

TERRAVITA

KNIGHTDALE, NC

SKETCH PLAN REVIEW PLAN DRAWINGS FOR A RESIDENTIAL SUBDIVISION

ZMA - 4 - 23

PLANS PREPARED BY:

PRIEST, CRAVEN & ASSOCIATES, INC.
 PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
 3803 - B COMPUTER DRIVE, SUITE 104, RALEIGH, N.C. 27609
 PHONE 919 / 781-0300 FAX 919 / 782-1288
 EMAIL PCA@PRIESTCRAVEN.COM FIRM#: C-0488



PROJECT STATISTICS

PROPERTY OWNERS

SITE INVESTMENTS, LLC
 933 OLD KNIGHT RD
 KNIGHTDALE, NC 27545
 (919) 710-0669

12609 RICHMOND, LLC
 4601 SIX FORKS RD, SUITE 400
 RALEIGH, NC 27609
 (919) 625-9681

TABLE OF LAND OWNERS

TABLE C1.1

PIN	OWNER	DEED BOOK	DEED PAGE	DEEDED ACRES	SURVEY ACRES	ZONING
1755863977	SITE INVESTMENTS LLC	19147	2336	52.99	53.00	RT
1755787080	12609 RICHMOND LLC	17274	2274	10.00	7.68	RT

ZONING
 RIVER BASIN
 WATERSHED

RT
 NEUSE
 LOWER NEUSE RIVER

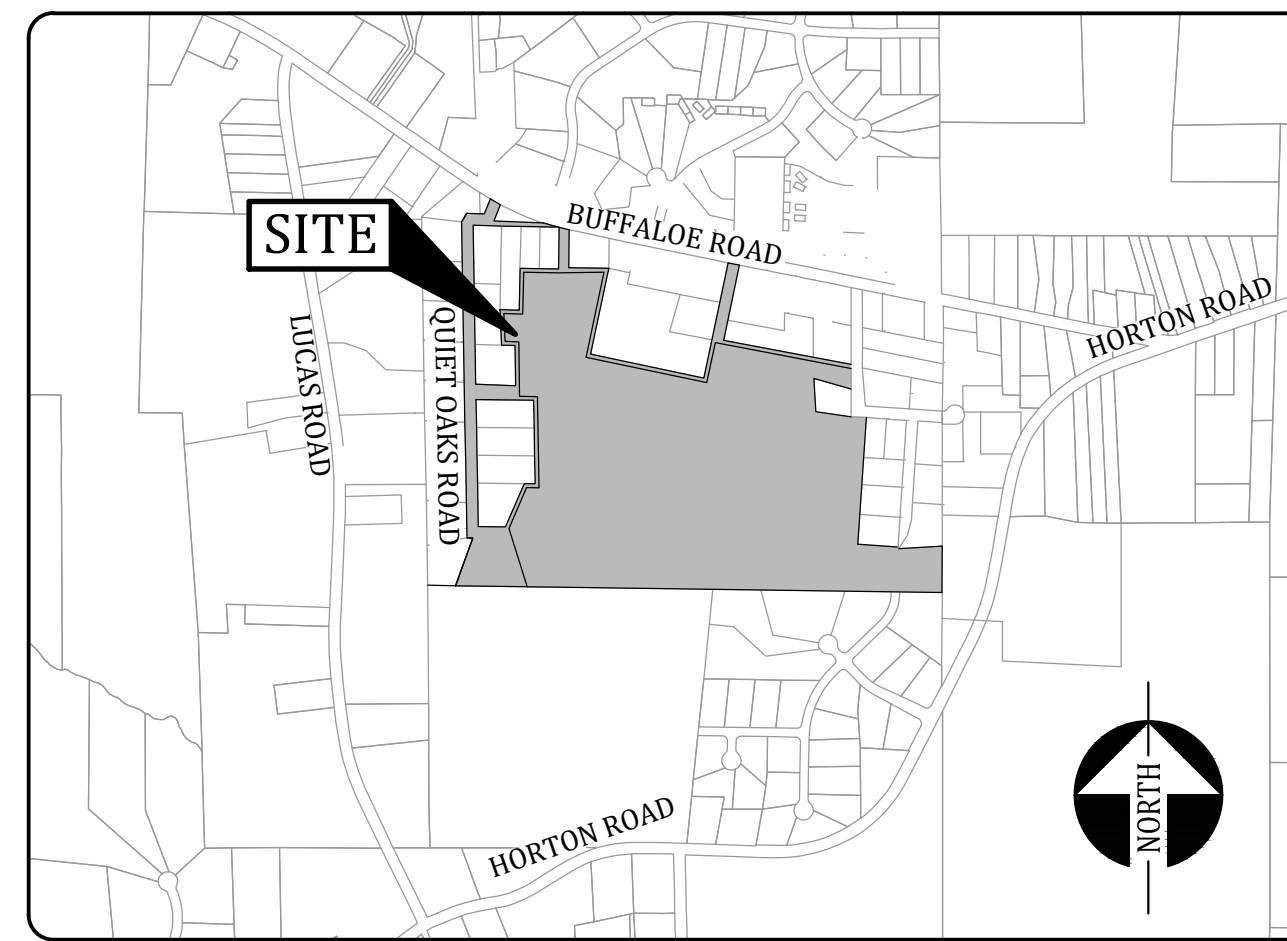
FEMA FLOOD PANEL AREAS OF OFFSITE IMPROVEMENTS CONTAIN FEMA FLOOD ZONES

3720175500K
 7/19/2022

AREA CALCULATIONS

GROSS SITE AREA		60.68 AC
AREA IN INTERNAL PUBLIC STREET RIGHT-OF-WAY		13.40 AC
AREA IN EXISTING ACCESS EASEMENT		2.72 AC
NET SITE AREA		44.56 AC
AREA IN APPROX. 60'X120' SINGLE FAMILY RESIDENTIAL LOTS		2.93 AC
AREA IN APPROX. 80'X120' SINGLE FAMILY RESIDENTIAL LOTS		1.35 AC
AREA IN APPROX. 30'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOTS		10.54 AC
AREA IN APPROX. 35'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOTS		6.52 AC
AREA IN REAR -LOADED TOWNHOUSE LOTS		5.45 AC
TOTAL AREA IN OPEN SPACE	39.88%	17.77 AC
AREA IN COMMON OPEN SPACE	32.07%	14.29 AC
AREA IN PRIVATE ALLEY EASEMENTS		3.48 AC
TOTAL UNITS PROPOSED	259	4.27 UN/AC
"60" SINGLE FAMILY	17	
"80" SINGLE FAMILY	6	
"30" REAR-LOADED SINGLE FAMILY	104	
"35" REAR-LOADED SINGLE FAMILY	55	
REAR-LOADED TOWNHOUSE	77	

*ACTIVE/PASSIVE RECREATIONAL OPEN SPACE TO BE DETERMINED, SHALL MEET THE REQUIREMENTS SET FORTH IN UDO SECTION 11.2.A



VICINITY MAP

1"= 500'

SHEET LIST

SHEET #	SHEET TITLE
C0.00	COVER SHEET
C1.00	OVERALL EXISTING CONDITIONS PLAN
C1.01	EXISTING CONDITIONS PLAN
C1.02	EXISTING CONDITIONS PLAN
C1.03	EXISTING CONDITIONS PLAN
C1.04	EXISTING CONDITIONS PLAN
C2.00	OVERALL PRELIMINARY SITE LAYOUT PLAN
C2.01	PRELIMINARY SITE LAYOUT PLAN
C2.02	PRELIMINARY SITE LAYOUT PLAN
C2.03	PRELIMINARY SITE LAYOUT PLAN
C2.04	PRELIMINARY SITE LAYOUT PLAN
C2.10	CONNECTIVITY INDEX EXHIBIT
C5.00	PRELIMINARY POST-DEVELOPMENT STORMWATER MANAGEMENT PLAN
C6.00	SAMPLE UNITS

GENERAL NOTES:

- THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
- THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- PLANEMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
- WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
- STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.

NOT FOR
 CONSTRUCTION
 FOR REVIEW
 ONLY

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS



VERTICAL DATUM - NAVD88
 HORIZONTAL DATUM - NAD83

REVISIONS:	SUBMITTAL DATE:	7/21/2023	SHEET #
TOWN COMMENTS		12/14/2023	
			C0.00
RELEASED FOR CONSTRUCTION DATE:		NOT RELEASED	

SHEET C1.01 SHEET C1.02

BOUNDARY LINE TABLE ADJACENT OWNERS TABLE:

LINE	BEARING	DISTANCE
L1	S15°42'50"E	9.80
L2	N0°30'10"W	30.03
L3	N31°50'49"E	52.05
L4	S80°24'02"E	91.11
L5	N21°55'14"E	83.86
L6	S60°36'45"E	60.54
L7	S21°43'40"W	92.11
L8	S74°24'51"E	82.66
L9	S74°24'51"E	1.95
L10	S76°54'00"E	2.76
L11	S76°54'00"E	49.17
L12	S77°51'31"E	3.43
L13	S78°48'54"E	60.00
L14	N00°02'04"W	20.35
L15	S78°32'43"E	60.04
L16	S00°01'46"E	59.94
L17	S03°42'52"W	88.30
L18	S15°11'51"W	84.03
L19	S92°14'21"W	83.98
L20	S45°11'53"E	28.61

LOT NUMBER	PIN NUMBER	OWNER	ADDRESS	DEED BOOK	DEED PAGE
1	1755-78-0571	LOGAN ANNE MAE LOGAN, ERNEST JR	1628 QUIET OAKS RD KNIGHTDALE NC 27545-3312	18195	279
2	1755-78-0583	EDWARDS PAUL EDWARDS, CYNTHIA S	1618 QUIET OAKS RD KNIGHTDALE NC 27545-3312	12561	1743
3	1755-78-0574	BROWN THEODORE BROWN, DEBRA A	1608 QUIET OAKS RD KNIGHTDALE NC 27545-3312	3644	238
4	1755-77-0170	BROWN THEODORE BROWN, DEBRA A	1608 QUIET OAKS RD KNIGHTDALE NC 27545-3312	3653	432
5	1755-77-0174	PERRELL CHARLES E PERRELL, DOROTHY	1608 QUIET OAKS RD KNIGHTDALE NC 27545-3312	18401	783
6	1755-77-0536	PERRY HENRY O	HAL O PERRY 4721 WALDEN POND DR APT D RALEIGH NC 27604-4007	05-E	101
7	1755-77-0773	MOSE MANUEL PISSE, HELENA	801 PROSITY WAY FIBER LION NC 27847-3531	16471	257
8	1755-77-0775	MONTAGE ELOI MONTAGE, CASANDRA S	1509 QUIET OAKS RD KNIGHTDALE NC 27545-3310	4292	341
9	1755-78-0168	KAMEE WAFA KAMEE, MEDHAT	8056 BENTON HIGHTS DR RALEIGH NC 27616-4913	14061	1113
10	1755-75-1956	WATSON JOHN WILLIAM WATSON, SHIRLEY O	3740 BUFFALO RD KNIGHTDALE NC 27545-3539	11824	252
11	1755-75-4251	BOVENS PATRICIA BOVENS, HARRY T	1509 YACOBARI DR KNIGHTDALE NC 27545-3410	15001	293
12	1755-76-3537	COCHA JOSE L COCHA, SHIRLEY B	1621 QUIET OAKS RD KNIGHTDALE NC 27545-3313	5011	502
13	1755-77-3944	KNIG ALPHONSA B	1618 QUIET OAKS RD KNIGHTDALE NC 27545-3313	3592	582
14	1755-77-3193	FOSTER WILLIAM FOSTER, SELMA	6032 LORELA PARK DR RALEIGH NC 27616-1500	3421	418
15	1755-77-3943	HAWKINS TIGIE J HAWKINS, PATRICIA A	1608 QUIET OAKS RD KNIGHTDALE NC 27545-3313	4944	1126
16	1755-77-3942	LEGETTE WILHELMINE LEGETTE, CASANDRA	1601 QUIET OAKS RD KNIGHTDALE NC 27545-3313	17485	1170
17	1755-77-3187	WATSON JOHN WILLIAM WATSON, SHIRLEY O	HAL O PERRY 4721 WALDEN POND DR APT D RALEIGH NC 27604-4007	15461	211
18	1755-78-2047	WATKINS WILLE JEAN DEWBERRY BULLY WAYNE	1508 QUIET OAKS RD KNIGHTDALE NC 27545-3311	2544	840
19	1755-78-2011	HINTON LULA MAE	8742 BUFFALO RD KNIGHTDALE NC 27545-3539	2024	244
20	1755-78-1121	NAP ANDREA NAP, JERRY M	8808 WILSON DR RALEIGH NC 27616-2023	12205	278
21	1755-78-8110	AD HOME IMPROVEMENT LLC	6028 PAO CAN DR RALEIGH NC 27610-1176	11703	2238
22	1755-78-3140	JOSE JESU L J	G/O WILCO F 3009E YAMHARAV PR KNIGHTDALE NC 27545-7472	233	202
23	1755-88-0004	DEWBERRY HANBY DEWBERRY, MILDRED F	8323 BUFFALO RD KNIGHTDALE NC 27545-3539	1819	48
24	1755-87-1130	HART ARTHUR L HART, SHARON J	8224 BUFFALO RD KNIGHTDALE NC 27545-3539	19420	1769
25	1755-87-3196	PERRY BONNIE J	DO BOX 1211 KNIGHTDALE NC 27545-1211	18420	1110
26	1755-87-4489	HART ARTHUR L HART, SHARON J	8324 BUFFALO RD KNIGHTDALE NC 27545-3539	19420	1769
27	1755-87-6366	WINSTON SHAMAE D	3019 ROXBURG RD ZEBULON NC 27847-1706	17943	2634
28	1755-87-6624	CARPENTER CHERYL W	8826 BUFFALO RD KNIGHTDALE NC 27545-3539	11505	1262
29	1755-87-1812	MCDONALD W N W	1509 BOBBITT DR KNIGHTDALE NC 27545-3934	101-E	188
30	1755-87-1853	PERRY BONNIE J	DO BOX 1211 KNIGHTDALE NC 27545-1211	1641	60-E
31	1755-87-3124	ROBT NC PROPERTIES LLC	3137 SUNCREST VILLAGE LN RALEIGH NC 27616-3562	19274	467
32	1755-87-4491	HARRIS JAMES J	1509 BOBBITT DR KNIGHTDALE NC 27545-3934	09-E	44
33	1755-87-4581	PERRELL CHARLES E PERRELL, DOROTHY	1508 BOBBITT DR KNIGHTDALE NC 27545-3935	2011	132
34	1755-87-1322	MICHELL GWENGOYN	1509 BOBBITT DR KNIGHTDALE NC 27545-3934	10-E	329
35	1755-87-4517	HARRIS JAMES J	1509 BOBBITT DR KNIGHTDALE NC 27545-3934	09-E	44
36	1755-87-6304	BOBBITT GLADYS JONES	2313 HORTON DR KNIGHTDALE NC 27545-3942	19-E	4333
37	1755-87-3142	ARRINGTON CHARLENE SMITH	5100 N HILLS DR RALEIGH NC 27612-4010	12302	486
38	1755-87-3141	BOBBITT CHARLENE SMITH	2313 HORTON DR KNIGHTDALE NC 27545-3934	19-E	4333
39	1755-86-3844	BOBBITT DOUGLAS WAYNE BOBBITT, ANN J	1608 GOTTON DR KNIGHTDALE NC 27545-4800	15334	64
40	1755-86-3128	MACE SEBASTO QUINCY MACE, MARY R	9728 WOOD PL KNIGHTDALE NC 27545-7474	18160	1281
41	1755-86-3844	MACE SEBASTO QUINCY MACE, MARY R	9728 WOOD PL KNIGHTDALE NC 27545-7474	18160	1281
42	1755-87-8024	KING MARY FRANCES HERB	AARON DUNN JR 1601 GOTTON DR KNIGHTDALE NC 27545-4880	11-E	3261
43	1755-86-6917	BARNEZ JAMES R BARNEZ, JANET D	1604 GOTTON DR KNIGHTDALE NC 27545-4800	2225	525
44	1755-86-3844	RUBO LUCO GIO CAROLAN RUBO, HIRSHAK NOELIA	1601 GOTTON DR KNIGHTDALE NC 27545-4800	15334	71
45	1755-86-2418	ORTLAND JOHN W DEBENT, ANSALA L	2204 HORTON DR KNIGHTDALE NC 27545-3884	8471	1251
46	1755-86-3116	ARRINGTON WARREN H JR	1701 PROOC RIDGE LN KNIGHTDALE NC 27545-7916	14500	1053
47	1755-86-2220	WARNER MARTHA WARNER, TRACY LANE	1701 PROOC RIDGE LN KNIGHTDALE NC 27545-7916	15332	324
48	1755-86-4118	RUSCO JOSEPH L RUSCO, MICHELLE W	9001 HORTON HILL DR KNIGHTDALE NC 27545-8185	12416	1804
49	1755-86-1230	WILLIAMS WANNY	4644 WINTERWOOD DR RALEIGH NC 27613-6411	18640	2153
50	1755-86-1607	DEBENT PARRIS LLC	3111 151 AVE KNIGHTDALE NC 27545-8504	12019	3247

SURVEY LINETYPES

	PROPERTY LINE		UNDERGROUND POWER
	P/L NOT SURVEYED		FIBER OPTIC/COMMUNICATION
	EASEMENT		TRAFFIC SIGNAL
	ADJOINER		WATER LINE
	FENCE LINE		UNDERGROUND TELEPHONE
	SANITARY SEWER		100 YR FLOODPLAIN
	STORM SEWER		GUARD RAIL

SURVEY SYMBOL LEGEND

	AC UNIT		GUY WIRE		WATER LINE
	BACK FLOW VALVE		IRRIGATION VALVE		WATER LINE HOTBOX
	BOLLARD		LIGHT POLE		WATER LINE MANHOLE
	CABLE PEDESTAL		OVERHANG		WATER METER
	CABLE VAULT		OVERHEAD ELECTRIC		WATER VALVE
	CATCH BASIN		REINFORCED CONCRETE DRAINAGE PIPE		WELL
	CLEAN OUT		SEWER MANHOLE		YARD INLET
	COMMUNICATION BOX		STORM MANHOLE		PROPERTY CORNERS
	CURB INLET		STORM JUNCTION BOX		CONC MONUMENT SET
	ELECTRIC BOX		SWAMP		CONC MONUMENT FOUND
	ELECTRICAL VAULT		TELEPHONE PEDESTAL		PROP CORNER FOUND
	FIRE HYDRANT		TELEPHONE MANHOLE		COMPUTED POINT
	FENCE LINE		TEMPORARY BENCHMARK		CONTROL CORNER
	FIBER OPTIC		TREE		IRON PIPE SET
	FIBER OPTIC VAULT		UNDERGROUND ELECTRIC		IRON PIPE FOUND
	FLARED END SECTION		UNDERGROUND POWER		HATCH LEGEND
	GAS		UNDERGROUND TELEPHONE		TRASH/DEBRIS
	GAS VALVE		UTILITY POLE		EXISTING R/RPAP
	GRATED INLET				

GENERAL NOTES:

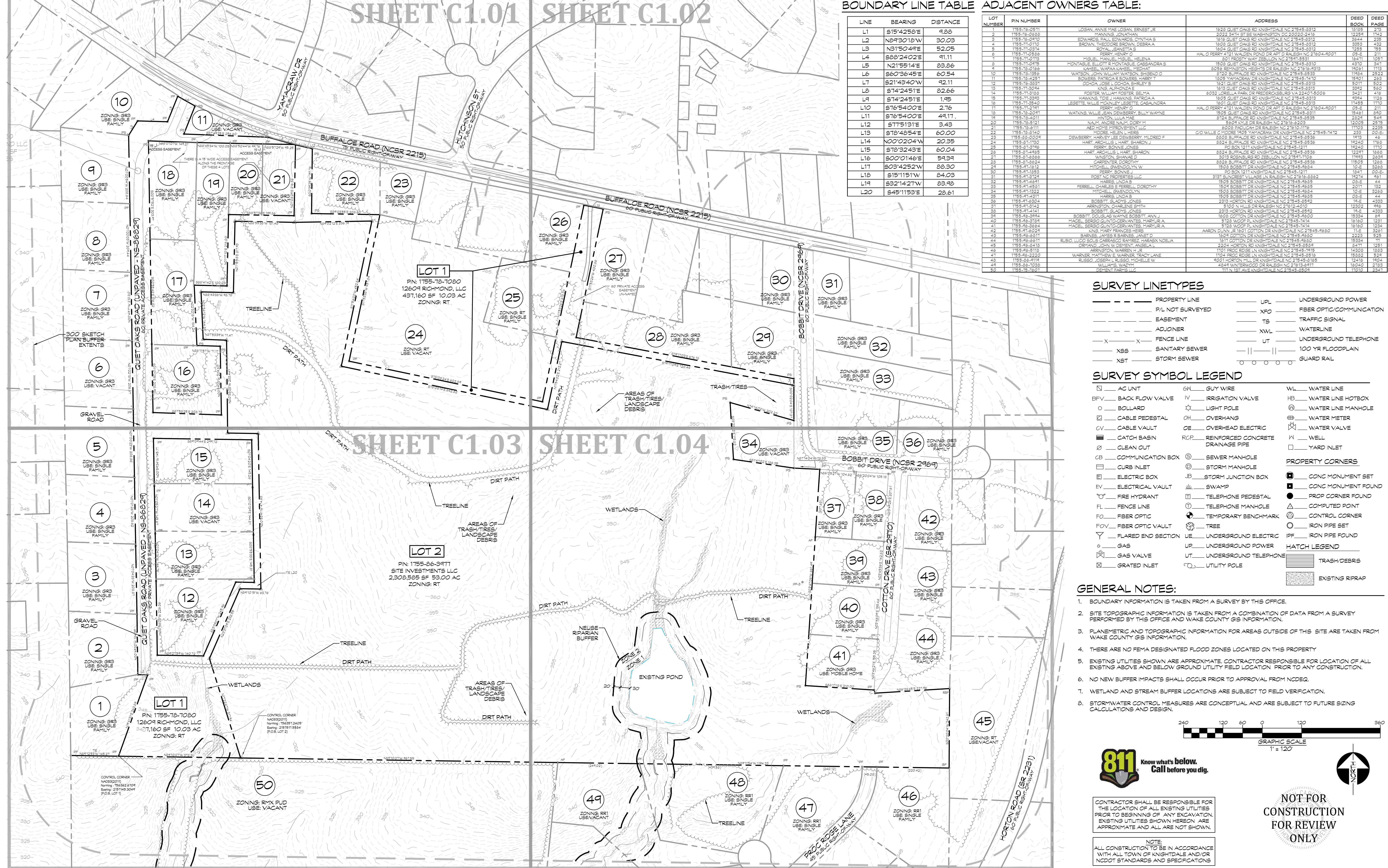
- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDPQ.
- WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
- STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR CONSTRUCTION FOR REVIEW ONLY



TERRAVITA

SCALE: 1"=120'

DATE: JULY 21, 2023

PROJECT NUMBER: 2016-012.004

CLIENT: SITE INVESTMENTS, LLC

PLAN TYPE: SKETCH PLAN REVIEW

OVERALL EXISTING CONDITIONS PLAN

TOWN COMMENTS: 12/14/2023

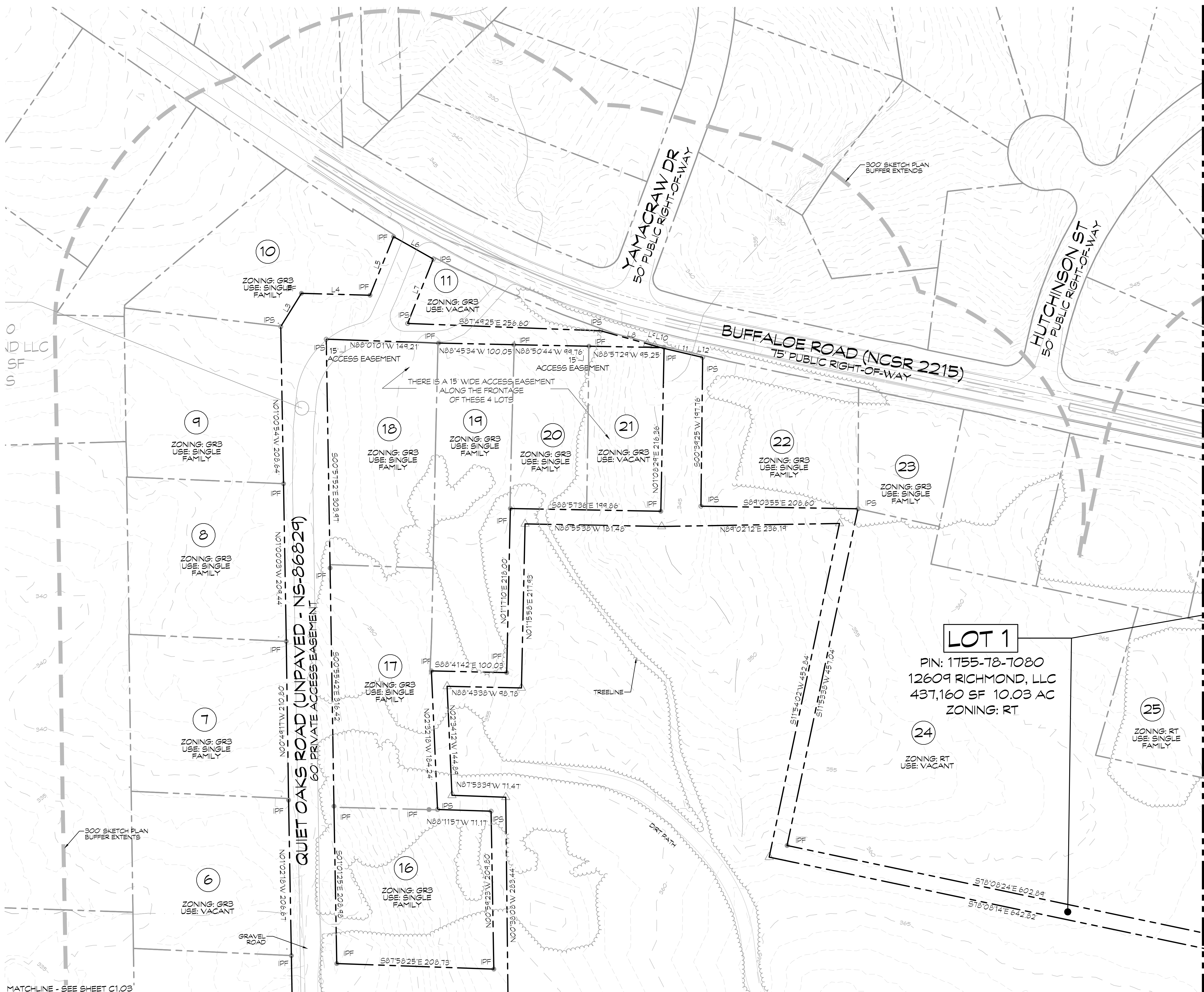
RELEASED FOR CONSTRUCTION DATE: (SEE COVER) NO DYES

PRIEST, CRAVEN & ASSOCIATES, INC.

LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 • Phone 919 / 781-0300, Fax 919 / 782-1288, Email PCAP@PriestCraven.com / Firm #: C-0488

SHEET # **C1.00**



SURVEY LINETYPES

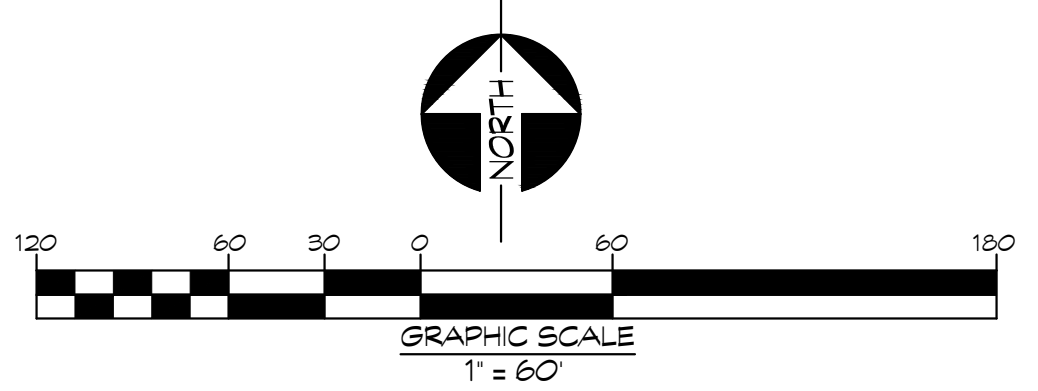
---	PROPERTY LINE
- - -	P/L NOT SURVEYED
- - - -	EASEMENT
- - - - -	ADJOINER
- x - x -	FENCE LINE
- X S S -	SANITARY SEWER
- X S T -	STORM SEWER
- U P L -	UNDERGROUND POWER
- X F O -	FIBER OPTIC COMMUNICATION
- T S -	TRAFFIC SIGNAL
- X W L -	WATERLINE
- U T -	UNDERGROUND TELEPHONE
- -	100 YR FLOODPLAIN
- 0 0 0 0 -	GUARD RAIL

SURVEY SYMBOL LEGEND

□ AC UNIT	GN GUY WIRE	WL WATER LINE
BFV BACK FLOW VALVE	IV IRRIGATION VALVE	HB WATER LINE HOTBOX
○ BOLLARD	☆ LIGHT POLE	⊗ WATER LINE MANHOLE
⊠ CABLE PEDESTAL	OH OVERHANG	⊕ WATER METER
CV CABLE VAULT	OE OVERHEAD ELECTRIC	⊗ WATER VALVE
CB CATCH BASIN	RCP REINFORCED CONCRETE DRAINAGE PIPE	W WELL
⊘ CLEAN OUT	⊙ SEWER MANHOLE	□ YARD INLET
CB COMMUNICATION BOX	⊙ STORM MANHOLE	PROPERTY CORNERS
CI CURB INLET	JB STORM JUNCTION BOX	■ CONC MONUMENT SET
EB ELECTRICAL BOX	SW SWAMP	■ CONC MONUMENT FOUND
EV ELECTRICAL VAULT	TP TELEPHONE PEDESTAL	● PROP CORNER FOUND
FD FIRE HYDRANT	TM TELEPHONE MANHOLE	△ COMPUTED POINT
FL FENCE LINE	⊙ TEMPORARY BENCHMARK	⊙ CONTROL CORNER
FO FIBER OPTIC	⊙ TREE	○ IRON PIPE SET
FOV FIBER OPTIC VAULT	UE UNDERGROUND ELECTRIC	IPF IRON PIPE FOUND
FE FLARED END SECTION	UP UNDERGROUND POWER	HATCH LEGEND
G GAS	UT UNDERGROUND TELEPHONE	▨ TRASH/DEBRIS
GV GAS VALVE	UQ UTILITY POLE	▨ EXISTING RIPRAP
GI GRATED INLET		

GENERAL NOTES:

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCEQ.
- WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
- STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



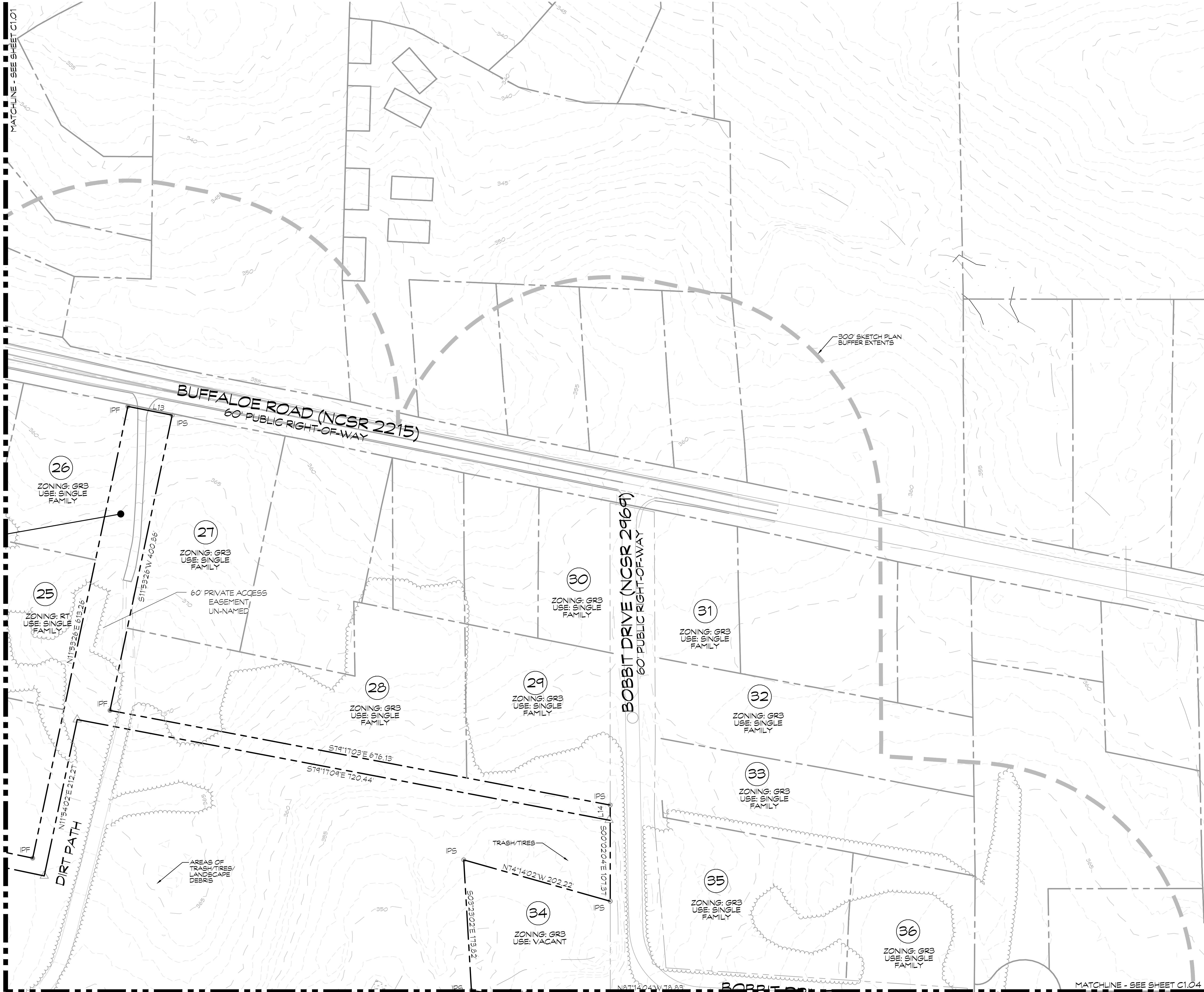
CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR CONSTRUCTION FOR REVIEW ONLY

MATCHLINE - SEE SHEET C1.03

<h1>TERRAVITA</h1>	SCALE: 1"=60'	<h2>EXISTING CONDITIONS PLAN</h2>	TOWN COMMENTS: 12/14/2023	<h1>PRIEST, CRAVEN & ASSOCIATES, INC.</h1> <p style="font-size: x-small;">LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS</p>	SHEET #
	DATE: JULY 21, 2023 PROJECT NUMBER: 2016-012.004 CLIENT: SITE INVESTMENTS, LLC PLAN TYPE: SKETCH PLAN REVIEW		RELEASED FOR CONSTRUCTION DATE: (SEE COVER) NO DYES		3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 • Phone 919 / 781-0300, Fax 919 / 782-1288 • Email PCA@PriestCraven.com / Firm #: C-0488



SURVEY LINETYPES

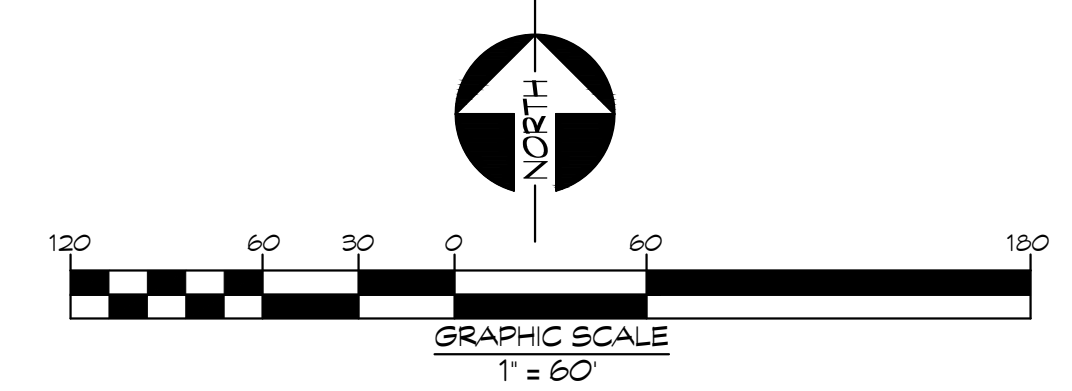
---	PROPERTY LINE
- - - -	P/L NOT SURVEYED
---	EASEMENT
- - - -	ADJOINER
- x - x -	FENCE LINE
- x s s -	SANITARY SEWER
- x s t -	STORM SEWER
- u p l -	UNDERGROUND POWER
- x f o -	FIBER OPTIC/COMMUNICATION
- t s -	TRAFFIC SIGNAL
- x w l -	WATERLINE
- u t -	UNDERGROUND TELEPHONE
- - -	100 YR FLOODPLAIN
- o o o o -	GUARD RAIL

SURVEY SYMBOL LEGEND

□ AC UNIT	GN GUY WIRE	WL WATER LINE
BFV BACK FLOW VALVE	IV IRRIGATION VALVE	HB WATER LINE HOTBOX
○ BOLLARD	☆ LIGHT POLE	⊗ WATER LINE MANHOLE
□ CABLE PEDESTAL	OH OVERHANG	⊕ WATER METER
CV CABLE VAULT	OE OVERHEAD ELECTRIC	⊗ WATER VALVE
■ CATCH BASIN	RCP REINFORCED CONCRETE DRAINAGE PIPE	W WELL
⊗ CLEAN OUT	⊙ SEWER MANHOLE	□ YARD INLET
⊗ COMMUNICATION BOX	⊙ STORM MANHOLE	PROPERTY CORNERS
□ CURB INLET	JB STORM JUNCTION BOX	■ CONC MONUMENT SET
□ ELECTRIC BOX	SW SWAMP	■ CONC MONUMENT FOUND
EV ELECTRICAL VAULT	⊕ TELEPHONE PEDESTAL	● PROP CORNER FOUND
⊕ FIRE HYDRANT	⊕ TELEPHONE MANHOLE	△ COMPUTED POINT
FL FENCE LINE	⊕ TEMPORARY BENCHMARK	⊙ CONTROL CORNER
FO FIBER OPTIC	⊕ TREE	○ IRON PIPE SET
FOV FIBER OPTIC VAULT	UE UNDERGROUND ELECTRIC	IPF IRON PIPE FOUND
∇ FLARED END SECTION	UP UNDERGROUND POWER	HATCH LEGEND
g GAS	UT UNDERGROUND TELEPHONE	▨ TRASH/DEBRIS
⊕ GAS VALVE	⊕ UTILITY POLE	▨ EXISTING RIPRAP
⊕ GRATED INLET		

GENERAL NOTES:

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE, CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
- WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
- STORM-WATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

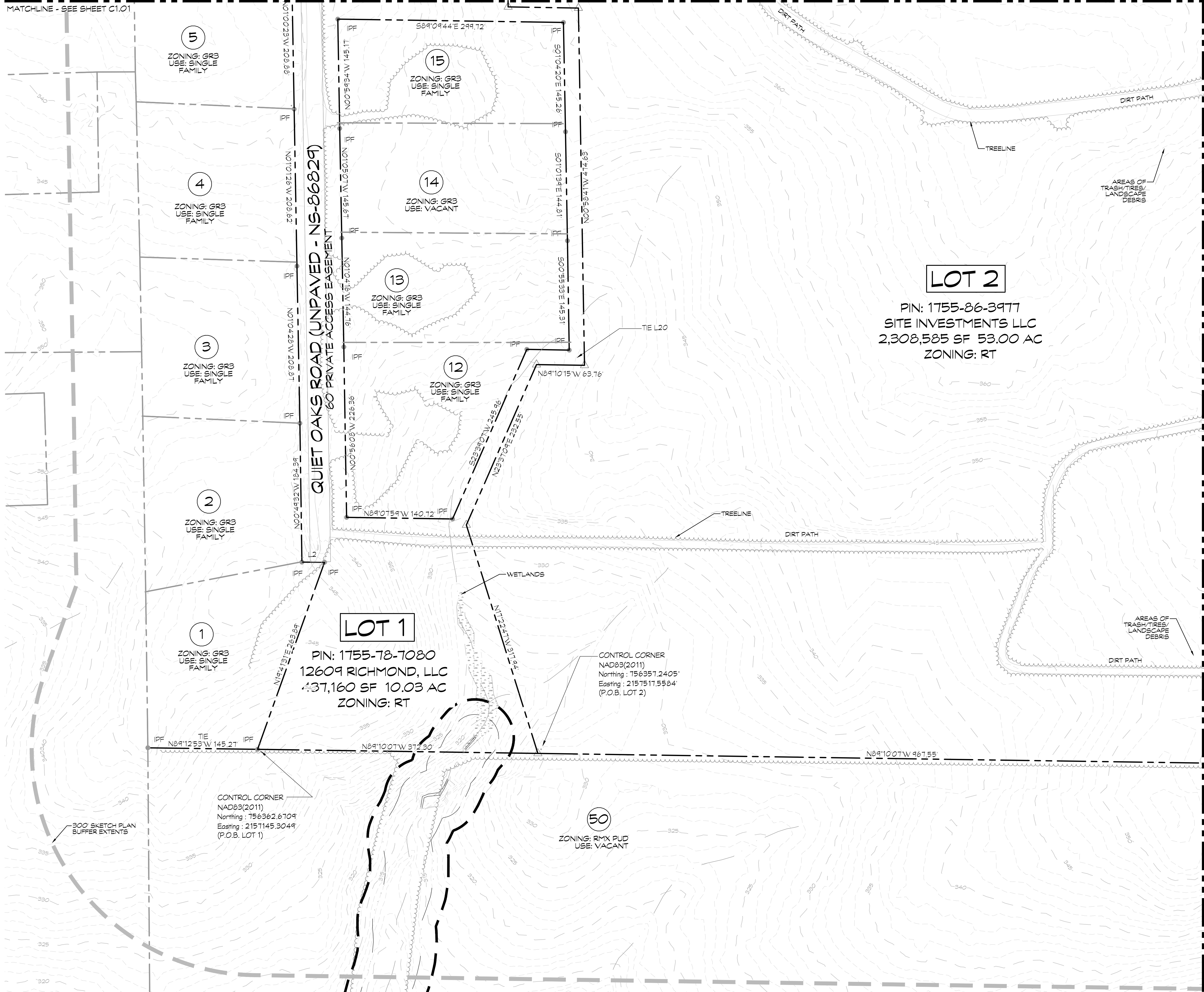
NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR CONSTRUCTION FOR REVIEW ONLY

<p>TERRAVITA</p> <p>TOWN OF KNIGHTDALE NORTH CAROLINA</p>	<p>SCALE: 1"=60'</p> <p>DATE: JULY 21, 2023</p> <p>PROJECT NUMBER: 2016-012.004</p> <p>CLIENT: SITE INVESTMENTS, LLC</p> <p>PLAN TYPE: SKETCH PLAN REVIEW</p>	<p>EXISTING CONDITIONS PLAN</p>	<p>TOWN COMMENTS: 12/14/2023</p> <p>RELEASED FOR CONSTRUCTION DATE: (SEE COVER) <input type="checkbox"/> NO DYES</p>	<p>PRIEST, CRAVEN & ASSOCIATES, INC.</p> <p>LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS</p> <p>3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488</p>	<p>SHEET #</p> <p>C1.02</p>
--	---	--	--	--	-----------------------------

V:\P\B\B\ENGINEERING\LAND PROJECTS\2023-002.D01 TERRAVITA - KNIGHTDALE\DRAWINGS\GHEB\SKETCH PLAN_C1.02-EXISTING CONDITIONS.DWG - Dwg 14_2023 - 5-42.PLT

MATCHLINE - SEE SHEET C1.01



SURVEY LINETYPES

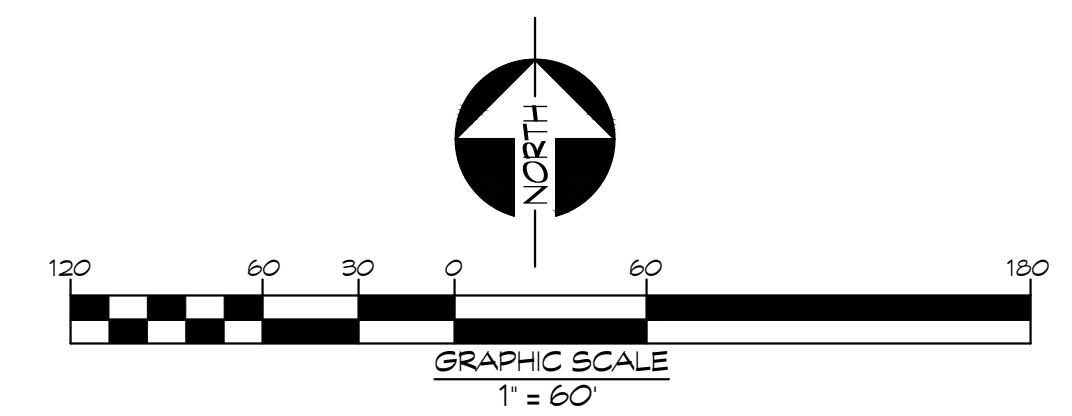
---	PROPERTY LINE
- - -	P/L NOT SURVEYED
---	EASEMENT
---	ADJOINER
-x-x-	FENCE LINE
-xss-	SANITARY SEWER
-xst-	STORM SEWER
-upl-	UNDERGROUND POWER
-xfo-	FIBER OPTIC/COMMUNICATION
-ts-	TRAFFIC SIGNAL
-xwl-	WATERLINE
-ut-	UNDERGROUND TELEPHONE
- -	100 YR FLOODPLAIN
-o-o-o-	GUARD RAIL

SURVEY SYMBOL LEGEND

AC UNIT	GUY WIRE	WATER LINE
BACK FLOW VALVE	IRRIGATION VALVE	WATER LINE HOTBOX
BOLLARD	LIGHT POLE	WATER LINE MANHOLE
CABLE PEDESTAL	OVERHANG	WATER METER
CABLE VAULT	OVERHEAD ELECTRIC	WATER VALVE
CATCH BASIN	REINFORCED CONCRETE DRAINAGE PIPE	WELL
CLEAN OUT	SEWER MANHOLE	YARD INLET
COMMUNICATION BOX	STORM MANHOLE	PROPERTY CORNERS
CURB INLET	STORM JUNCTION BOX	CONC MONUMENT SET
ELECTRIC BOX	SWAMP	CONC MONUMENT FOUND
ELECTRICAL VAULT	TELEPHONE PEDESTAL	PROP CORNER FOUND
FIRE HYDRANT	TELEPHONE MANHOLE	COMPUTED POINT
FENCE LINE	TEMPORARY BENCHMARK	CONTROL CORNER
FIBER OPTIC	TREE	IRON PIPE SET
FIBER OPTIC VAULT	UNDERGROUND ELECTRIC	IRON PIPE FOUND
FLARED END SECTION	UNDERGROUND POWER	HATCH LEGEND
GAS	UNDERGROUND TELEPHONE	TRASH/DEBRIS
GAS VALVE	UTILITY POLE	EXISTING RIPRAP
GRATED INLET		

GENERAL NOTES:

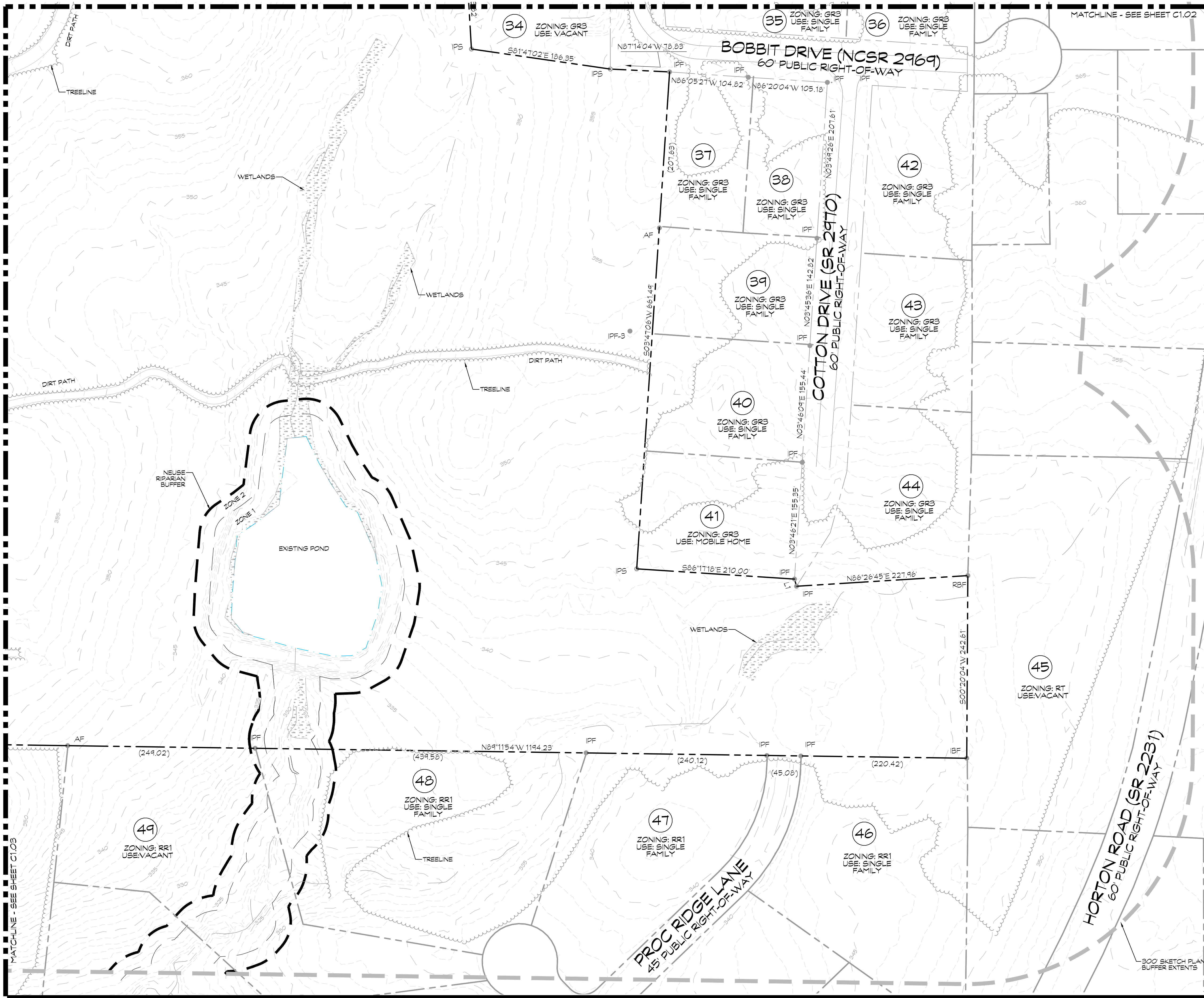
- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
- WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
- STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR CONSTRUCTION FOR REVIEW ONLY



SURVEY LINETYPES

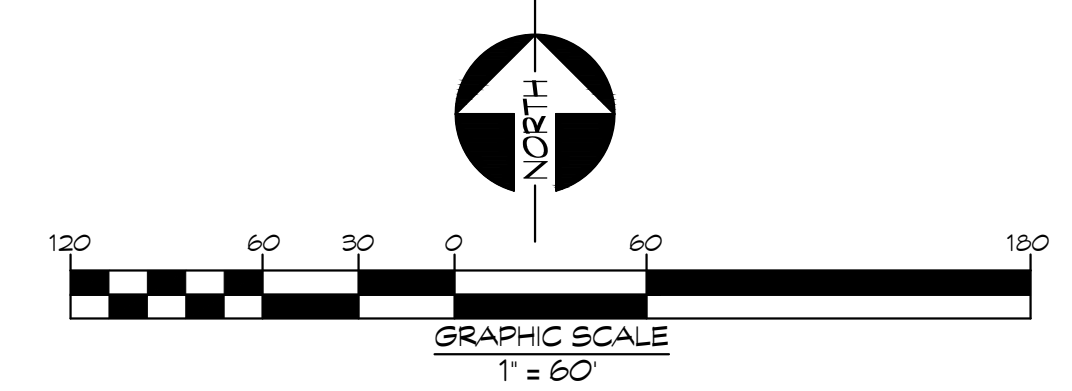
---	PROPERTY LINE
- - -	P/L NOT SURVEYED
---	EASEMENT
- - -	ADJOINER
- x - x -	FENCE LINE
- x s s -	SANITARY SEWER
- x s t -	STORM SEWER
- u p l -	UNDERGROUND POWER
- x f o -	FIBER OPTIC COMMUNICATION
- t s -	TRAFFIC SIGNAL
- x w l -	WATERLINE
- u t -	UNDERGROUND TELEPHONE
- - -	100 YR FLOODPLAIN
- o o o -	GUARD RAIL

SURVEY SYMBOL LEGEND

AC UNIT	GUY WIRE	WATER LINE
BACK FLOW VALVE	IRRIGATION VALVE	WATER LINE HOTBOX
BOLLARD	LIGHT POLE	WATER LINE MANHOLE
CABLE PEDESTAL	OVERHANG	WATER METER
CABLE VAULT	OVERHEAD ELECTRIC	WATER VALVE
CATCH BASIN	REINFORCED CONCRETE DRAINAGE PIPE	WELL
CLEAN OUT	SEWER MANHOLE	YARD INLET
COMMUNICATION BOX	STORM MANHOLE	PROPERTY CORNERS
CURB INLET	STORM JUNCTION BOX	CONC MONUMENT SET
ELECTRIC BOX	SWAMP	CONC MONUMENT FOUND
ELECTRICAL VAULT	TELEPHONE PEDESTAL	PROP CORNER FOUND
FIRE HYDRANT	TELEPHONE MANHOLE	COMPUTED POINT
FENCE LINE	TEMPORARY BENCHMARK	CONTROL CORNER
FIBER OPTIC	TREE	IRON PIPE SET
FIBER OPTIC VAULT	UNDERGROUND ELECTRIC	IRON PIPE FOUND
FLARED END SECTION	UNDERGROUND POWER	HATCH LEGEND
GAS	UNDERGROUND TELEPHONE	TRASH/DEBRIS
GAS VALVE	UTILITY POLE	EXISTING RIPRAP
GRATED INLET		

GENERAL NOTES:

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
- PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
- THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
- NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NDEG.
- WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
- STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR CONSTRUCTION FOR REVIEW ONLY

TERRAVITA

SCALE:	1"=60'
DATE:	JULY 21, 2023
PROJECT NUMBER:	2016-012.004
CLIENT:	SITE INVESTMENTS, LLC
PLAN TYPE:	SKETCH PLAN REVIEW

EXISTING CONDITIONS PLAN

TOWN COMMENTS:	12/14/2023
RELEASED FOR CONSTRUCTION DATE: (SEE COVER)	NO DYES

PRIEST, CRAVEN & ASSOCIATES, INC.
 LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS

SHEET #
C1.04

SHEET C2.01 SHEET C2.02

BUILDING SETBACK TABLE

SETBACK TYPE	MIN	MAX
SINGLE FAMILY BUILDING SETBACKS		
FRONT	10 FT	N/A
CORNER SIDE	10 FT	N/A
SIDE YARD SETBACK	20%	N/A
REAR YARD SETBACK	25 FT	N/A
TOWNHOME BUILDING SETBACKS		
FRONT	0 FT	25 FT
SIDE YARD SETBACK	10 FT	N/A
REAR YARD SETBACK	15 FT	N/A

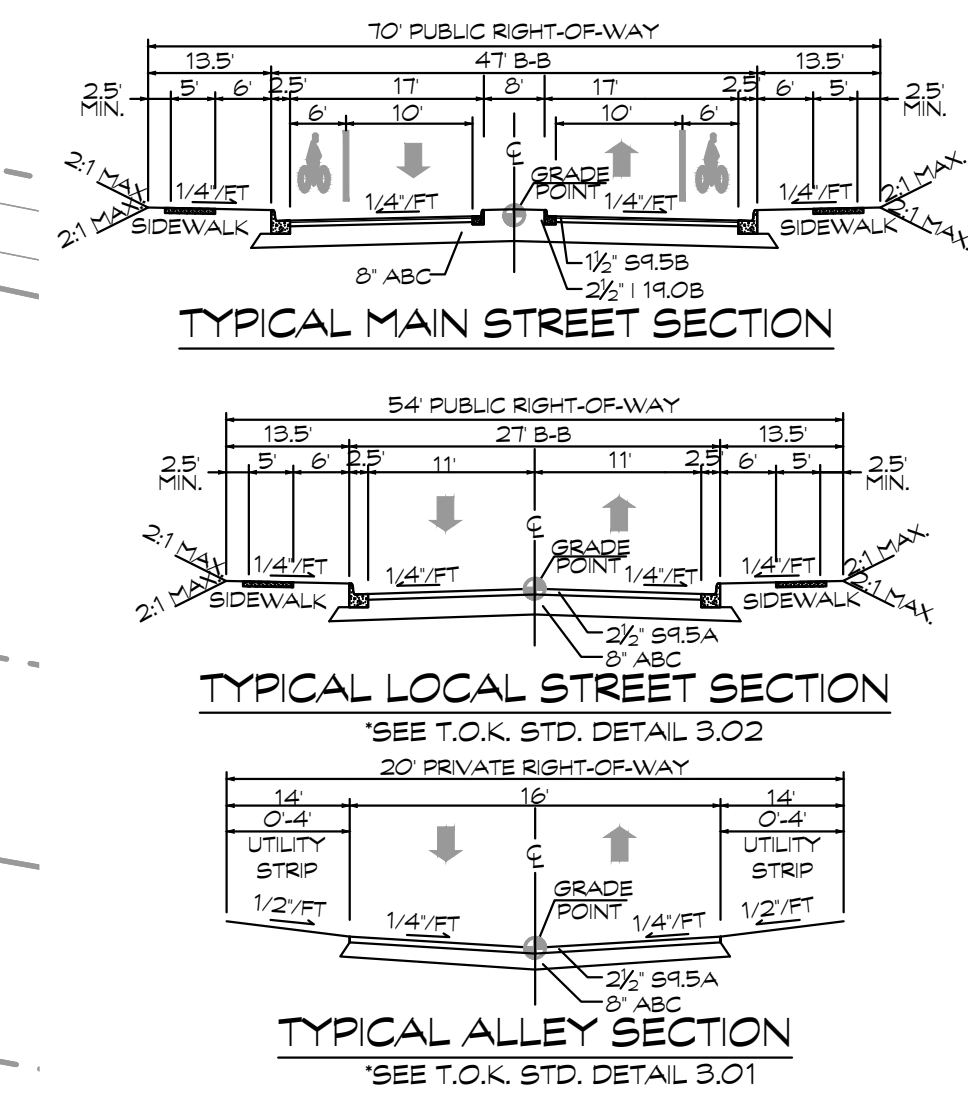
*20% OF LOT WIDTH, SIDE SETBACK SHALL BE CALCULATED AS AN AGGREGATE. LOTS GREATER THAN OR EQUAL TO 60' IN WIDTH SHALL HAVE MINIMUM SETBACK OF 5'. LOTS LESS THAN 60' IN WIDTH SHALL HAVE A MINIMUM SETBACK OF 3'. SIDE YARDS OF CORNER LOTS SHALL BE A "IF PARTWALL EXISTS, 0' SIDE YARD MIN.

LOT AREA CALCULATIONS

AREA TYPE	PERCENTAGE
GROSS SITE AREA	60.88 AC
AREA IN INTERNAL PUBLIC STREET RIGHT-OF-WAY	13.40 AC
AREA IN EXISTING ACCESS EASEMENT	2.72 AC
NET SITE AREA	44.56 AC
AREA IN APPROX. 60'X120' SINGLE FAMILY RESIDENTIAL LOTS	2.93 AC
AREA IN APPROX. 80'X120' SINGLE FAMILY RESIDENTIAL LOTS	1.35 AC
AREA IN APPROX. 30'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOTS	10.54 AC
AREA IN APPROX. 35'X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOTS	6.52 AC
AREA IN REAR-LOADED TOWNHOUSE LOTS	5.45 AC
TOTAL AREA IN OPEN SPACE	39.88%
AREA IN COMMON OPEN SPACE	32.07%
AREA IN PRIVATE ALLEY EASEMENTS	
TOTAL UNITS PROPOSED	259
60' SINGLE FAMILY	17
80' SINGLE FAMILY	6
30' REAR-LOADED SINGLE FAMILY	104
35' REAR-LOADED SINGLE FAMILY	55
REAR-LOADED TOWNHOUSE	77

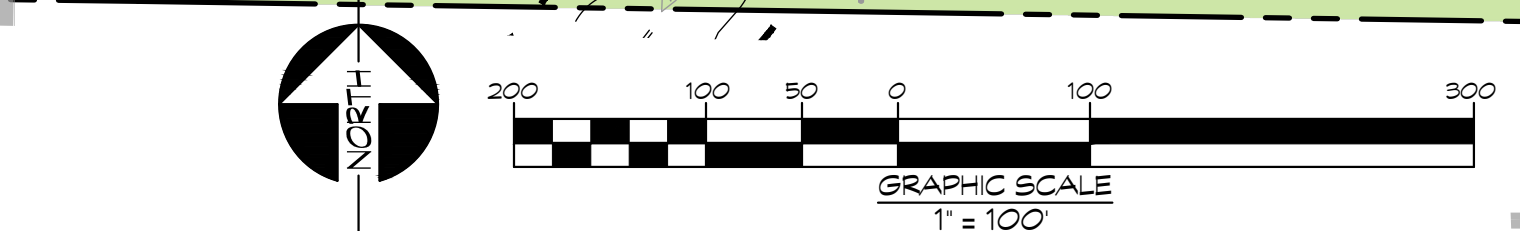
LOT AREA TABLE

LOT #	(AC)	(SF)	LOT #	(AC)	(SF)	LOT #	(AC)	(SF)	LOT #	(AC)	(SF)
1	0.15	6,475	67	0.13	5,466	133	0.17	7,566	199	0.06	2,422
2	0.13	5,605	68	0.10	4,192	134	0.11	4,900	200	0.05	3,431
3	0.16	7,061	69	0.10	4,155	135	0.11	4,900	201	0.04	3,332
4	0.13	5,739	70	0.10	4,149	136	0.11	4,900	202	0.06	2,420
5	0.04	3,900	71	0.10	4,149	137	0.11	4,900	203	0.08	3,517
6	0.04	3,900	72	0.10	4,165	138	0.11	4,959	204	0.10	4,431
7	0.04	3,900	73	0.10	4,197	139	0.11	4,999	205	0.06	2,677
8	0.04	3,900	74	0.10	4,200	140	0.11	4,979	206	0.06	2,640
9	0.04	3,900	75	0.10	4,200	141	0.11	5,002	207	0.06	2,640
10	0.04	3,900	76	0.10	4,200	142	0.14	6,191	208	0.06	2,640
11	0.04	3,900	77	0.10	4,200	143	0.16	7,065	209	0.04	3,840
12	0.13	5,715	78	0.13	5,466	144	0.12	5,067	210	0.04	3,840
13	0.10	4,453	79	0.13	5,466	145	0.12	5,145	211	0.06	2,640
14	0.10	4,432	80	0.10	4,200	146	0.12	5,057	212	0.06	2,640
15	0.10	4,413	81	0.10	4,200	147	0.11	4,964	213	0.06	2,640
16	0.10	4,394	82	0.10	4,200	148	0.11	4,914	214	0.06	2,640
17	0.11	4,965	83	0.10	4,200	149	0.11	4,900	215	0.04	3,840
18	0.11	4,905	84	0.10	4,200	150	0.11	4,900	216	0.04	3,840
19	0.10	4,300	85	0.10	4,200	151	0.11	4,900	217	0.06	2,640
20	0.10	4,281	86	0.10	4,200	152	0.11	4,900	218	0.06	2,640
21	0.10	4,262	87	0.10	4,200	153	0.11	4,900	219	0.06	2,640
22	0.13	5,793	88	0.15	6,510	154	0.11	4,900	220	0.06	2,640
23	0.14	6,065	89	0.15	6,480	155	0.11	4,900	221	0.04	3,840
24	0.11	4,995	90	0.10	4,200	156	0.11	4,900	222	0.04	3,840
25	0.11	5,000	91	0.10	4,200	157	0.11	4,900	223	0.06	2,640
26	0.11	5,000	92	0.10	4,200	158	0.11	4,955	224	0.06	2,640
27	0.11	5,000	93	0.10	4,200	159	0.10	4,471	225	0.04	3,840
28	0.11	4,900	94	0.10	4,200	160	0.06	3,981	226	0.04	3,842
29	0.11	4,900	95	0.10	4,200	161	0.06	2,933	227	0.06	2,640
30	0.11	4,900	96	0.10	4,200	162	0.06	2,933	228	0.04	3,841
31	0.11	4,900	97	0.13	5,466	163	0.06	2,642	229	0.04	3,770
32	0.11	4,900	98	0.13	5,466	164	0.04	3,940	230	0.06	2,640
33	0.11	4,900	99	0.10	4,200	165	0.04	3,915	231	0.06	2,640
34	0.11	4,900	100	0.10	4,200	166	0.04	2,681	232	0.06	2,640
35	0.11	4,900	101	0.10	4,200	167	0.06	2,672	233	0.06	2,640
36	0.11	4,900	102	0.10	4,200	168	0.04	3,844	234	0.06	2,640
37	0.11	4,900	103	0.10	4,196	169	0.04	3,831	235	0.06	2,640
38	0.11	4,900	104	0.10	4,161	170	0.06	2,640	236	0.04	3,770
39	0.11	4,900	105	0.10	4,149	171	0.06	2,640	237	0.22	9,600
40	0.11	4,900	106	0.10	4,149	172	0.06	2,640	238	0.25	10,724
41	0.11	4,900	107	0.10	4,159	173	0.06	2,640	239	0.22	9,600
42	0.11	4,900	108	0.10	4,193	174	0.06	2,640	240	0.22	9,600
43	0.11	4,900	109	0.13	5,466	175	0.04	3,840	241	0.22	9,600
44	0.10	4,404	110	0.13	5,466	176	0.04	3,840	242	0.22	9,600
45	0.08	3,623	111	0.10	4,192	177	0.06	2,640	243	0.18	8,032
46	0.04	4,014	112	0.10	4,155	178	0.06	2,640	244	0.17	7,200
47	0.10	4,351	113	0.10	4,149	179	0.06	2,640	245	0.17	7,200
48	0.10	4,471	114	0.10	4,149	180	0.06	2,640	246	0.17	7,200
49	0.10	4,464	115	0.10	4,165	181	0.04	3,871	247	0.17	7,200
50	0.10	4,438	116	0.10	4,197	182	0.04	3,927	248	0.17	7,200
51	0.10	4,403	117	0.10	4,200	183	0.06	2,645	249	0.17	7,200
52	0.10	4,378	118	0.10	4,200	184	0.06	2,640	250	0.17	7,200
53	0.10	4,351	119	0.10	4,200	185	0.06	2,691	251	0.17	7,200
54	0.10	4,323	120	0.10	4,200	186	0.06	2,623	252	0.17	7,200
55	0.10	4,228	121	0.13	5,466	187	0.04	3,806	253	0.17	7,200
56	0.10	4,200	122	0.13	5,466	188	0.04	3,956	254	0.17	7,200
57	0.10	4,172	123	0.10	4,200	189	0.06	2,804	255	0.17	7,200
58	0.10	4,144	124	0.10	4,200	190	0.07	2,911	256	0.17	7,200
59	0.04	4,116	125	0.10	4,200	191	0.07	3,050	257	0.16	7,056
60	0.04	4,130	126	0.10	4,200	192	0.07	3,221	258	0.22	8,591
61	0.10	4,149	127	0.10	4,200	193	0.11	4,993	259	0.21	8,210
62	0.10	4,149	128	0.10	4,200	194	0.06	3,211			
63	0.10	4,149	129	0.11	4,865	195	0.06	2,405			
64	0.10	4,159	130	0.11	4,900	196	0.06	2,441			
65	0.10	4,193	131	0.11	4,900	197	0.06	3,333			
66	0.13	5,466	132	0.14	6,166	198	0.06	3,525			



- ### GENERAL NOTES:
- THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
 - THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
 - BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
 - SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
 - PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
 - ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCEM STANDARDS AND SPECIFICATIONS.
 - THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
 - EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
 - NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCEM.
 - WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
 - STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.

NOT FOR CONSTRUCTION FOR REVIEW ONLY

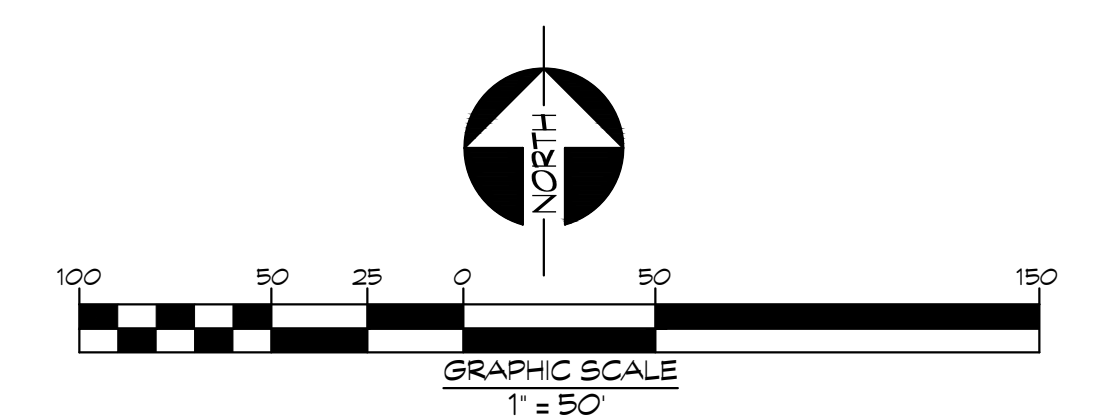




HATCH LEGEND:

[Grey Hatch]	INTERNAL PUBLIC STREET RIGHT-OF-WAY
[Light Grey Hatch]	PUBLIC STREET RIGHT-OF-WAY DEDICATION
[Pink Hatch]	EXISTING ACCESS EASEMENT
[Yellow Hatch]	60X120 SINGLE FAMILY RESIDENTIAL LOT
[Orange Hatch]	80X120 SINGLE FAMILY RESIDENTIAL LOT
[Light Orange Hatch]	30X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Purple Hatch]	35X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Blue Hatch]	REAR-LOADED TOWNHOUSE LOT
[Green Hatch]	COMMON OPEN SPACE
[Dark Grey Hatch]	PRIVATE ALLEY EASEMENT
[Light Blue Hatch]	STORMWATER CONTROL MEASURE

- GENERAL NOTES:**
1. THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
 2. THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
 3. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
 4. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
 5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
 6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
 7. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
 8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
 9. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
 10. WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
 11. STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR CONSTRUCTION FOR REVIEW ONLY

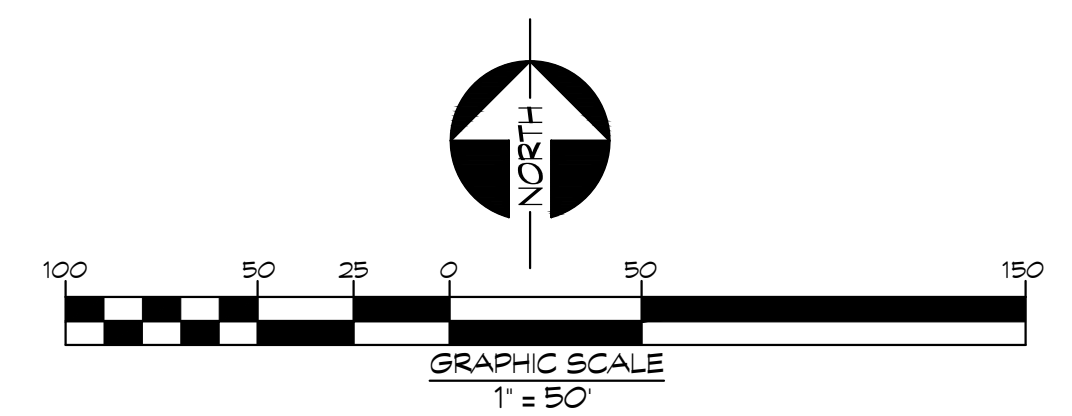
MATCHLINE - SEE SHEET C2.01



HATCH LEGEND:

	INTERNAL PUBLIC STREET RIGHT-OF-WAY
	PUBLIC STREET RIGHT-OF-WAY DEDICATION
	EXISTING ACCESS EASEMENT
	60X120' SINGLE FAMILY RESIDENTIAL LOT
	80X120' SINGLE FAMILY RESIDENTIAL LOT
	30X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
	35X140' REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
	REAR-LOADED TOWNHOUSE LOT
	COMMON OPEN SPACE
	PRIVATE ALLEY EASEMENT
	STORMWATER CONTROL MEASURE

- GENERAL NOTES:**
1. THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
 2. THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
 3. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
 4. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
 5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
 6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
 7. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
 8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
 9. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
 10. WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
 11. STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR CONSTRUCTION FOR REVIEW ONLY

<h1>TERRAVITA</h1>	SCALE: 1"=50' DATE: JULY 21, 2023 PROJECT NUMBER: 2016-012.004 CLIENT: SITE INVESTMENTS, LLC PLAN TYPE: SKETCH PLAN REVIEW	<h2>PRELIMINARY SITE LAYOUT PLAN</h2>	TOWN COMMENTS: 12/14/2023 RELEASED FOR CONSTRUCTION DATE: (SEE COVER) <input type="checkbox"/> NO DYES
TOWN OF KNIGHTDALE	NORTH CAROLINA	<h3>PRIEST, CRAVEN & ASSOCIATES, INC.</h3>	LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS 3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488
		SHEET #	C2.02

\\P\ESB\ENR\ENR\LAND\PROJECTS\2023-002\01 TERRAVITA - KNIGHTDALE\DRAWINGS\SHB\SKETCH PLAN\C2.00-SITE-LAYOUT.DWG - 14: 2023 - 9:43 PM

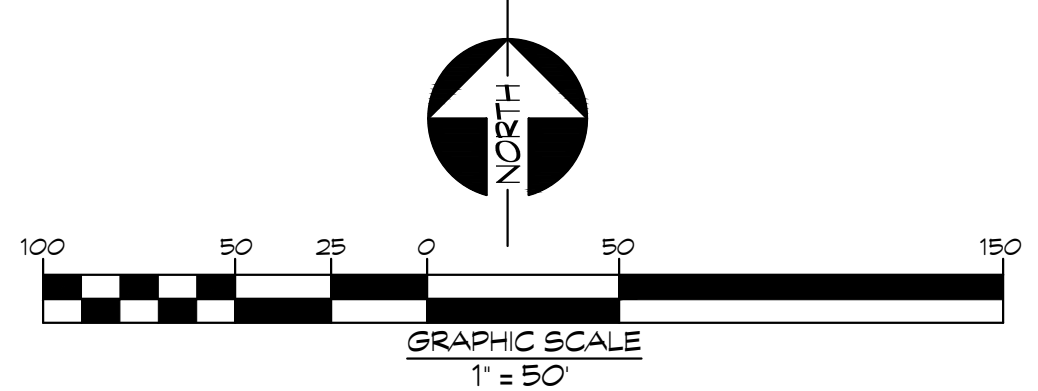
MATCHLINE - SEE SHEET C2.01



HATCH LEGEND:

[Hatched Box]	INTERNAL PUBLIC STREET RIGHT-OF-WAY
[Hatched Box]	PUBLIC STREET RIGHT-OF-WAY DEDICATION
[Hatched Box]	EXISTING ACCESS EASEMENT
[Hatched Box]	60X120 SINGLE FAMILY RESIDENTIAL LOT
[Hatched Box]	80X120 SINGLE FAMILY RESIDENTIAL LOT
[Hatched Box]	30X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Hatched Box]	35X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Hatched Box]	REAR-LOADED TOWNHOUSE LOT
[Hatched Box]	COMMON OPEN SPACE
[Hatched Box]	PRIVATE ALLEY EASEMENT
[Hatched Box]	STORMWATER CONTROL MEASURE

- GENERAL NOTES:**
1. THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
 2. THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
 3. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
 4. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
 5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
 6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCDOT STANDARDS AND SPECIFICATIONS.
 7. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
 8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
 9. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDOT.
 10. WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
 11. STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

NOT FOR CONSTRUCTION FOR REVIEW ONLY

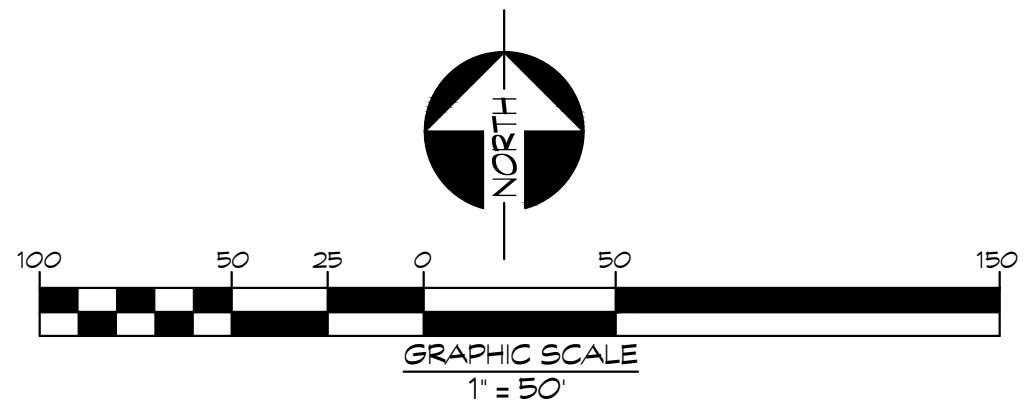


MATCHLINE - SEE SHEET C2.02

HATCH LEGEND:

[Grey Hatch]	INTERNAL PUBLIC STREET RIGHT-OF-WAY
[Light Grey Hatch]	PUBLIC STREET RIGHT-OF-WAY DEDICATION
[Pink Hatch]	EXISTING ACCESS EASEMENT
[Yellow Hatch]	60X120 SINGLE FAMILY RESIDENTIAL LOT
[Orange Hatch]	80X120 SINGLE FAMILY RESIDENTIAL LOT
[Light Blue Hatch]	30X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Purple Hatch]	35X140 REAR-LOADED SINGLE FAMILY RESIDENTIAL LOT
[Dark Blue Hatch]	REAR-LOADED TOWNHOUSE LOT
[Green Hatch]	COMMON OPEN SPACE
[Light Green Hatch]	PRIVATE ALLEY EASEMENT
[Blue Hatch]	STORMWATER CONTROL MEASURE

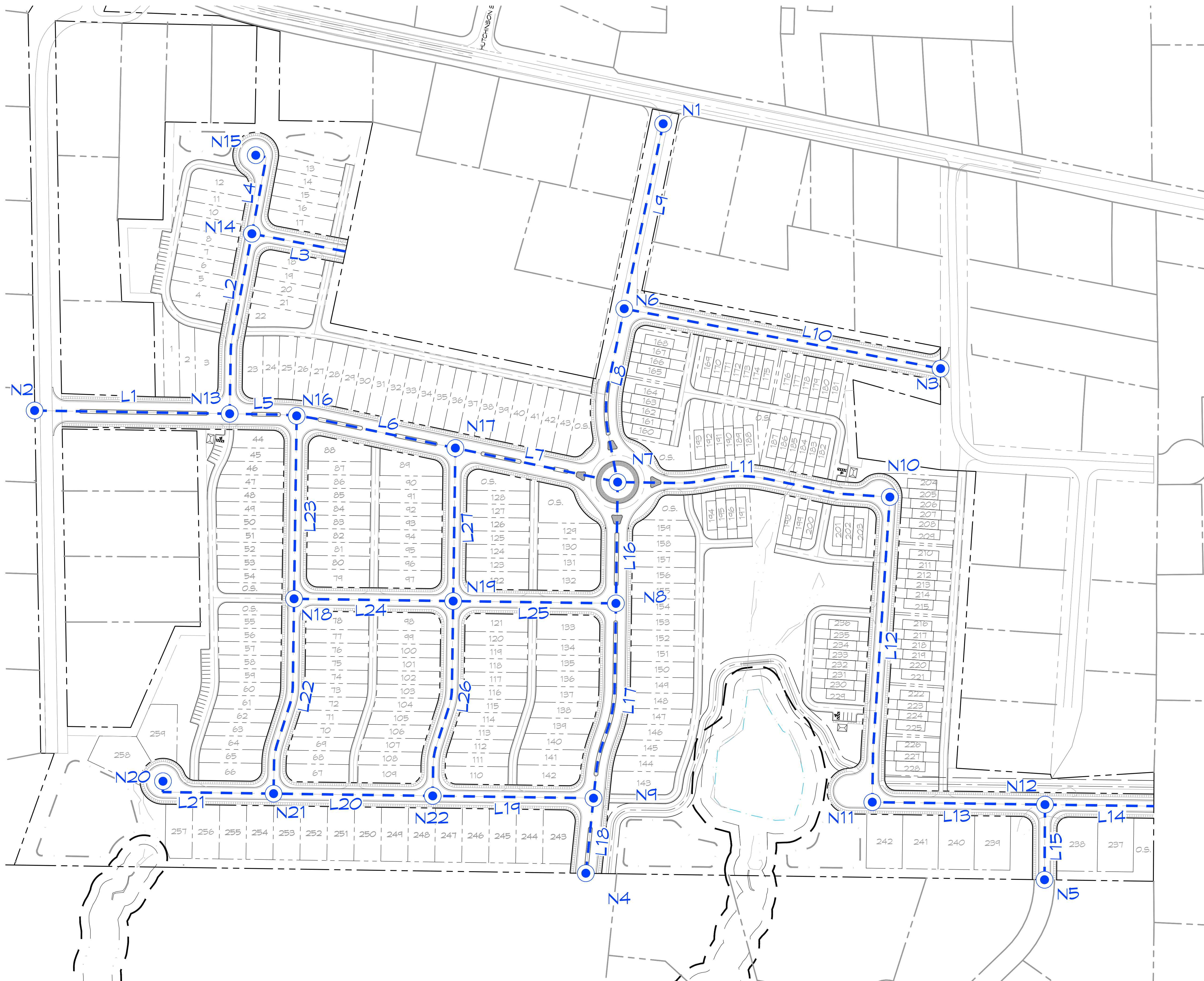
- GENERAL NOTES:**
1. THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
 2. THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
 3. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
 4. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
 5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
 6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
 7. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
 8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
 9. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
 10. WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
 11. STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.



CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREBY ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NOT FOR CONSTRUCTION FOR REVIEW ONLY



CONNECTIVITY INDEX (CI) CALCULATIONS

REQUIRED	
R-IX	1.40
4 SIDES WITH LIMITED ACCESS	0.20
CI REQUIRED	1.20
PROVIDED	
LINKS	27
NODES	22
CI = LINKS / NODES = 27/22 =	1.23

NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY

TERRAVITA
TOWN OF KNIGHTDALE
NORTH CAROLINA

SCALE: 1"=100'
DATE: JULY 21, 2023
PROJECT NUMBER: 2016-012.004
CLIENT: SITE INVESTMENTS, LLC
PLAN TYPE: SKETCH PLAN REVIEW

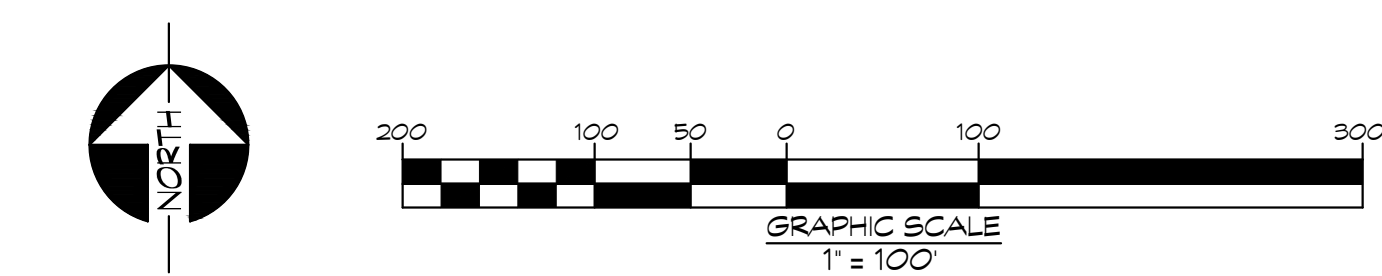
CONNECTIVITY INDEX EXHIBIT

TOWN COMMENTS: 12/14/2023
RELEASED FOR CONSTRUCTION DATE: (SEE COVER) ■ NO DYES

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B Computer Drive, Suite 104 Raleigh, N.C. 27609 . Phone 919 / 781-0300 . Fax 919 / 782-1288 . Email PCA@PriestCraven.com / Firm #: C-0488

SHEET #
C2.10

V:\P\ES&A\ENGINEERING\LAND PROJECTS\2023-002.D01 TERRAVITA - KNIGHTDALE\DRAWINGS\GHEBTS\SKETCH PLAN_C2.00-SIB-LAYOUT.DWG - 12/14/2023 - 9:48 PM



GENERAL NOTES:

1. THE CONCEPTUAL PLAN WAS PREPARED BY CHARLES R. WALKER, III, PLA AND ENTITLEMENT PRESERVATION GROUP.
2. THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE AS DESIGN PROGRESSES.
3. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY THIS OFFICE.
4. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF DATA FROM A SURVEY PERFORMED BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
5. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF KNIGHTDALE, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
7. THERE ARE NO FEMA DESIGNATED FLOOD ZONES LOCATED ON THIS PROPERTY.
8. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
9. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDEQ.
10. WETLAND AND STREAM BUFFER LOCATIONS ARE SUBJECT TO FIELD VERIFICATION.
11. STORMWATER CONTROL MEASURES ARE CONCEPTUAL AND ARE SUBJECT TO FUTURE SIZING CALCULATIONS AND DESIGN.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL TOWN OF KNIGHTDALE AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY**

<h1 style="margin: 0;">TERRAVITA</h1>	SCALE: 1"=100' DATE: JULY 21, 2023 PROJECT NUMBER: 2016-012.004 CLIENT: SITE INVESTMENTS, LLC PLAN TYPE: SKETCH PLAN REVIEW	<h2 style="margin: 0;">PRELIMINARY POST-DEVELOPMENT STORMWATER MANAGEMENT PLAN</h2>	TOWN COMMENTS: 12/14/2023 RELEASED FOR CONSTRUCTION DATE: (SEE COVER) <input type="checkbox"/> NO DYES
TOWN OF KNIGHTDALE	NORTH CAROLINA	<h1 style="margin: 0;">PRIEST, CRAVEN & ASSOCIATES, INC.</h1> <p style="font-size: x-small;">LAND USE CONSULTANTS / PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS</p>	SHEET # C5.00

V:\P\B\B\A\ENGINEERING\LAND\PROJECTS\2023-002-001 TERRAVITA - KNIGHTDALE\DRAWINGS\GHEB\SKECH PLAN_C5.00-SW.MXD, Dec 14, 2023 - 9:49 AM



19 FOOT DETACHED SINGLE-FAMILY DWELLING



19 FOOT DETACHED SINGLE-FAMILY DWELLING



21 FOOT DETACHED SINGLE-FAMILY DWELLING



45 FOOT DETACHED SINGLE-FAMILY DWELLING



51 FOOT DETACHED SINGLE-FAMILY DWELLING



22 FOOT END UNIT TOWNHOME



25 FOOT END UNIT TOWNHOME



21 FOOT TOWNHOME



23 FOOT END UNIT TOWNHOME



NOTE: UNIT PLANS ARE ILLUSTRATIVE OF THE FORM AND SCALE OF THE PROPOSED HOMES. PLANS ARE SUBJECT TO CHANGE AS THE PROJECT PROGRESSES.

NOT FOR CONSTRUCTION FOR REVIEW ONLY