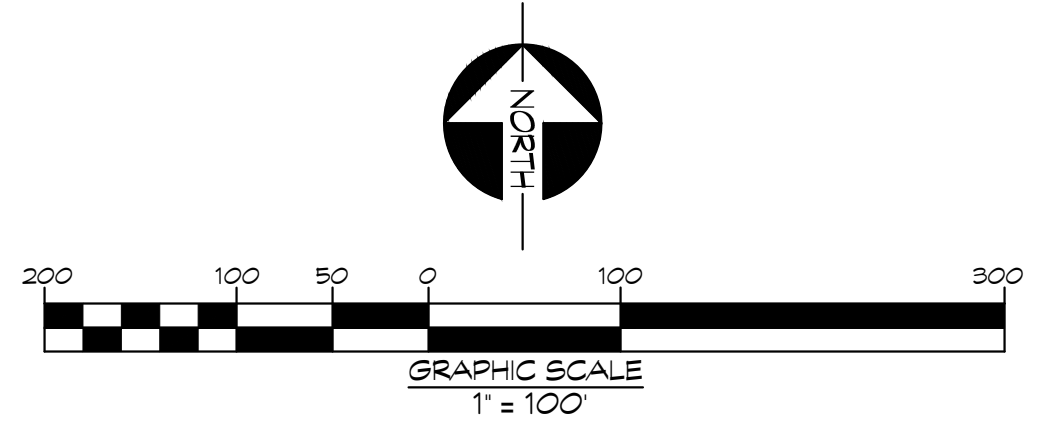
POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Round tapered decorative metal*	35'	Black, Bronze
Decorative square metal*	25' and 30'	Black, Bronze, Gray, White
Fiberglass	25' and 30'	Black (1 or 2 fixtures per pole) Gray (1 or 2 fixtures per pole)

FEATURES	BENEFITS
Turnkey operation	Provides hassle-free installation and service
Little or no installation cost	Frees up capital for other projects
Design services by lighting professionals included	Meets industry standards and lighting ordinances
Maintenance, electricity & warranty included	Eliminates high and unexpected repair bills
One low monthly cost on your electric bill	Convenience and savings for you

For additional information, email us at [ODL.Carolinas@duke-energy.com](mailto:ODL.Carolinas@duke-energy.com).

**DUKE ENERGY**  
PROGRESS  
BUILDING A SMARTER ENERGY FUTURE™

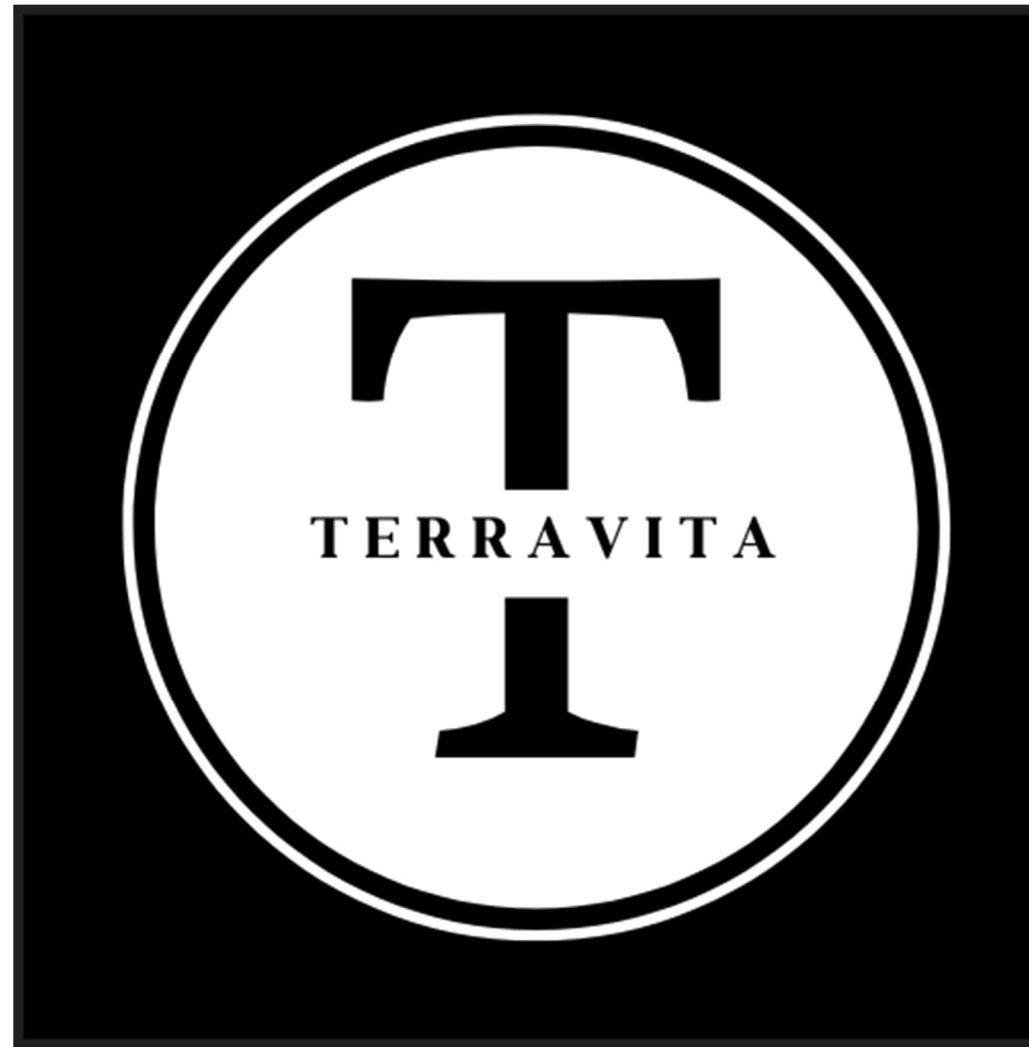
©2022 Duke Energy Corporation. 222298 DEP 9/22



PLAN IS PRELIMINARY IN NATURE AND SUBJECT TO CHANGE PENDING REVISIONS TO THE FINAL DESIGN DURING CONSTRUCTION PLAN REVIEWS.

NOT FOR CONSTRUCTION FOR REVIEW ONLY





## **PLANNED UNIT DEVELOPMENT**

**Town of Knightdale N. Carolina**

**Case Number ZMA-4-23**

**November 25, 2024**



# TERRAVITA

PLANNED UNIT DEVELOPMENT ZMA-4-23  
0 Buffalo Road Knightdale, North Carolina

## OWNERS

SITE INVESTMENTS LLC  
933 OLD KNIGHT ROAD KNIGHTDALE, NC 27544  
PIN 1755863977

12609 RICHMOND LLC  
4601 SIX FORKS RD, SUITE 400 RALEIGH NC 27609  
PIN 1775787080

## DESIGN TEAM

Entitlement Preservation Group  
Charles R Walker III, Principal  
*Master Planning/ Zoning*

Priest, Craven and Associates, Inc  
Tommy Craven, President  
*Civil Engineering / Surveying*

Soil and Environmental Consultants  
Steven Ball  
*Wetland, Soils, and Buffer Consultants*

DRMP  
Chase Smith  
*Traffic Engineering*



# Table of Contents

<b>1 Vision and Intent</b>			
<i>Community Vision and Community Intent</i>	4		
<b>2 KnightdaleNext 2035</b>			
<i>Comprehensive Plan Consistency</i>	5		
<b>3 Existing Conditions</b>			
<i>Vicinity Map</i>	7		
<i>Current Zoning</i>	9		
<i>Topography and Boundary</i>	10		
<i>Vegetation</i>	11		
<i>Preliminary Wetland and Stream Map</i>	12		
<b>4 Master Plan</b>			
<i>Overall Master Plan</i>	13		
<b>5 Infrastructure</b>			
<i>Street Plan</i>	14		
<i>Pedestrian Circulation Plan</i>	15		
<i>Street Sections</i>	16		
<i>Preliminary Stormwater Plan</i>	18		
<i>Preliminary Utility Plan</i>	19		
<i>TIA Recommendations</i>	20		
<b>6 Amenities</b>			
<i>Site Programming</i>		22	
<i>Open Space Plan</i>		23	
<b>7 Landscape</b>			
<i>Preliminary Landscape Plan</i>		24	
<i>Landscape Buffers</i>		25	
<b>8 Architectural Design Standards</b>			
<i>Single-Family Detached</i>		26	
<i>Single-Family Attached (Townhomes)</i>		29	
<i>Architectural Design Standards</i>		30	
<b>9 Site Development Allowances</b>			
<i>Proposed Zoning Allowances</i>		33	
<b>10 Neighborhood Meeting</b>			
<i>Neighborhood Meeting Information</i>		34	
<i>Discussion Points</i>		35	
<i>Attendance Record</i>		38	



## Community Vision and Intent

Terravita can be another exceptional addition toward the trend of planned communities that are being created within Town limits under the UDO Guidelines. Within its limits, it will provide a mixture of housing styles from two and three-story townhomes to several examples of single-family detached opportunities. Its overall development will include both active and passive open spaces, small play areas spread throughout the neighborhood as well as public art locations. We also embrace the existing developments around the Project by extending the chance to live within the Town and extending the area's road network.

Section 2.4.C. of the Town of Knightdale Unified Development Ordinance states that, “the Planned Unit Development Overlay District process encourages creativity and innovation in the design of developments through a master planning process that allows for flexibility from underlying zoning as approved by the Town Council.”

Section 12.2.G.3.g.ii states that “approval of a development through a Planned Unit Development Overlay District rezoning, including modifications to the requirements of this UDO is a privilege and will be considered by the Town only in direct response to the accrual of tangible benefits from the planned unit development to the Town of the neighborhood in which it would be located.”

Toward those goals, we offer the following:

- Exceptional passive and active recreational amenities spread throughout the site.
- Environmental protection and enhancement, landscape and architectural detailing, sense of place, and the mixture of housing opportunities.
- Conservation of natural features of the site.

Terravita intends to meet the Planned Unit Development Overlay District requirements per Town of Knightdale UDO Section 12.2.G.3.g.ii.a. through the following findings:

### *Comprehensive Plan*

The design of Terravita responds to the growth framework, greenway trails, and vision & intent laid out in the KnightdaleNext2035 comprehensive plan. It will be the next step of the expanding Planned Unit Developments in the Area such as Haywood Green, Weldon, and Brio.

### *Impact on Other Properties*

Terravita is proposed as a mixed-style residential community. Currently, the adjacent land uses consist of older existing single-family residences, mostly developed in the '60s and 70's to the North, East, and West. To the South is a larger-lot County-designed subdivision and the newly approved Weldon. The Project will use and help to provide increased vehicular connectivity and access to extend the public greenway trail.

### *Impact on Public Facilities & Resources*

Terravita will provide adequate utilities, road access, drainage, and other necessary facilities to properly serve the new residents of the Project. It will connect to water and sewer by extending the utilities currently under construction at Weldon. The Owners of the Project in a joint venture with the developers of Weldon and the City of Raleigh are committed to improving the existing system as required to serve both facilities.

### *Archaeological, Historical, or Cultural Impact*

The design of Terravita maintains the majority of the riparian buffers on the site as well as the existing pond which will become an open space and recreation focal point. There are no archaeological or historical structures, on site.

### *Public Welfare*

Terravita will maintain the majority of the riparian buffers and wetlands that are onsite. The Project will also improve pedestrian connectivity and expand open space.

### *Parking & Traffic*

Terravita will be a pedestrian-friendly community. The mixture of housing types is mostly rear-loaded and has on-street parking areas included in the neighborhood road network. As required by the Code, sight distance triangles will be protected. All street radii are adequate for emergency vehicle access. The greenway trail and sidewalk connections will be clear and will provide a safe pedestrian connection through the Project.

### *Buffering*

A 20' Type B Buffer yard is proposed along the perimeter of Terravita except for its common boundary with Weldon which will provide visual privacy between the older subdivisions that currently do not have perimeter buffers. Within the Project, appropriate riparian and wetland buffers will be protected.



# Comprehensive Plan Consistency

## Growth Framework

This application is to propose a rezoning from RR1 to RMX-PUD. If approved, it would advance the goals as described in the KnightdaleNext2035 Comprehensive Plan. Terravita is located near a Neighborhood Node but currently within the Rural Planning area as identified in the Growth Framework Plan. Changing the future land use from Rural Living to a more dense walkable neighborhood would support the neighborhood node recently approved in Weldon. Higher-density projects with extensive open space create more walkable, pedestrian-friendly neighborhoods.

The KnightdaleNext2035 Comprehensive Plan uses a ‘playbook approach’ to guide future growth and development. The Terravita application aligns with the Playbook approach to guiding principles, and is listed as a “Growth Reserve Area”.

As designed, Terravita will correspond to Knightdale’s Guiding Principles of natural environment, infill development, alternative design patterns, parks and recreation, transportation, compact development patterns, community design, economic vitality, and great neighborhoods with expanded home choices.

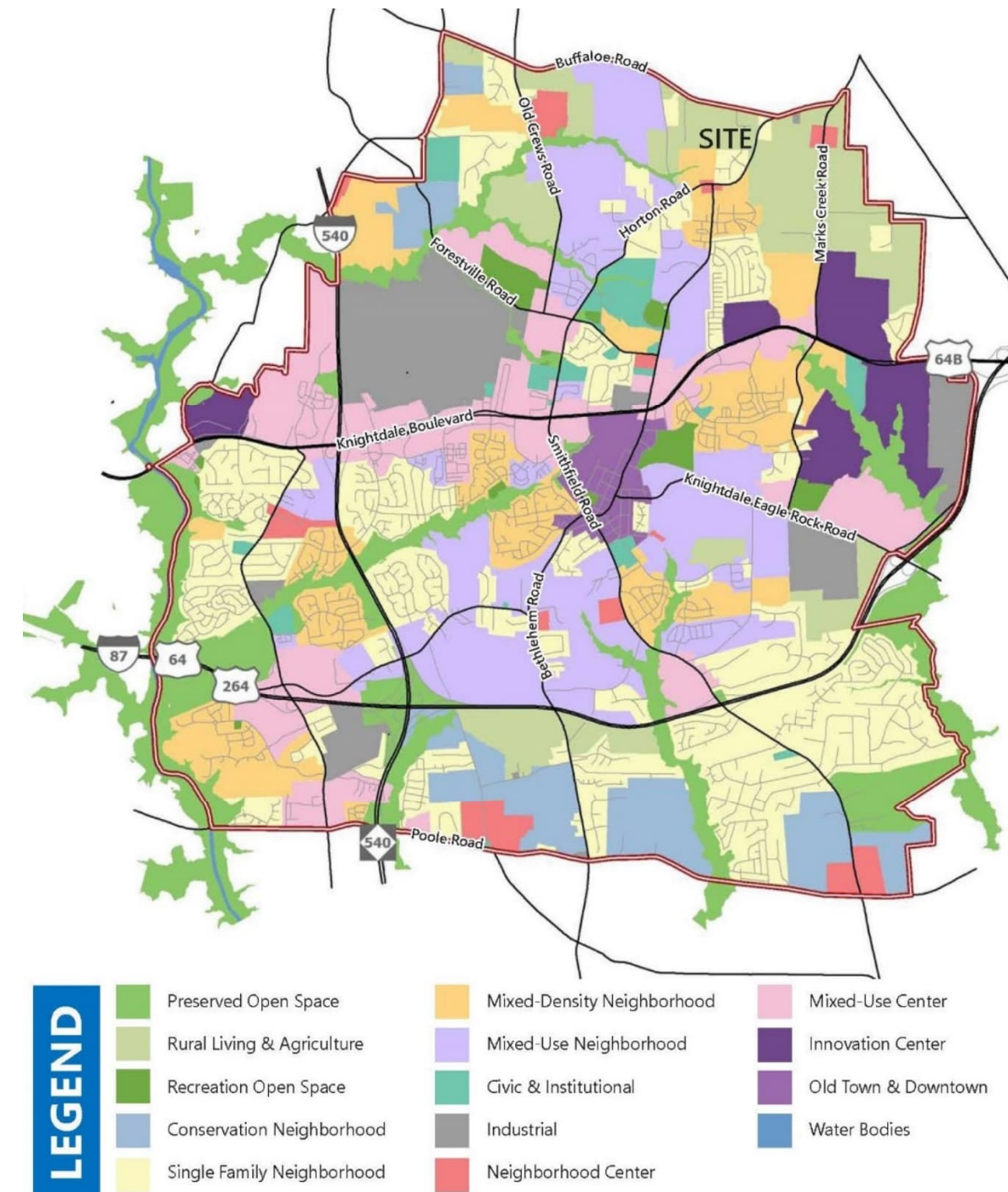
Terravita pedestrian opportunities honor Knightdale’s Vision of neighborhoods throughout the Town providing a sense of connection. There are sidewalks proposed on both sides of the streets and connect to private open spaces as well as the Greenway. A public Greenway will be extended from Weldon along the main avenue, through the open space park near the existing pond, and finally ending on the Project’s eastern boundary. This type of design aligns with the Trails and Greenways plan found in the comprehensive plan.

The Growth Framework plan calls for all development proposals within Rural Planning areas should include public input. Terravita held an online neighborhood meeting on July 25, 2024, and presented the application. After sharing the information and answering their questions, the overall feeling was this could be a positive addition to the area.

Neighborhood nodes identify recommended retail locations for neighborhoods. While Terravita does not have the required major street frontage to support retail use, its addition to the area will help the proposed retail uses thrive in Weldon. The plan for

Weldon has a commercial outparcel that will be easily accessible to the surrounding neighborhoods, including Terravita, yet small enough to meet the intended scale proposed by KnightdaleNext2035.

The proposed plan for Terravita will also provide a mixture of housing opportunities to promote a diverse and walkable community.



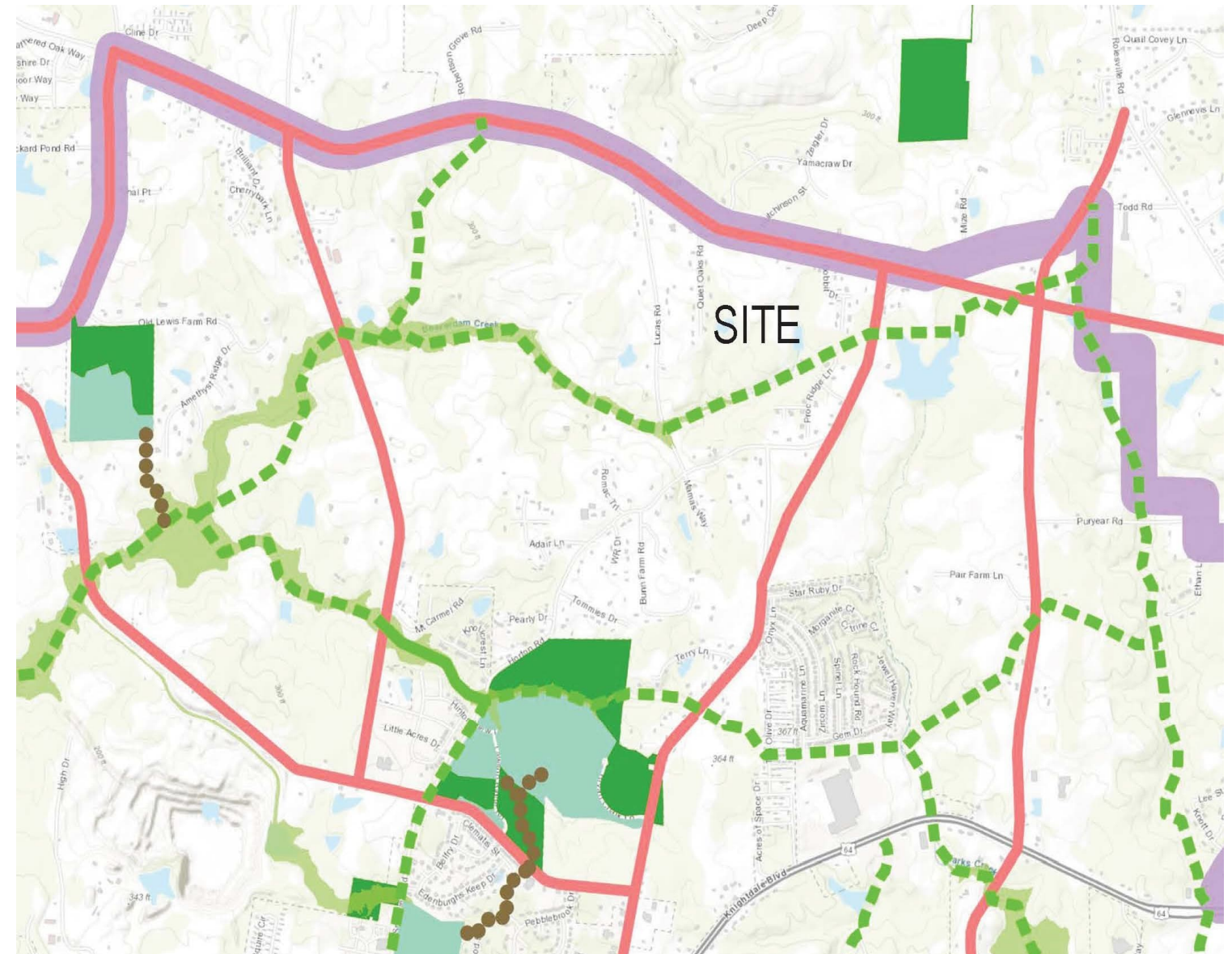


# Comprehensive Plan Consistency

## Trails & Greenways

The proposed design for Terravita creates a connected network of open spaces with passive and active recreational amenities while enhancing existing natural features. Central Park will mainly focus on the existing pond and the addition of public art space. The plan also provides safe and convenient pedestrian and bicycle access for nearby residents through the use of sidewalks and a greenway trail that aligns with the KnightdaleNext2035 Comprehensive Plan.

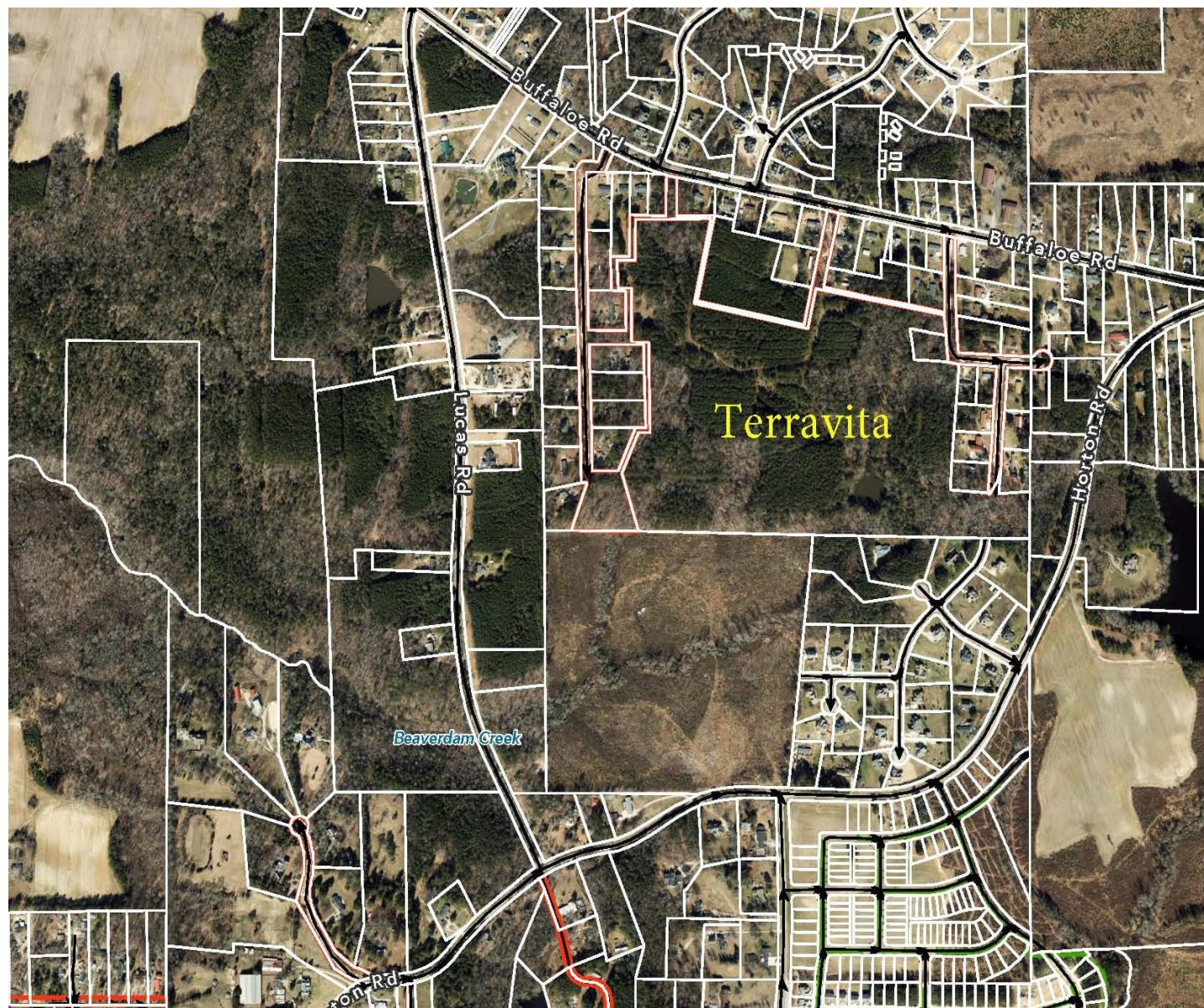
The proposed greenway trail will continue from Weldon, north along the main street, move along the front courtyards, into Central Park, and finally extend to the eastern boundary of the Project. It will be a combination of trails through natural areas as well as a more urban setting.





## Vicinity Map / Aerial

While both tracts that make up the area of the Project have the same address, 0 Buffalo Road the PINS are:  
Site Investments LLC 1755863977 and 12609 Richmond LLC 1775787080



### Legal Description Lot 1

Beginning at a *Iron Pipe Found* having coordinates of N:756362.67, E:2157145.30; thence with a bearing of N 19°41'31" E a distance of 263.86 feet to a *Iron pipe found*; thence with a bearing of N 89°30'18" W a distance of 30.03 feet to a *Iron pipe found*; thence with a bearing of N 00°49'32" W a distance of 184.39 feet to a *Iron pipe found*; thence with a bearing of N 01°04'28" W a distance of 208.87 feet to a *Iron pipe found*; thence with a bearing of N 01°01'26" W a distance of 208.62 feet to a *Iron Pipe Found*; thence with a bearing of N 01°00'23" W a distance of 208.88 feet to a *Iron pipe found*; thence with a bearing of N 01°02'18" W a distance of 206.67 feet to a *Iron pipe found*; thence with a bearing of N 00°49'17" W a distance of 210.80 feet to a *Iron pipe found*; thence with a bearing of N 01°00'03" W a distance of 209.44 feet to a *Iron Pipe Found*; thence with a bearing of N 01°00'54" W a distance of 208.64 feet to a *IRON PIPE SET*; thence with a bearing of N 31°50'49" E a distance of 52.05 feet to a *Iron pipe found*; thence with a bearing of S 88°24'02" E a distance of 91.11 feet to a *Iron pipe found*; thence with a bearing of N 21°55'14" E a distance of 83.86 feet to a *Iron pipe found*; thence with a bearing of S 60°36'45" E a distance of 60.54 feet to a *IRON PIPE SET*; thence with a bearing of S 21°43'40" W a distance of 92.11 feet to a *IRON PIPE SET*; thence with a bearing of S 87°49'25" E a distance of 256.60 feet to a *IRON PIPE SET*; thence with a bearing of S 74°24'51" E a distance of 82.66 feet to a *COMPUTED CORNER*; thence with a bearing of N 88°57'29" W a distance of 95.25 feet to a *Iron pipe found*; thence with a bearing of N 88°50'44" W a distance of 99.76 feet to a *Iron pipe found*; thence with a bearing of N 88°45'34" W a distance of 100.05 feet to a *Iron pipe found*; thence with a bearing of N 88°01'01" W a distance of 149.21 feet to a *IRON PIPE SET*; thence with a bearing of S 00°57'52" E a distance of 303.97 feet to a *Iron pipe found*; thence with a bearing of S 00°55'42" E a distance of 316.42 feet to a *Iron pipe found*; thence with a bearing of S 01°01'25" E a distance of 208.98 feet to a *Iron pipe found*; thence with a bearing of S 87°58'25" E a distance of 208.73 feet to a *Iron Pipe Found*; thence with a bearing of N 00°59'23" W a distance of 209.80 feet to a *IRON PIPE SET*; thence with a bearing of N 88°11'57" W a distance of 71.17 feet to a *IRON PIPE SET*; thence with a bearing of N 02°32'18" W a distance of 184.24 feet to a *Iron pipe found nail*; thence with a bearing of S 88°41'42" E a distance of 100.03 feet to a *Iron Pipe Found*; thence with a bearing of N 01°17'10" E a distance of 218.00 feet to a *Iron pipe found*; thence with a bearing of S 88°57'36" E a distance of 199.86 feet to a *Iron pipe found*; thence with a bearing of N 01°08'29" E a distance of 216.36 feet to a *Iron pipe found*; thence with a bearing of S 76°54'00" E a distance of 49.17 feet to a *IRON PIPE SET*; thence with a bearing of S 77°51'31" E a distance of 3.43 feet to a *IRON PIPE SET*; thence with a bearing of S 00°39'25" W a distance of 197.76 feet to a *COMPUTED CORNER*; thence with a bearing of S 89°03'55" E a distance of 208.60 feet to a *iron Pipe Set*; thence with a bearing of S 11°53'38" W a distance of 457.04 feet to a *Iron Pipe Found*; thence with a bearing of S 78°08'24" E a distance of 602.89 feet to a *Iron Pipe Found*; thence with a bearing of N 11°53'26" E a distance of 613.26 feet to a *COMPUTED CORNER*; thence with a bearing of S 78°48'54" E a distance of 60.00 feet to a *IRON PIPE SET*; thence with a bearing of S 11°53'26" W a distance of 400.86 feet to a *COMPUTED CORNER*; thence with a bearing of S 79°17'03" E a distance of 676.13 feet to a *IRON PIPE SET*; thence with a bearing of N 00°02'04" W a distance of 401.32 feet to a *COMPUTED CORNER*; thence with a bearing of S 00°15'14" E a distance of 302.71 feet to a *Iron pipe found*; thence with a bearing of S 00°47'19" W a distance of 104.52 feet to a *Iron pipe found*; thence with a bearing of S 04°29'34" E a distance of 199.07 feet to a *IRON PIPE SET*; thence with a bearing of S 86°08'02" E a distance of 401.19 feet to a *Iron pipe found*; thence with a bearing of S 00°01'46" E a distance of 59.39 feet to a *Iron pipe found*; thence with a bearing of N 86°19'29" W a distance of 126.73 feet to a *Iron pipe found*; thence with a bearing of S 03°45'15" W a distance of 223.79 feet to a *Iron pipe found*; thence with a bearing of S 03°45'45" W a distance of 202.18 feet to a *Iron pipe found*; thence with a bearing of S 03°42'52" W a distance of 88.30 feet to a *Iron pipe found*; thence with a bearing of S 15°11'51" W a distance of 84.03 feet to a *Iron Pipe Found*; thence with a bearing of S 32°14'27" W a distance of 83.98 feet to a *Iron pipe found*; thence with a bearing of N 15°42'58" W a distance of 9.88 feet to a *Iron pipe found*; thence with a bearing of N 03°46'21" E a distance of 155.35 feet to a *Iron pipe found*; thence with a bearing of N 03°46'09" E a distance of 155.44 feet to a *Iron pipe found*; thence with a bearing of N 03°45'36" E a distance of 142.82 feet to a *Iron pipe found*; thence with a bearing of N 03°49'26" E a distance of 207.61 feet to a *Iron pipe found*; thence with a bearing of N 86°20'04" W a distance of 105.18 feet to a *Iron pipe found bent*; thence with a bearing of N 86°05'27" W a distance of 104.82 feet to a *Iron pipe found*; thence with a bearing of N 87°14'04" W a distance of 78.83 feet to a *IRON PIPE SET*; thence with a bearing of N 00°02'04" W a distance of 145.20 feet to a *IRON PIPE SET*; thence with a bearing of N 00°02'04" W a distance of 107.37 feet to a *COMPUTED CORNER*; thence with a bearing of N 79°17'09" W a distance of 720.44 feet to a *COMPUTED CORNER*; thence with a bearing of S 11°54'02" W a distance of 212.27 feet to a *COMPUTED CORNER*; thence with a bearing of N 78°08'14" W a distance of 642.82 feet to a *COMPUTED CORNER*; thence with a bearing of N 11°54'02" E a distance of 452.84 feet to a



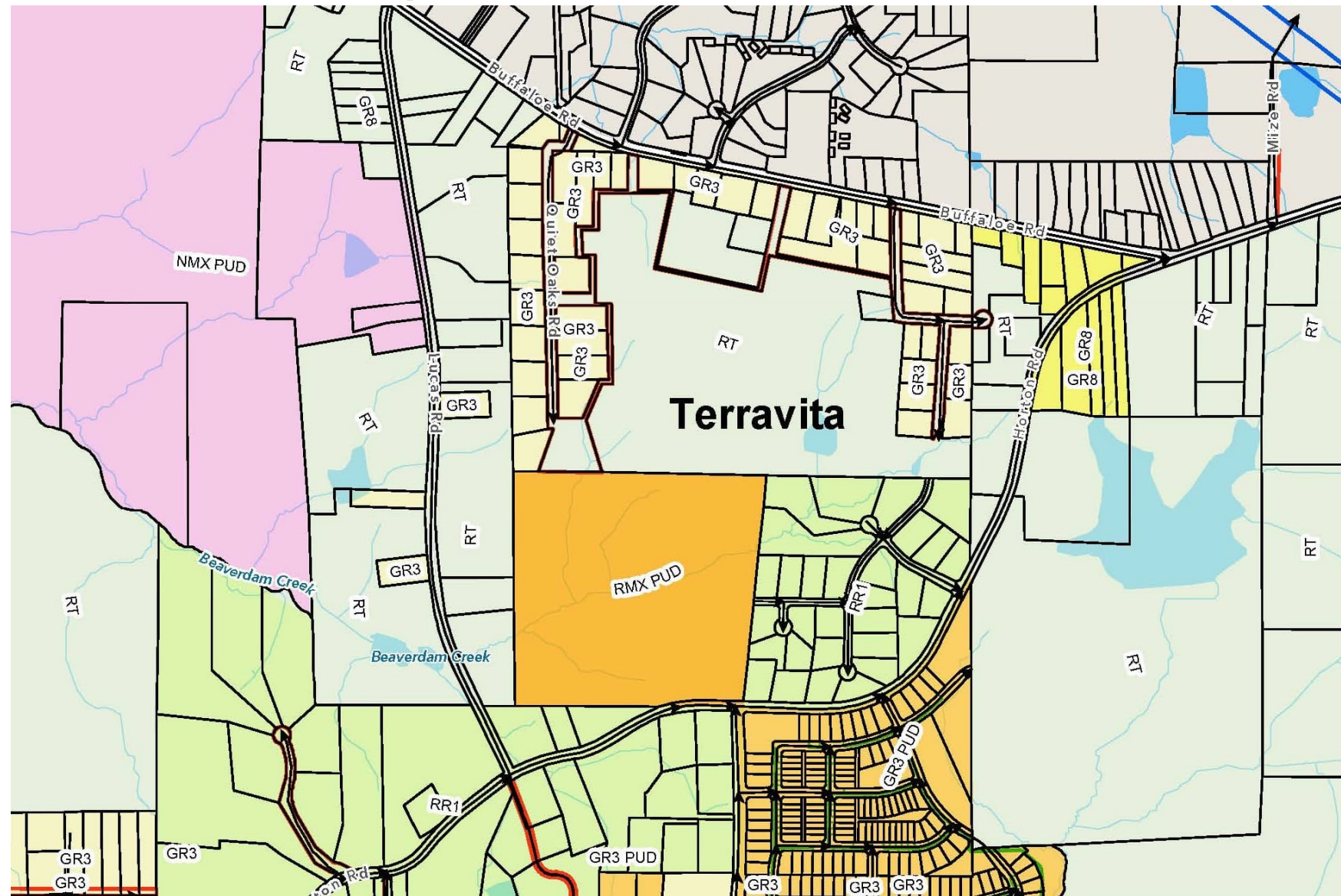
*COMPUTED CORNER*; thence with a bearing of **S 89°02'12" W** a distance of **236.19** feet to a *COMPUTED CORNER*; thence with a bearing of **N 88°55'38" W** a distance of **181.48** feet to a *COMPUTED CORNER*; thence with a bearing of **S 01°15'58" W** a distance of **217.93** feet to a *COMPUTED CORNER*; thence with a bearing of **N 88°43'38" W** a distance of **98.78** feet to a *COMPUTED CORNER*; thence with a bearing of **S 02°34'12" E** a distance of **144.89** feet to a *COMPUTED CORNER*; thence with a bearing of **S 87°53'39" E** a distance of **71.47** feet to a *COMPUTED CORNER*; thence with a bearing of **S 00°38'08" E** a distance of **283.44** feet to a *COMPUTED CORNER*; thence with a bearing of **S 89°02'55" E** a distance of **93.35** feet to a *COMPUTED CORNER*; thence with a bearing of **S 00°58'41" E** a distance of **474.63** feet to a *COMPUTED CORNER*; thence with a bearing of **N 89°10'15" W** a distance of **63.76** feet to a *COMPUTED CORNER*; thence with a bearing of **S 23°37'09" W** a distance of **232.55** feet to a *COMPUTED CORNER*; thence with a bearing of **S 17°22'47" E** a distance of **317.94** feet to a *COMPUTED CORNER*; thence with a bearing of **N 89°09'51" W** a distance of **372.29** feet to a *Iron Pipe Found*, which is the point of beginning, containing approximately **437,159.52** square feet or **10.0358** acres, as shown on a survey entitled "BOUNDARY SURVEY HORTON PLACE LOTS 1 & 2 FOR ENTITLEMENT PRESERVATION GROUP" by Daniel J. Burud, Professional Land Surveyor of Priest Craven and Associates, Inc. dated 02/06/23.

#### Legal Description Lot 2

Beginning at a *COMPUTED POINT* having coordinates of **N:756357.24, E:2157517.56**; thence with a bearing of **N 17°22'47" W** a distance of **317.94** feet to a *COMPUTED POINT*; thence with a bearing of **N 23°37'09" E** a distance of **232.55** feet to a *COMPUTED POINT*; thence with a bearing of **S 89°10'15" E** a distance of **63.76** feet to a *COMPUTED POINT*; thence with a bearing of **N 00°58'41" W** a distance of **474.63** feet to a *COMPUTED POINT*; thence with a bearing of **N 89°02'55" W** a distance of **93.35** feet to a *COMPUTED POINT*; thence with a bearing of **N 00°38'08" W** a distance of **283.44** feet to a *COMPUTED POINT*; thence with a bearing of **N 87°53'39" W** a distance of **71.47** feet to a *COMPUTED POINT*; thence with a bearing of **N 02°34'12" W** a distance of **144.89** feet to a *COMPUTED POINT*; thence with a bearing of **S 88°43'38" E** a distance of **98.78** feet to a *COMPUTED POINT*; thence with a bearing of **N 01°15'58" E** a distance of **217.93** feet to a *COMPUTED POINT*; thence with a bearing of **S 88°55'38" E** a distance of **181.48** feet to a *COMPUTED POINT*; thence with a bearing of **N 89°02'12" E** a distance of **236.19** feet to a *COMPUTED POINT*; thence with a bearing of **S 11°54'02" W** a distance of **452.84** feet to a *COMPUTED POINT*; thence with a bearing of **S 78°08'14" E** a distance of **642.82** feet to a *COMPUTED POINT*; thence with a bearing of **N 11°54'02" E** a distance of **212.27** feet to a *COMPUTED POINT*; thence with a bearing of **S 79°17'09" E** a distance of **720.44** feet to a *COMPUTED POINT*; thence with a bearing of **S 00°02'04" E** a distance of **107.37** feet to a *IRON PIPE SET*; thence with a bearing of **N 74°14'02" W** a distance of **202.22** feet to a *IRON PIPE SET*; thence with a bearing of **S 03°23'02" E** a distance of **173.82** feet to a *IRON PIPE SET*; thence with a bearing of **S 81°47'02" E** a distance of **186.35** feet to a *IRON PIPE SET*; thence with a bearing of **S 87°14'04" E** a distance of **78.83** feet to a *IRON PIPE FOUND*; thence with a bearing of **S 03°47'06" W** a distance of **661.49** feet to a *IRON PIPE SET*; thence with a bearing of **S 86°17'18" E** a distance of **210.00** feet to a *IRON PIPE FOUND*; thence with a bearing of **S 15°42'58" E** a distance of **9.88** feet to a *IRON PIPE FOUND*; thence with a bearing of **N 86°26'45" E** a distance of **227.96** feet to a *IRON PIPE FOUND*; thence with a bearing of **S 00°20'04" W** a distance of **242.61** feet to a *IRON PIPE FOUND*; thence with a bearing of **N 89°11'54" W** a distance of **1194.23** feet to a *AXLE FOUND*; thence with a bearing of **N 89°10'07" W** a distance of **967.55** feet to a *COMPUTED POINT*; which is the point of beginning, containing approximately **2,308,585.25** square feet or **52.9978** acres, as shown on a survey entitled "BOUNDARY SURVEY HORTON PLACE LOTS 1 & 2 FOR ENTITLEMENT PRESERVATION GROUP" by Daniel J. Burud, Professional Land Surveyor of Priest Craven and Associates, Inc. dated 02/06/23.



## Current Zoning

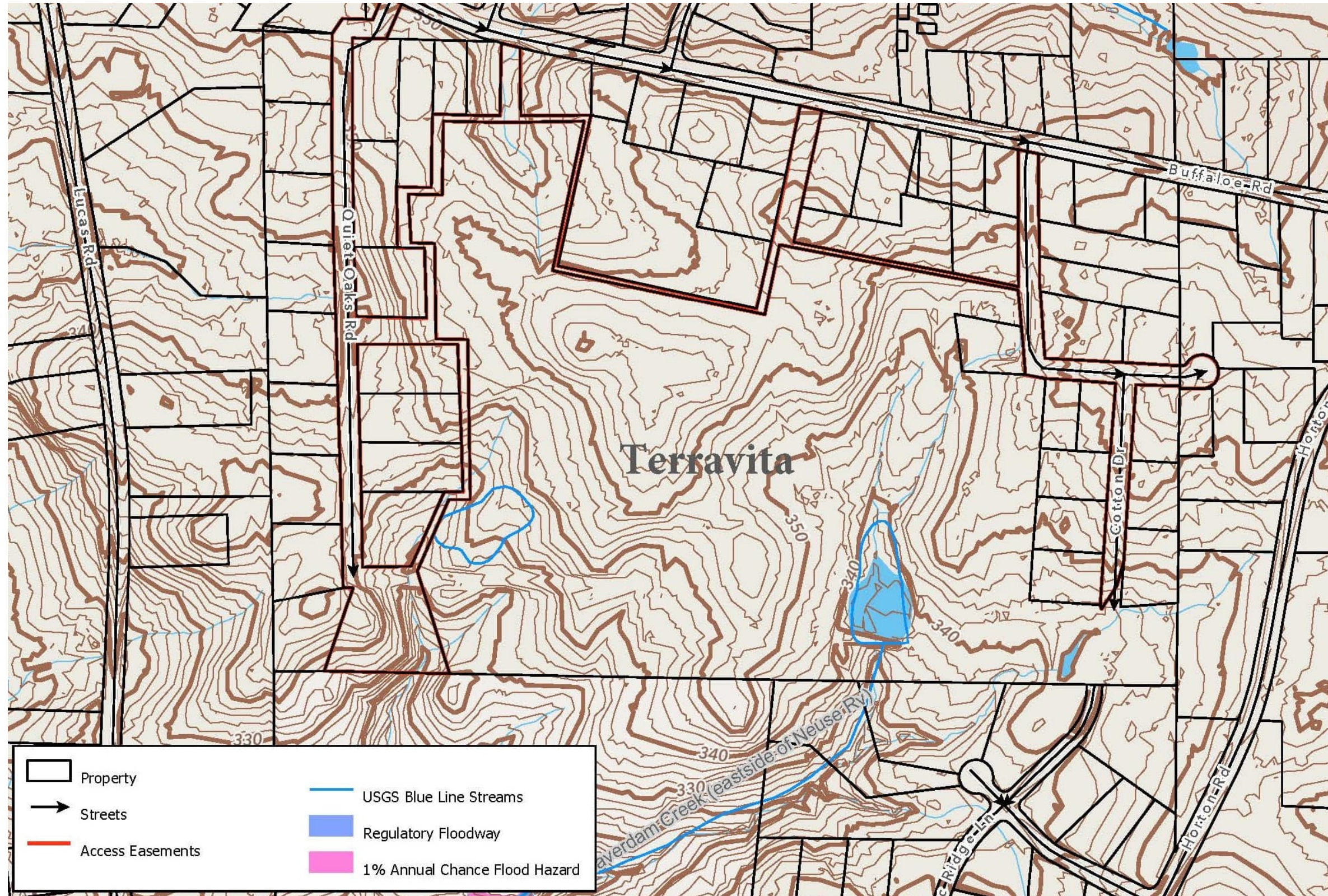


Terravita is in a Growth Reserve Area of the playbook. “Growth reserve areas represent land deemed unfavorable for significant development within the time frame of the comprehensive plan, 2024 to 2035, because they are unserved or underserved by municipal water and sewer utilities, curbside trash pickup, or police and fire protection, and it would be expensive to expand or extend services in these areas at this time. Areas designated as growth reserve on the map are not strictly prohibited from development in the future, but properties proposed for development should be evaluated utilizing the playbook approach in the comprehensive plan. Town officials should resist using the playbook approach unless significant infrastructure and service commitments are made by the private developer. If change is contemplated, it should implement the Future Place Type Map and the recommendations presented for the individual place type categories. The areas should be evaluated, and the boundaries modified, as necessary, during the next update to the comprehensive plan. Reclassification of growth reserve areas into a higher category — presumably secondary growth area, primary growth area, or target growth area — should be contingent upon the proximity or presence of infrastructure needed to support intended development: water, sewer, parks and recreation, police, fire, and transportation.”

All these previously-stated items considered requirements for higher development consideration are currently available with the amount of growth that is happening in the area.



# Area Topography



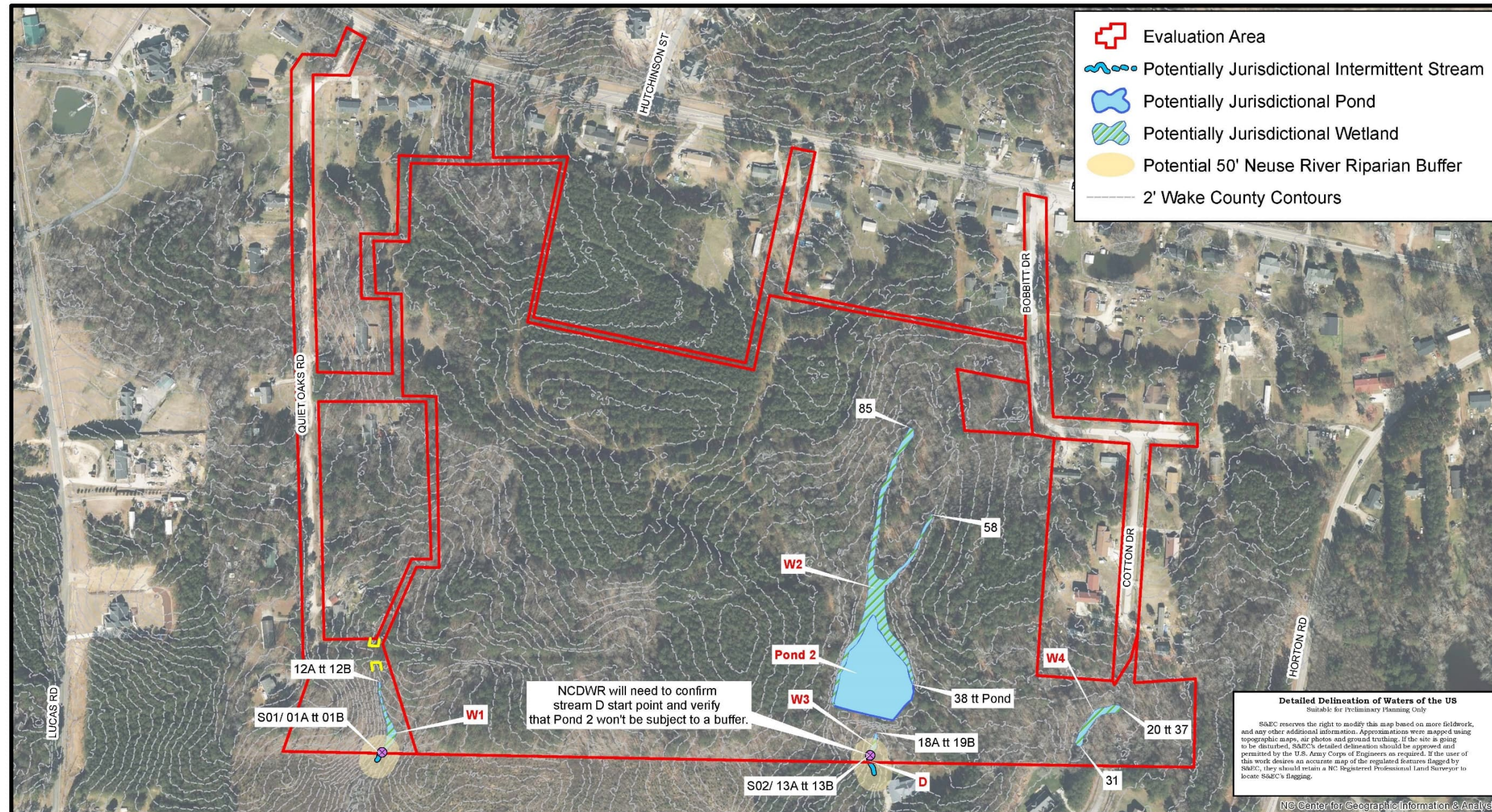


# Area Vegetation





# Preliminary Wetland and Stream Analysis



- Evaluation Area
- Potentially Jurisdictional Intermittent Stream
- Potentially Jurisdictional Pond
- Potentially Jurisdictional Wetland
- Potential 50' Neuse River Riparian Buffer
- 2' Wake County Contours

**Detailed Delineation of Waters of the US**  
 Suitable for Preliminary Planning Only

S&EC reserves the right to modify this map based on more fieldwork, and any other additional information. Approximations were mapped using topographic maps, air photos and ground truthing. If the site is going to be disturbed, S&EC's detailed delineation should be approved and permitted by the U.S. Army Corps of Engineers as required. If the user of this work desires an accurate map of the regulated features flagged by S&EC, they should retain a NC Registered Professional Land Surveyor to locate S&EC's flagging.

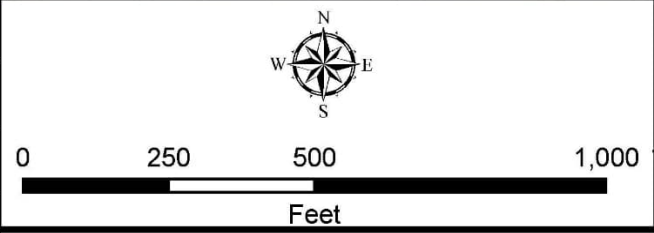
NC Center for Geographic Information & Analysis

Project No.  
15733.W1

Project Mgr.:  
SB

Scale:  
1" = 250'

06/30/2023



**Wetland Sketch Map**  
 1625 Quiet Oaks Road Property  
 Wake County, NC

Source:  
Aerials from NC One Map

**Soil & Environmental Consultants, PA**  
 8412 Falls of Neuse Road, Suite 104, Raleigh, NC 27615 • Phone: (919) 846-5900 • Fax: (919) 846-9467  
 sandec.com



# Overall Master Plan



**SITE STATS:**

PROPOSED ZONING:  
RIVER BASIN:  
WATERSHED

RMX-PUD  
NEUSE  
LOWER NEUSE RIVER

**AREA CALCULATIONS**

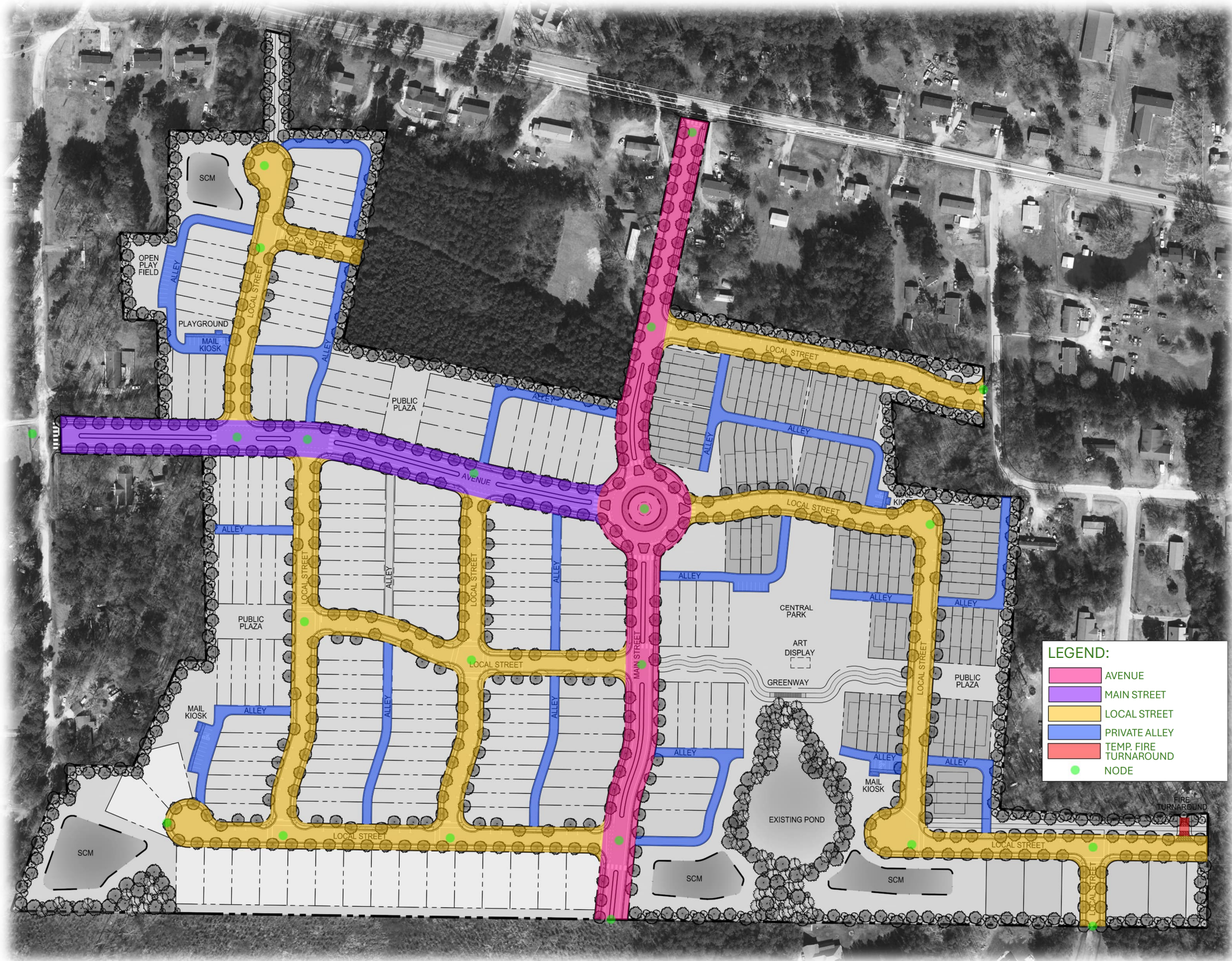
GROSS SITE AREA		60.68 AC
AREA IN INTERNAL PUBLIC STREET RIGHT-OF-WAY		13.38 AC
AREA IN EXISTING ACCESS EASEMENT		2.72 AC
NET SITE AREA		44.58 AC
AREA IN APPROX. 59'X120' SINGLE FAMILY RESIDENTIAL LOTS		2.91 AC
AREA IN APPROX. 80'X120' SINGLE FAMILY RESIDENTIAL LOTS		0.91 AC
AREA IN APPROX. 30'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOTS		10.42 AC
AREA IN APPROX. 35'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOTS		5.83 AC
AREA IN REAR -LOADED TOWNHOUSE LOTS		5.43 AC
TOTAL AREA IN OPEN SPACE	42.79%	19.08 AC
AREA IN ACTIVE RECREATIONAL OPEN SPACE	9.47%	4.22 AC
AREA IN PASSIVE RECREATIONAL OPEN SPACE	10.86%	4.84 AC
AREA IN COMMON AREA OPEN SPACE	15.44%	6.88 AC
AREA IN PRIVATE ALLEY EASEMENTS		3.13 AC
TOTAL UNITS PROPOSED	241	4.0 UN/AC
"59'" SINGLE FAMILY (4 BEDROOM)		17
"80'" SINGLE FAMILY (4 BEDROOM)		4
"30'" REAR-LOADED SINGLE FAMILY (3 BEDROOM)		98
"35'" REAR-LOADED SINGLE FAMILY (3 BEDROOM)		47
REAR-LOADED TOWNHOUSE (3 BEDROOM)		75

**LEGEND:**

- ROAD/ALLEY/GREENWAY (ASPHALT)
- 5' & 6' SIDEWALK/CURB & GUTTER (CONCRETE)
- 59'X120' SINGLE FAMILY RESIDENTIAL LOT
- 80'X120' SINGLE FAMILY RESIDENTIAL LOT
- 30'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
- 35'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
- REAR-LOADED TOWNHOUSE LOT
- OPEN SPACE
- STORMWATER CONTROL MEASURE



# Street Plan



**STREET TYPES:**

**AVENUE**  
 RIGHT OF WAY: 75'  
 STREET WIDTH: 51' B-B WITH 10' MEDIAN  
 DESIGN SPEED: 35 - 45 MPH

**MAIN STREET**  
 RIGHT OF WAY: 70'  
 STREET WIDTH: 47' B-B WITH 10' MEDIAN  
 DESIGN SPEED: 20 - 25 MPH

**LOCAL STREET**  
 RIGHT OF WAY: 54'  
 STREET WIDTH (NO PARKING): 31' B-B  
 STREET WIDTH (PARALLEL PARKING ON 1 SIDE): 36' B-B  
 DESIGN SPEED: 20 - 25 MPH

**PRIVATE ALLEY**  
 RIGHT OF WAY: 20'  
 STREET WIDTH: 12' MIN. - 16' MAX.  
 DESIGN SPEED: 10 MPH

**CONNECTIVITY INDEX:**

<b>REQUIRED</b>	
RMX	1.40
REDUCTION FOR 4 SIDES WITH LIMITED ACCESS	(0.20)
CONNECTIVITY INDEX REQUIRED	1.20
<b>PROVIDED</b>	
LINKS	27
NODES	22
CI = LINKS / NODES = 27/22 =	1.23
BONUS FOR ST. "H" CUL-DE-SAC LINK TO BUFFALOE	0.03
CONNECTIVITY INDEX PROVIDED	1.26

**LEGEND:**

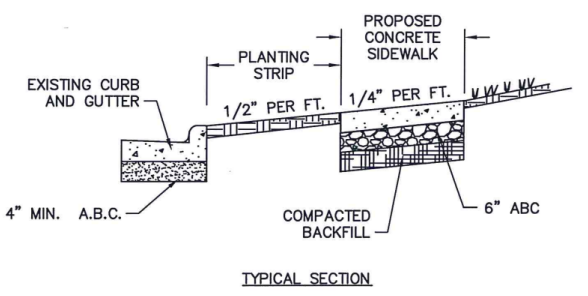
- AVENUE
- MAIN STREET
- LOCAL STREET
- PRIVATE ALLEY
- TEMP. FIRE TURNAROUND
- NODE



# Pedestrian Circulation Plan

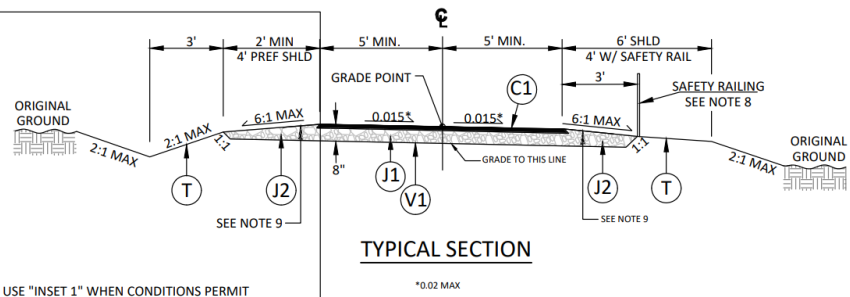


**LEGEND:**  
█ SIDEWALK  
█ GREENWAY/MUP  
█ AMENITY SPACES



TYPICAL SECTION  
 See Town of Knightdale standard detail 4.04-1 for additional information.

## Typical Sidewalk Section



USE "INSET 1" WHEN CONDITIONS PERMIT

TYPICAL SECTION

0.02 MAX

PAVEMENT SCHEDULE	
C1	2" ASPHALT CONCRETE SURFACE COURSE, TYPE S9.5B AT AN AVERAGE RATE OF 220 LBS. PER SQ. YD. OR 110 LBS. PER SQ. YD. IN EACH OF TWO LAYERS
J1	6" AGGREGATE BASE COURSE
J2	VARIABLE DEPTH AGGREGATE BASE COURSE
T	EARTH MATERIAL
V1	GEOTEXTILE FOR PAVEMENT STABILIZATION

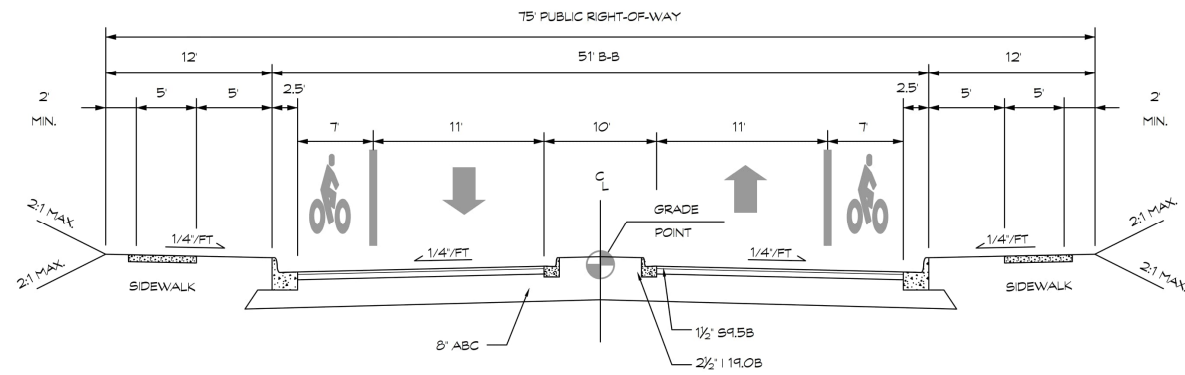
INSET 1

See Town of Knightdale standard detail 4.09-1 for additional information.

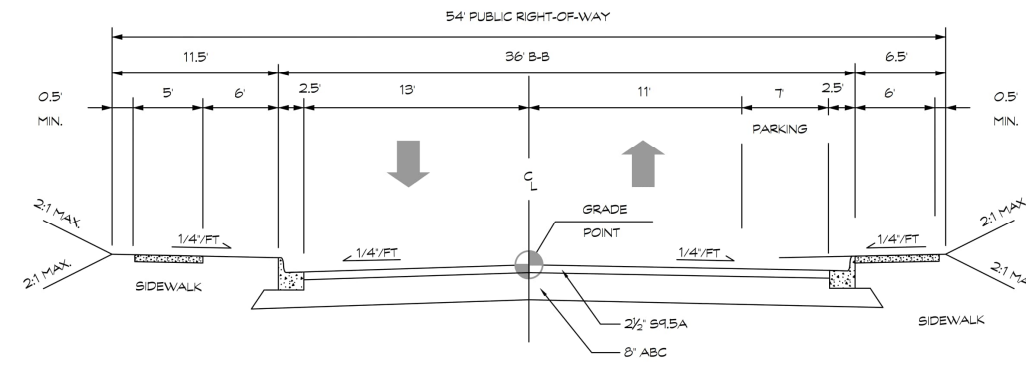
## Typical Greenway Section



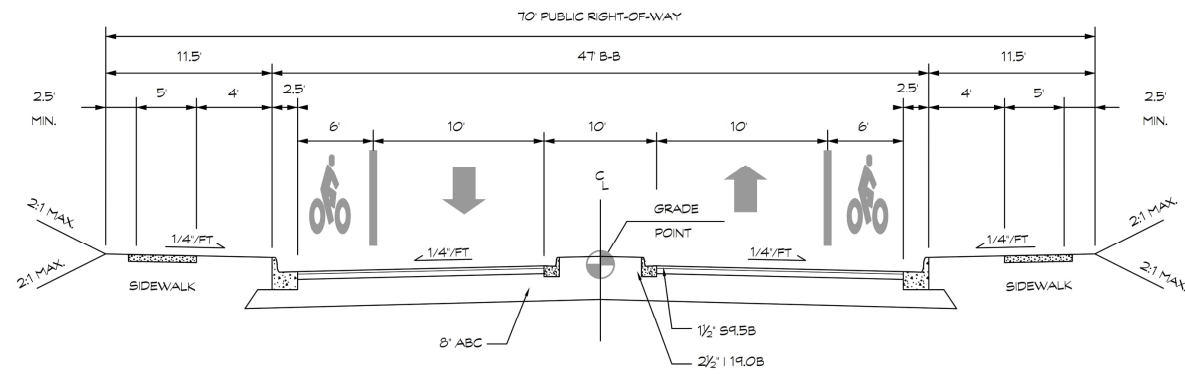
# Street Sections



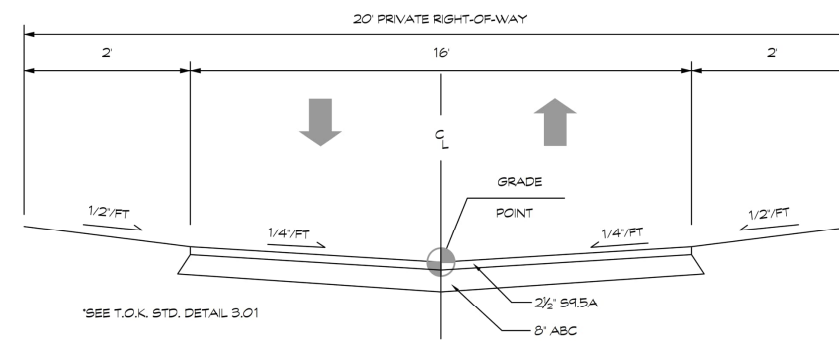
**TYPICAL AVENUE STREET SECTION**  
NOT TO SCALE



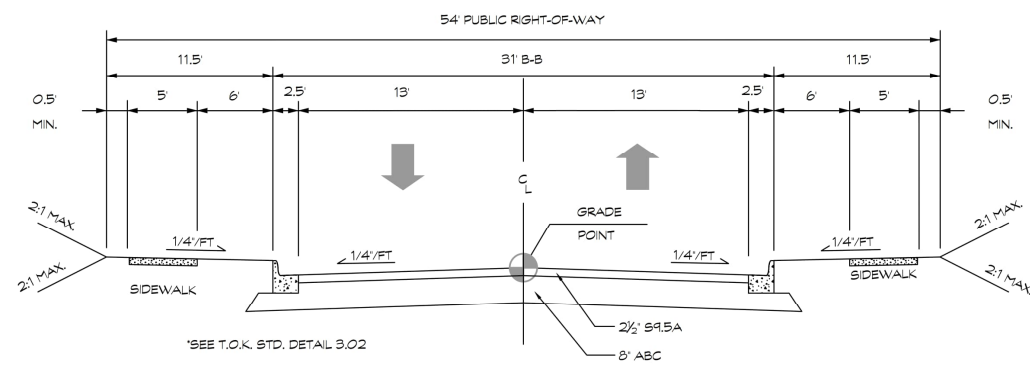
**TYPICAL LOCAL STREET SECTION WITH PARALLEL PARKING (1 SIDE)**  
NOT TO SCALE



**TYPICAL MAIN STREET SECTION**  
NOT TO SCALE



**TYPICAL ALLEY SECTION**  
NOT TO SCALE



**TYPICAL LOCAL STREET SECTION**  
NOT TO SCALE



# Preliminary Stormwater Plan



## STORMWATER

This plan is preliminary and subject to change as the project progresses.

Terravita proposes four (4) stormwater control measure (SCM) located as shown on the Preliminary Stormwater Management Plan. Stormwater containment shall be subject to the stormwater management requirements set forth in The Town of Knightdale Unified Development Ordinance, Chapter 9.

All SCMs shall utilize guidelines established in the NCDEQ Stormwater Design Manual.



# Preliminary Utility Plan



## WATER ALLOCATION

UDO ALLOWABLE ITEMS	POINTS
MAJOR SUBDIVISION	15
CONSERVATION OF NATURAL HABITAT MEETING ACTIVE OPEN SPACE REQUIREMENTS (OPEN SPACE LOT 1009 PRESERVING EXISTING POND AND WETLANDS)	5
FOUNTAIN WITHIN WET POND SCM (3 SCMs AT 4 POINTS WITH A MAX. OF 10)	4
ON-STREET PUBLIC PARKING	4
RESIDENTIAL ARCHITECTURAL STANDARDS	15
OUTDOOR DISPLAY OF PUBLIC ART (2 ART LOCATIONS AT 4 POINTS WITH MAX. OF 10)	8
IPEMA CERTIFIED PLAYGROUND EQUIPMENT	4
<b>TOTAL UDO ALLOWABLE POINTS</b>	<b>55</b>

## ADDITIONAL POTENTIAL ITEMS

ADDITIONAL POTENTIAL ITEMS	POINTS
ABATEMENT OF ANY EXISTING NON-CONFORMING LOTS (EX. LOT 1 - BOM 2018, P 1383) (EX. LOT 1 FROM BM2018, PG1383)	1
CONSTRUCTION OF FULL CROSS SECTION OF EXISTING OFF-SITE STREET (STREET "B" - FROM STREET "H" TO BUFFALO RD.)	5
CONSTRUCTION OF A PARKWAY STREET SECTION (AT 5 POINTS WITH MAX. OF 10) (STREET "A" AVENUE FROM QUIET OAKS TO ROUNDABOUT) (STREET "B" MAIN STREET FROM WELDON VILLAGE TO ROUNDABOUT)	10
GREENWAY (FROM WELDON VILLAGE ALONG STREET "B", ACROSS OPEN SPACE LOT 1009, ALONG STREET "I" AND "J" TO EASTERN PROPERTY LINE)	2
LIGHTED PLAY EQUIPMENT AT PLAY GROUND FOR NIGHTTIME USE	3
<b>TOTAL ADDITIONAL POTENTIAL POINTS</b>	<b>21</b>
<b>TOTAL UDO ALLOWABLE &amp; ADDITIONAL POTENTIAL POINTS</b>	<b>76</b>



# TIA Recommendations

## TRAFFIC IMPACT ANALYSIS TERRAVITA

Knightsdale, North Carolina

### EXECUTIVE SUMMARY

#### 1. Development Overview

A Traffic Impact Analysis (TIA) was conducted for the proposed Terravita development in accordance with the Knightsdale (Town) Unified Development Ordinance (UDO) and North Carolina Department of Transportation (NCDOT) capacity analysis guidelines. The proposed Terravita development is to be located south of Buffalo Road between Quiet Oaks Drive and Bobbitt Drive in Knightsdale, North Carolina. The proposed development, anticipated to be completed in 2029, is assumed to consist of 170 single-family lots and 75 townhomes. Access to the parcel is proposed via one full movement driveway along Buffalo Road and internal connections to Quiet Oaks Road, Bobbitt Drive, Proc Ridge Lane, and the Old Knight Road extension (a part of the Weldon Village adjacent development).

#### 2. Existing Traffic Conditions

The study area for the TIA was determined through coordination with the Town and consists of the following existing intersections:

- Buffalo Road and Lucas Road
- Buffalo Road and Quiet Oaks Drive
- Buffalo Road and Bobbitt Drive
- Buffalo Road and Horton Road
- Horton Road and Horton Mill Drive
- Horton Road and Old Knight Road
- Horton Road and Lucas Road

Existing peak hour traffic volumes were determined based on traffic counts conducted at the study intersection listed above, in October of 2024 during a typical weekday AM (7:00 AM – 9:00 AM) and PM (4:00 PM – 6:00 PM) peak periods. Traffic volumes were balanced between study intersections, where appropriate.



#### 3. Future Traffic Conditions

Through coordination with the Town, it was determined that an annual growth rate of 3% would be used to generate 2030 (build-out+1) projected weekday AM and PM peak hour traffic volumes. Per the Town’s UDO, a 3% growth rate was applied to the existing traffic counts to project to the year 2030. For the +10 future analysis required by the Town UDO, traffic was projected beyond 2030 using a 1% growth rate. The following adjacent developments were identified to be included as an approved adjacent development in this study:

- Haywood Glen
- Weldon Village
- Brio Development

Based on coordination with the Town, no roadway improvement projects are planned within the study area.

#### 4. Site Trip Generation

Average weekday daily, AM peak hour, and PM peak hour trips for the proposed development were estimated using methodology contained within the ITE Trip Generation Manual, 11.1<sup>th</sup> Edition. Table E-1 provides a summary of the trip generation potential for the site.

Table E-1: Site Trip Generation

Land Use (ITE Code)	Intensity	Daily Traffic (vpd)	Weekday AM Peak Hour Trips (vph)		Weekday PM Peak Hour Trips (vph)	
			Enter	Exit	Enter	Exit
Single Family Lots (210)	170 DU	1,644	30	91	103	61
Townhomes (215)	75 DU	522	8	25	24	17
Total Trips		2,166	38	116	127	78

#### 5. Capacity Analysis Summary

The analysis considered weekday AM and PM peak hour traffic for 2024 existing, 2030 no-build, 2030 build, and 2039 future conditions. Refer to Section 7 of the TIA for the capacity analysis summary performed at each study intersection.





**6. Recommendations**

Based on the findings of this study, specific geometric and traffic control improvements have been identified at study intersections. The improvements are summarized below and are illustrated in Figure E-1.

**Improvements by Weldon Village**

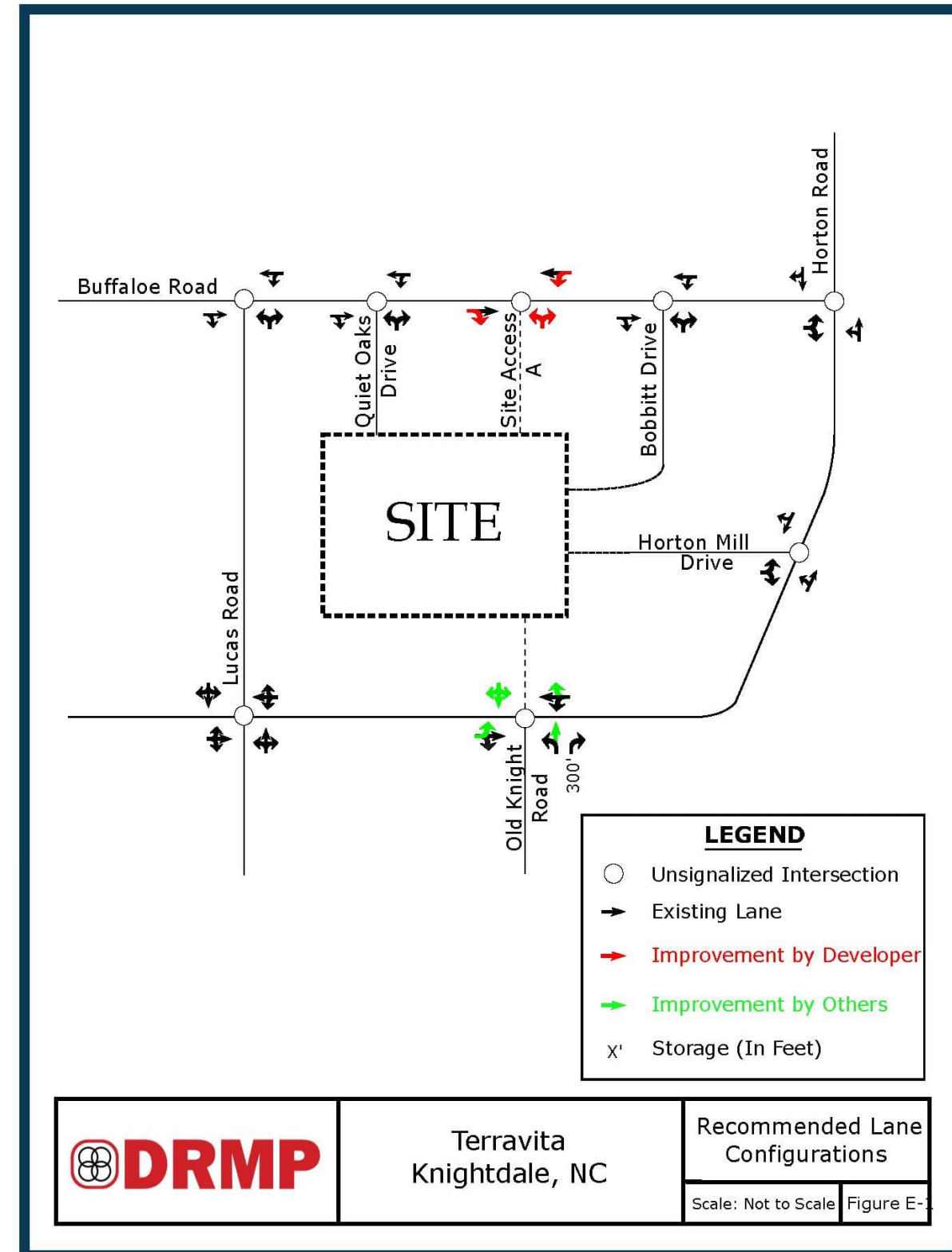
Horton Road and Old Knight Road

- Construct southbound approach (of Old Knight Road) with one ingress lane and one egress lane.
- Provide stop control for southbound approach.
- Construct eastbound left turn lane (on Horton Road) with 100' of storage plus appropriate deceleration and taper.

**Recommended Modifications by Developer**

Buffaloe Road and Site Access

- Construct northbound approach (of the proposed site access) with one ingress lane and one egress lane. Provide stop-control for the northbound approach.





# Site Programming

Terravita will provide a variety of opportunities to promote a healthy lifestyle, enjoy the outdoors, and enjoy a sense of community. The site is proposing a connected network of ± 15 acres of open space with passive and active recreational amenities.

The proposed amenities are as follows:

10' Greenway Trail, approximately 1700 LF, that aligns with The Town of Knightdale 2035 Comprehensive Plan (KnightdaleNext) that proposes a greenway running through the site.

## Central Park

The Park will be a large open green space that can be used for a variety of activities by the community. This includes enjoying the existing pond, walkways, and a public art installation site.

## Playgrounds/ Play Areas

The playgrounds/areas will be distributed throughout the community.

## Dog Park

The playground will be located in one of the active open space areas and will provide a place for residents to let their dogs run.

## Pond Fountain

The pond fountain will provide an enhancement to the existing pond.



# Open Space Plan

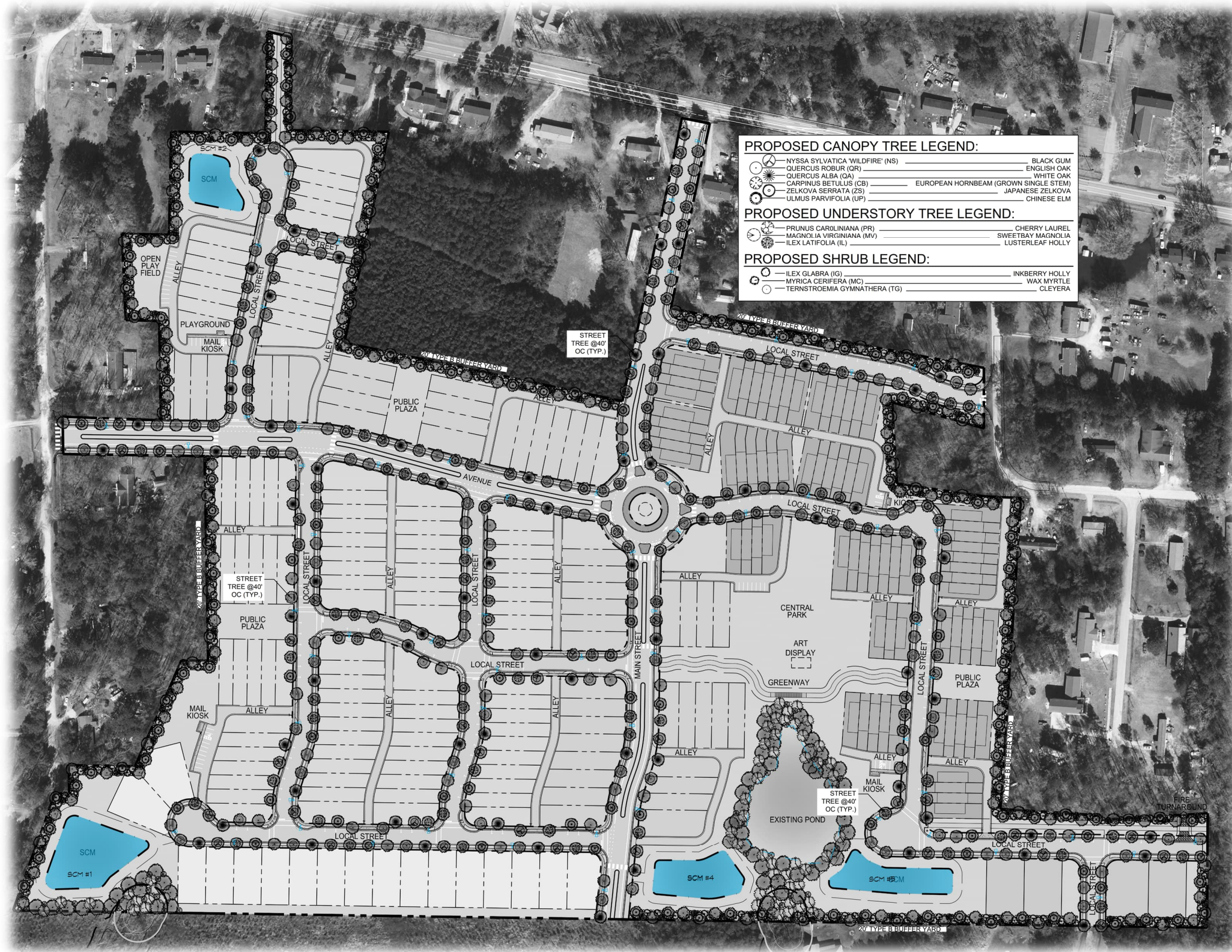


**RECREATIONAL OPEN SPACE CALCULATIONS**

TOTAL NUMBER OF BEDROOMS	758 x 520	394160	758
DEDICATION RATE (\$20/UNIT)			9.05 AC
CREDITS			
PARKWAY (PUB. ST. "H", 600 LF, 54' RW)	600 x 27	(16200)	(0.37) AC
PARKWAY (PUB. ST. "J", 685 LF, 54' RW)	685 x 27	(18495)	(0.42) AC
<b>TOTAL RECREATIONAL OPEN SPACE REQUIRED</b>		<b>359465</b>	<b>8.25 AC</b>
ACTIVE RECREATIONAL SPACE REQ'D 50.00%			4.13 AC
PASSIVE RECREATIONAL SPACE REQ' 50.00%			4.13 AC
ACTIVE RECREATIONAL SPACE PROVIDED			4.22 AC
PASSIVE RECREATIONAL SPACE PROVIDED			4.84 AC
<b>TOTAL AREA IN OPEN SPACE</b>	<b>42.79%</b>		<b>19.08 AC</b>
AREA IN ACTIVE RECREATIONAL OPEN SPACE	9.47%		4.22 AC
AREA IN PASSIVE RECREATIONAL OPEN SPACE	10.86%		4.84 AC
AREA IN COMMON AREA OPEN SPACE	15.44%		6.88 AC
AREA IN PRIVATE ALLEY EASEMENTS			3.13 AC

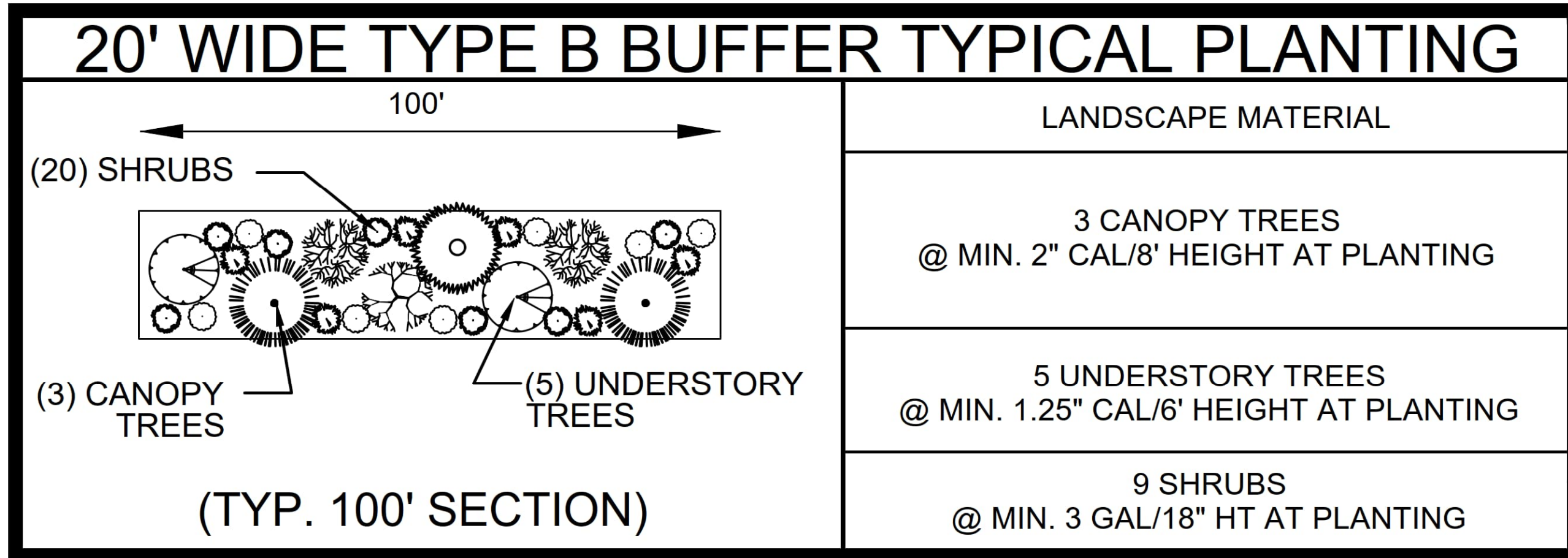


# Preliminary Landscape Plan





# Landscape Buffers





# Conceptual Single-Family Detached Products



\* Elevations and renderings are an example of product.  
Builder reserves the right to change plans, designs, elevations and pricing without notice.







\* Elevations and renderings are an example of product.  
Builder reserves the right to change plans, designs, elevations and pricing without notice.



\* Elevations and renderings are an example of product.  
Builder reserves the right to change plans, designs, elevations and pricing without notice.







# Conceptual Single-Family Attached Products





# Architectural Design Standards

1. Single-family 2-story homes built on lots at least 60 feet wide will have a minimum heated area of 2,000 square feet.
2. Single-family 1 or 1.5-story homes built on lots at least 60 feet wide will have a minimum heated area of 1,600 square feet.
3. Single-family detached homes built on lots less than 60 feet wide will have a minimum heated area of 1,600 square feet.
4. All single-family homes with stem wall, crawl, or slab foundations will provide a minimum of 2 stair risers, and the finished floor elevation is to be a minimum of 18” above the finished grade on the front-facing street elevation of the homes. Finished grade elevation shall be defined as the average height at the back of the curb along the unit frontage facing public streets. Foundations will be wrapped in either brick or stone.
5. All single-family homes and townhomes will have a combination of two or more of the following materials on the front façade (not counting foundation): stone, brick, lap siding, fiber cement siding, shakes, or board and batten. The exterior siding material on the side and rear facades, except for interior townhome units, will be fiber cement. When two materials are used, the materials shall be different but complementary colors. Vinyl may be used only for window trim, shutters, soffits, fascia, and/or corner boards.
6. All single-family detached homes will be limited to a three-story maximum and will provide for a variety of elevations. Units of the same elevation shall not be side by side. Exterior color schemes will not be repeated side by side.
7. All single-family detached homes will have a front porch with a minimum depth of 5 feet, which may encroach up to 6 feet into the front setback. Front porch posts will be at least 6”x6” in size.
8. Front-loaded garages will not protrude more than 6 feet from the front porch or stoop, and all garage doors shall contain decorative hardware and window inserts.
9. There shall be a minimum 12” overhang on every gable end for single-family homes and townhomes.
10. All homes will include architectural-style shingles.
11. Townhomes shall be two or three stories in height with a minimum width of 18 feet wide, and a minimum heated area of 1,500 square feet.
12. All townhomes shall have a covered porch element.
13. Single-family front-loaded detached homes shall have two-car garages, and single-family detached (townhomes) shall have one-car garages.
14. All single-family homes on lots 35 or less feet in width shall have a rear garage and be accessed via a private rear-loaded alley.



*Single-Family Attached (Townhomes )*

- 15. Vinyl siding is not permitted; however, vinyl windows, decorative elements, and trim are permitted.
- 16. The roofline cannot be a single mass; it must be broken up horizontally and vertically no more than two units.
- 17. Garage doors must have windows, decorative details, or carriage-style adornments on them.
- 18. House entrances for units with front-facing single-car garages shall have a prominent covered porch/stoop area leading to the front door.
- 19. The garage cannot protrude more than 2 feet out from the front façade or front porch.
- 20. The visible side of a townhome on a corner lot facing the public street shall contain at least 3 decorative elements such as, but not limited to, the following elements:  

Windows	Bay window	Recessed window	Decorative window	Trim around the windows	Wrap around porch or side porch	Two or more building materials.
Decorative brick/stone	Decorative trim	Decorative shake	Decorative air vents on gable	Decorative gable	Decorative cornice	
Column	Portico	Balcony	Dormer			
- 21. Building front facades shall have horizontal relief achieved by the use of recesses and projections.
- 22. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three-color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.
- 23. The rear and side elevations of the units that front on the public right-of-way shall have trim around the windows.

*Single-Family Detached*

- 24. Vinyl siding is not permitted; however, vinyl windows, decorative elements, and trim are permitted.
- 25. The roof shall be pitched at 5:12 or greater for 50% of the building designs.
- 26. Eaves shall project at least 12 inches from the wall of the structure.
- 27. Garage doors shall have windows, decorative details, or carriage-style adornments on them.
- 28. The garage, if used, shall not protrude more than 1 foot out from the front façade and front porch assuming the garage is attached to the Home.



29. The visible side of a home on a corner lot facing the public street shall contain at least 3 decorative elements such as, but not limited to, the following elements:

- |                        |            |                 |                   |                               |                                 |                                |
|------------------------|------------|-----------------|-------------------|-------------------------------|---------------------------------|--------------------------------|
| Windows                | Bay window | Recessed window | Decorative window | Trim around the windows       | Wrap around porch or side porch | Two or more building materials |
| Decorative brick/stone |            | Decorative trim | Decorative shake  | Decorative air vents on gable | Decorative gable                | Decorative cornice             |
| Column                 |            | Portico         | Balcony           | Dormer                        |                                 |                                |

30. A varied color palette shall be utilized on homes throughout the subdivision to include a minimum of three-color families for siding and shall include varied trim, shutter, and accent colors complementing the siding color.

31. The rear and side elevations of the units that front on public right-of-way shall have trim around the windows.



## Proposed PUD Allowances

The proposed zoning for Terravita is RMX-PUD. Terravita meets all standards outlined in the Town of Knightdale's Unified Development Ordinance except for a few conditions. Due to site constraints, the applicant is requesting the following site development allowances:  
Bulk and Dimensional Standards (UDO Sec. 3.4)

### *Lot width (street loaded)*

In the RMX base district, the minimum required lot width for a street-loaded lot is 80'. To create a variety of housing types and a more walkable community, we are proposing single-family detached street-loaded lots with lot widths of 59' and 80'.

### *Lot width (alley loaded)*

In the RMX base district, the minimum required lot width for an alley-loaded lot is 30'. To provide a variety of housing types and a more walkable community, we are proposing alley-loaded single-family detached lots with a width of 30', and townhome lots with minimum widths of 18'. The end townhomes will have a minimum of 24' lots, and the interior townhomes will have a minimum of 18' lots. The alley-loaded single-family detached and attached options create a pedestrian-friendly streetscape for the community.

### *Driveway length*

In the RMX base district, the minimum required driveway length is 35' for a residential lot. For townhomes and rear-loaded single-family lots, we are proposing a 20' minimum driveway length. For single-family front-loaded lots, we are proposing a 22' minimum driveway length.

### *Lot setbacks*

In Sec. 6.5 of Knightdales' UDO, the minimum rear setback for a house building type is 25'. For all rear-loaded single-family lots, we are proposing a minimum setback of 20'.

### *Standard Street Sections (Town of Knightdale Standard Details)*

Local Street Section - Two Way. The standard detail calls for a 54.0' right-of-way and allows for informal parking.

Terravita is proposing on-street parking along sections of the road where there are no residential driveways. On-street parking will allow for guest parking. The design does not provide on-street parking on streets with front-loaded units to avoid any potential conflicts.

### *Residential Clearing & Grading (UDO Sec. 9.3.B)*

Terravita will require a site development allowance of Residential Clearing and Grading as specified in Section 9.3.B of the UDO.

Currently, mass grading is prohibited on lots 60' in width or greater. Terravita requests to mass grade all single-family and townhome lots less than 80' wide.

Any lot 80' in width or greater shall not be mass-graded.



# Neighborhood Meeting Information

A neighborhood meeting was held via Teams online on July 25th at 6:00 pm.

There were approximately fifteen neighbors in attendance, along with three members of the design team, and one Senior Planner from the Town of Knightdale.

Date of meeting: July 25<sup>th</sup>, 2024

Time of meeting: 5:30 pm EST

Design consultants:

Charles R, Walker III from EPG,

Tommy Craven, Ben Williams, and Greg Elkins from Priest Craven and Associates

Town of Knightdale:

Kevin Lewis, Senior Planner, AICP, CZO



## Discussion Points

At the neighborhood meeting for Terravita, the neighbors had questions about streets, traffic, the site buffers, proposed utilities, types of units, construction timing, and architectural standards. Their questions are as follows:

A neighbor asked if there was a clubhouse proposed.

Design Team confirmed there would not be a clubhouse but there would be a public greenway and private open space /play areas for the residents.

The neighbors in the Horton Mill subdivision raised a concern that their roads need maintenance/repair. Their roads are owned by a private HOA, and they are unable to get the former developer to make repairs.

Design Team stated that the residents would need to contact the Town of Knightdale to possibly turn their roads into Town public roads. The roads are currently in an NCDOT ROW.

One neighbor asked how many access points were planned because they were concerned about existing traffic in the area.

The consultant showed the Group the current layout of the Project including the access points. Stated the TIA was not complete at that time but the Project would make modifications if called for by the TIA.

A neighbor asked if Knightdale will be maintaining the roads in Terravita.

Design Team confirmed that Knightdale would maintain the roads once the Project was annexed into the Town.

The neighbor directly adjacent to the proposed street connection at Buffaloe Rd was concerned that the proposed connection limits their access to the Private Access Easement.

Design Team noted that they are required to make the connection at that location and a public ROW would take the place of the easement allowing for access.

Several neighbors asked if we would be putting a fence or wall around Terravita.

Design Team stated that there would not be a fence, but there would be a Type B 20' landscaped buffer around the entire property except where it will join with Weldon.

A neighbor asked to describe the plants in a Type B buffer.

The Design Team showed them the graphic from the UDO showing what is in a Type B buffer.

A neighbor asked what the overall time frame for this Project to begin.

Design Team stated that if approved actual construction would not start for another 18 to 24 months.

Matt Warner, For meeting minutes-- another concern is there is a 100 year floodplain in most of the proposed area near the existing pond, including Beaver Damn Creek and lot 47, etc.

We agreed to look into this. After review, it has been determined that there are no floodplains on this site according to map 3720175500K.

Michelle RUSSO, when do you expect clearing to start?

We responded that clearing may begin in 2 years.



Hans Kerekes, I believe its a 50' buffer along the creek/pond

The On-site Determination for DWR Project 23-319 stated that the pond is not subject to buffer rules. The buffer for the creek has been shown.

Tricia Montgomery, Good Evening....Just so that I'm clear, where exactly is 8908 Buffaloe Rd on this map?

We pointed out the location of this parcel on the overall site plan during the meeting.

Hans Kerekes, I assume you will leave as much existing woods around SCM #4?

Our response to this was that we will leave it or it is always our intention to leave as many trees as possible except that the volume capability of each of the of each of the stormwater devices is the major concern. Thus, if we have to take down the trees to make the pond large enough to handle the stormwater requirements, then we won't be able to save the trees, but there will be a replanting plan in its place in the open space.

Matt Warner, I am located on lot 47, where it appears the road will cut into the previously established Horton Mill neighborhood. Can you elaborate what will happen to Beaver Damn Creek, which runs right behind my house-- which collects from where houses 223-226. Also have flow/drainage issues and call this area "the swamp".

We explained that our streets are required to be curb and gutters, and that they will have curb inlets. Thus, they will accept and divert the water away from that area toward the stormwater devices near the near the pond.

hans kerekes, Are there going to be some traffic calming measures on street B to keep speeds low therefore reducing noise

We explained that we will be utilizing the town's street sections including a divided median street, and that the town does not allow speed bumps.

Michelle RUSSO, I assume the dotted/solid lines and such around the pond are to mark off where you cannot clear due to it being a part of the Neuse River Buffer? I think that's what the Zones mean but it's hard to read.

We explained that those represent the river buffers. However, now that the buffer determination has determined that the pond is not a buffered entity, those lines have been removed from the latest set of plans.

Michelle RUSSO, I've seen surveyors (I assume) coming through my yard from time to time. I'd appreciate advance notice before they come onto my land (or near it ideally/within eyesite). I have PTSD from a previous home break-in and appreciate your cooperation to avoid stress and anxiety.

We agreed to notify her if we were to be doing survey work in the area.

Michelle RUSSO, Will there be berms built up between your community and our neighboring community? Or any other landscaping/bushes?

We explained that our intention to not clear if we do not have to. However, if we do have to clear those areas that they will be re-planted with a Type B Landscape buffer where required by the town.

Michelle RUSSO, Right on the property line between my yard and your development are some trees that are damaged and at risk to fall. Will you be removing those dying trees? They are at risk of falling on my house/shed and I've been trying for awhile to find a contact of the property owner to have them taken down.

We explained that on-site trees will be evaluated at the time of survey, and that any dead and dying trees located on our site will be removed accordingly.



Michelle RUSSO, My house sits directly behind the small pond at the backside of this development. Currently it has erosion and drainage issues and floods my yard regularly (some of it caused by beavers too). What are your plans to correct the drainage issues to correct the flow problem into the creek as it should flow (and stop the flooding to my yard)?

We indicated that as we go deeper into the project, we will be more in tune with exactly how to deal with that level of detail. We also explained that we will have two stormwater retention ponds that will be located below the existing pond that will reduce the flow release rates to predevelopment levels.

Michelle RUSSO, According the plans I've seen, it appears that there will be 2 entrances into this neighborhood that pass through Horton Mill Subdivision. Our neighborhood streets are currently still private (our developer never fulfilled his commitment to update them to hand over to the state). With the size of your community and expected extra traffic, what are your plans to upgrade

We explained that it is our understanding from the process that we went through last time is that the roads in that neighborhood are in fact in a public right of way, but the DOT has not accepted them for maintenance. We also let her know that we are going connect to the one road that is stubbed to us, which is a requirement. The other stub road to the South will be going through Weldon village.

Jannet Barnes asked that we please remove the roundabout.

We responded that the town favors a round-a-bout in the location we are proposing.



# Attendance Records

## 1. Summary

Meeting title Terravita Neighborhood Meeting  
 Attended participants 19  
 Start time 7/25/24, 5:30:00 PM  
 End time 7/25/24, 6:57:41 PM  
 Meeting duration 1h 23m 41s  
 Average attendance time 44m 47s

## 2. Participants

Name, Email, Phone, Number, Notes, First Join, Last Leave, In-Meeting Duration

+19192663127 (Unverified) 7/25/24, 5:58:37 PM 7/25/24, 6:57:39 PM 59m 2s  
 +19192951091 (Unverified) 7/25/24, 5:46:59 PM 7/25/24, 5:47:37 PM 37s  
 +19193397222 (Unverified) 7/25/24, 6:00:59 PM 7/25/24, 6:08:48 PM 7m 49s  
 +19196303161 (Unverified) 7/25/24, 6:50:45 PM 7/25/24, 6:57:41 PM 6m 55s  
 +19199713456 (Unverified) 7/25/24, 6:20:53 PM 7/25/24, 6:57:31 PM 36m 38s  
 Ben Williams (host) bwilliams@priestcraven.com 7/25/24, 5:34:01 PM 7/25/24, 6:57:38 PM 1h 23m 36s  
 Gideon Smith (External) Gideon.Smith@knightdalenc.gov 7/25/24, 5:52:08 PM 7/25/24, 6:57:31 PM 1h 1m 22s  
 Hans Kerekes (Unverified) hkerekes@gmail.com Lot 49 7/25/24, 5:38:19 PM 7/25/24, 6:57:26 PM 1h 19m 7s  
 Jannet Barnes (Unverified) 1609 Cotton Dr. Knightdale 7/25/24, 5:59:29 PM 7/25/24, 6:57:26 PM 57m 57s  
 J. Adam Ashbaugh jashbaugh@drbgroupp.com 7/25/24, 6:06:07 PM 7/25/24, 6:57:25 PM 51m 18s  
 Kevin Lewis (External) kevin.lewis@knightdalenc.gov 7/25/24, 6:03:23 PM 7/25/24, 6:54:26 PM 51m 3s  
 Matt Warner (External) matt.warner@duncan-parnell.com Lot 47, Proc Ridge Ln. 7/25/24, 6:08:38 PM 7/25/24, 6:57:35 PM 48m 56s  
 Michelle RUSSO (External) mrusso@kds.com, michellerusso1@yahoo.com Lot 48 7/25/24, 5:54:36 PM 7/25/24, 6:57:30 PM 1h 2m 53s  
 P Underwood (Unverified) 7/25/24, 6:01:28 PM 7/25/24, 6:54:42 PM 53m 14s  
 Sergio Maciel (Unverified) 919-917-6375 asked to be called about staking 7/25/24, 6:14:11 PM 7/25/24, 6:57:29 PM 43m 18s  
 Sharon (Unverified) 7/25/24, 6:02:38 PM 7/25/24, 6:57:34 PM 54m 55s  
 Tamia Ray (Unverified) 7/25/24, 6:03:23 PM 7/25/24, 6:33:44 PM 30m 21s  
 Tricia Montgomery (Unverified) triceswork@gmail 7/25/24, 5:57:56 PM 7/25/24, 6:57:33 PM 59m 36s  
 Tracy Warner tracy.warner@syneoshealth.com 7/25/24, 6:06:33 PM 7/25/24, 6:08:41 PM 2m 7s