

OLD FAISON PLACE

MASTER PLAN

OLD FAISON RD, KNIGHTDALE, WAKE COUNTY, NC 27545
 MASTER PLAN SUBMITTAL #1 10/21/2024
 MASTER PLAN SUBMITTAL #2 2/5/2025

TOWN OF KNIGHTDALE PROJECT NUMBER: ZMA-1-24

DEVELOPER/ APPLICANT

ASHBURY & THE HOLDING
 COMPANY L.L.C.
 RALEIGH, NC

PO BOX 90427
 RALEIGH, NC 27675-0427
 (919) 741-7993

Contact: TOM QUACKENBUSH
 TOM@GLENWOODHOMES.COM

CIVIL ENGINEER

Rivers & Associates, Inc.
 Raleigh, NC

353 E. Six Forks Rd.
 Raleigh, NC 27609
 (919) 594-1626

Contact: Stephen Ballentine, PE
 sballentine@riversandassociates.com

SURVEYOR

RESIDENTIAL LAND
 SERVICES, PLLC.
 Cary, NC

1917 EVANS ROAD
 CARY NC 27513
 (919) 378-9316

Contact: Dean M. Rhoads
 dean@rls-nc.com

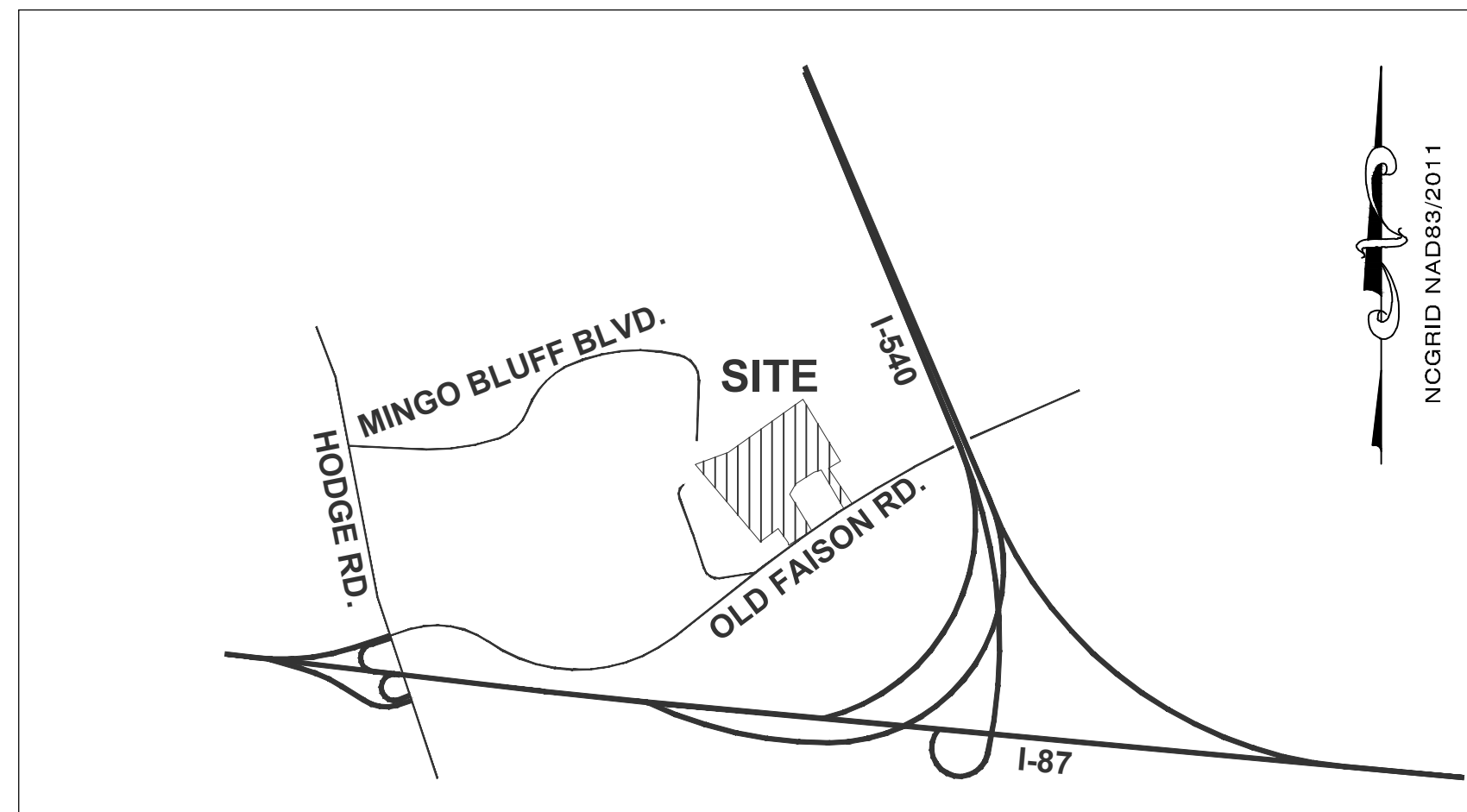
LAND USE ATTORNEY

MATTOX LAW FIRM
 Raleigh, NC

127 W HARGETT STREET STE #500
 RALEIGH, NC 27601
 (919) 828-7171

Contact: Isabel Mattox
 isabel@mattoxlawfirm.com

RALEIGH WATER CONDITIONS OF APPROVAL:
 *ALL WATER, SANITARY SEWER AND REUSE FACILITIES SHALL BE INSTALLED, INSPECTED, TESTED, AND ACCEPTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR OPERATIONS AND MAINTENANCE PRIOR TO 1ST CO
 *A PETITION FOR ANNEXATION INTO THE CITY LIMITS SHALL BE SUBMITTED IN ACCORDANCE WITH CITY COUNCIL POLICY FOR EXTENSION OF UTILITY SERVICE TO PROPERTIES CURRENTLY OUTSIDE OF THE CITY LIMITS PRIOR TO PLAT RECORDATION
 *CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR ALL PUBLIC WATER, PUBLIC SEWER AND/OR PRIVATE SEWER EXTENSIONS PRIOR TO PLAT RECORDATION.
 *A PLAT MUST BE RECORDED AT THE WAKE COUNTY REGISTER OF DEEDS OFFICE FOR ALL UTILITY EASEMENT DEDICATIONS PRIOR TO BUILDING PERMIT ISSUANCE
 *A DOWNSTREAM SEWER CAPACITY STUDY IN COMPLIANCE WITH CORPUD HANDBOOK SHALL BE SUBMITTED BY THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION DRAWING APPROVAL
 *A DEED SHALL BE RECORDED PRIOR TO CONSTRUCTION DRAWING APPROVAL FOR ALL NECESSARY OFFSITE CITY OF RALEIGH SANITARY SEWER EASEMENTS TO ACCOMMODATE FUTURE SEWER LINE CONSTRUCTION



VICINITY MAP
 N.T.S.

| Sheet List Table | |
|------------------|--|
| Sheet Number | Sheet Title |
| C1.01 | COVER SHEET |
| C1.21 | EXISTING CONDITIONS |
| C2.01 | SITE PLAN |
| C2.11 | OPEN SPACE PLAN |
| C3.01 | PRELIMINARY UTILITY PLAN |
| C4.41 | PRELIMINARY STORMWATER MANAGEMENT PLAN |
| C6.31 | SIGNS & PAVEMENT MARKING PLAN |
| L1.01 | LANDSCAPE PLAN |
| SL1.01 | PRELIMINARY LIGHTING PLAN |
| -- | ELEVATIONS SINGLE FAMILY |
| -- | ELEVATIONS TOWNHOUSES |

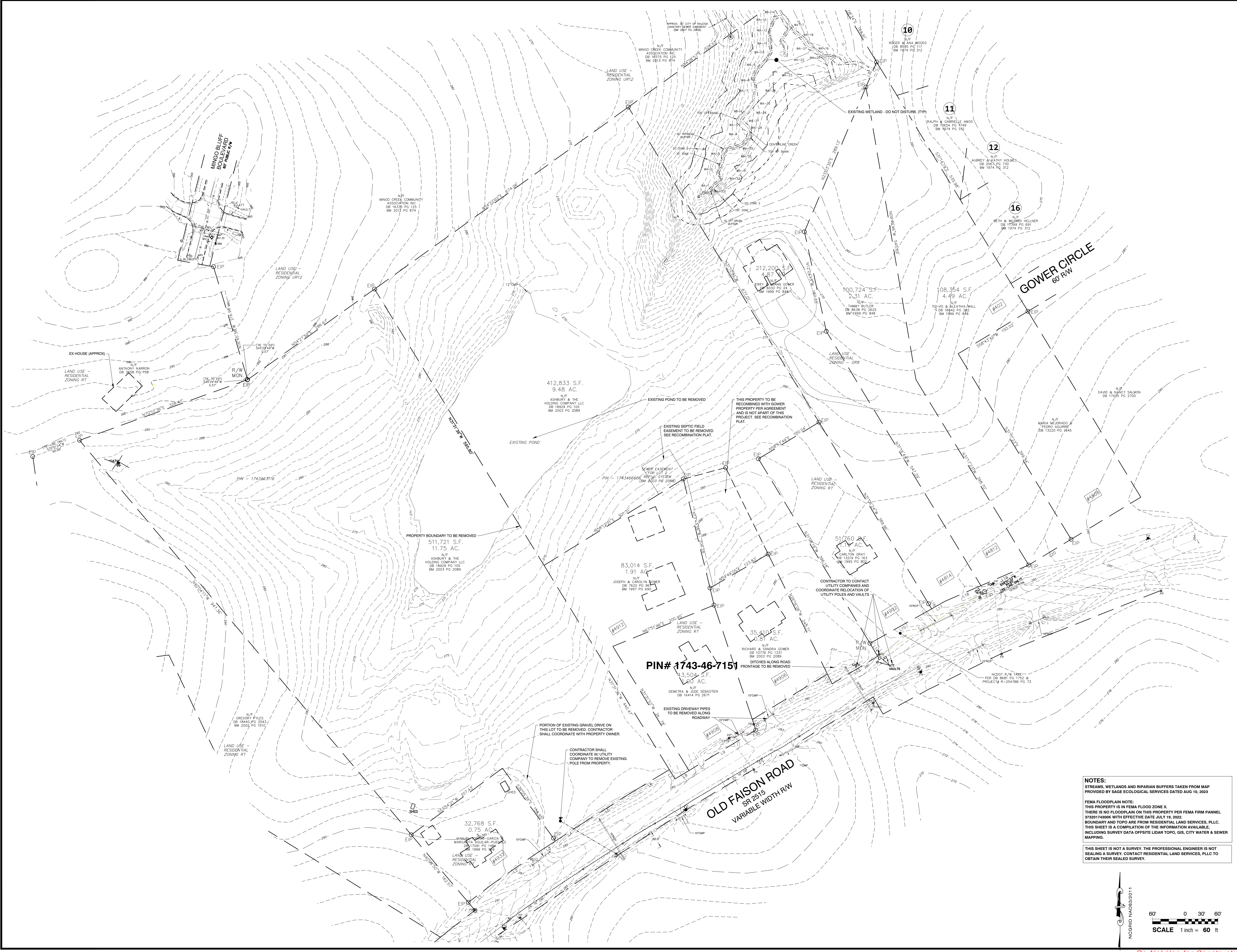
| SITE DATA | |
|------------------|--|
| Subdivision Name | Old Faison Place |
| PIN #S | 1743463116 / 1743466606 |
| Property Area | 20.90 Acres |
| Current Zoning | GR8 (Medium Density) |
| Proposed Zoning | GR8 PUD |
| Adjacent Zoning | North- UR12 (Urban Residential 12) Townhomes South- RT (Rural Transition) Single Family Residential East- GR8 (Single Family Residential) West- RT (Rural Transition) Single Family Residential |
| River Basin | Neuse |
| Watershed | Property is not within a water supply watershed |
| Land Use: | |
| Current | Vacant |
| Proposed | Residential- Single-Family and Townhomes |
| Dwelling Units: | |
| Single Family | 12 |
| Townhomes | 105 |
| Total DUs | 117 |
| Proposed Density | 5.6 DU/AC Prior to R/W Dedication |

NOTES:
 Survey performed by Residential Land Services, PLLC
 Description of existing natural resources:
 • There are no wetlands onsite. There are some offsite wetlands to the east on the neighbor's property.
 • There is an existing pond in the middle of the site, which will be removed.
 • There is a riparian stream buffer at the east edge of the property.
 Description of Stormwater Management:
 • This project includes one proposed wet detention pond in the northeast corner of the property as shown. Stormwater discharges towards the northeast.
 • Offsite stormwater enters the property from the north, west, and south.
 • This project will retain the pre-existing drainage patterns.



Preliminary
 DO NOT USE
 FOR CONSTRUCTION

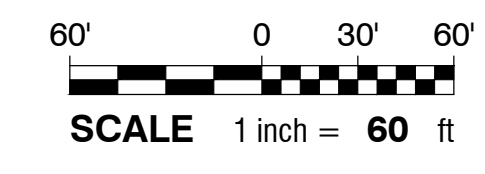
C1.01



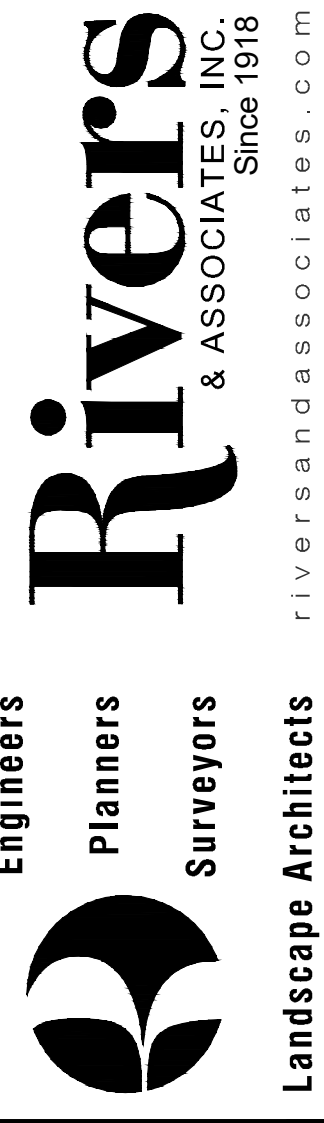
NOTES:
 STREAMS, WETLANDS AND RIPARIAN BUFFERS TAKEN FROM MAP PROVIDED BY SAGE ECOLOGICAL SERVICES DATED AUG 10, 2023

FEMA FLOODPLAIN NOTE:
 THIS PROPERTY IS IN FEMA FLOOD ZONE X. THERE IS NO FLOODPLAIN ON THIS PROPERTY PER FEMA FIRM PANNEL 372017AR00K WITH EFFECTIVE DATE JULY 19, 2022. BOUNDARY AND TOPO ARE FROM RESIDENTIAL LAND SERVICES, PLLC. THIS SHEET IS A COMPILATION OF THE INFORMATION AVAILABLE, INCLUDING SURVEY DATA OFFSITE LIDAR TOPO, GIS, CITY WATER & SEWER MAPPING.

THIS SHEET IS NOT A SURVEY. THE PROFESSIONAL ENGINEER IS NOT SEALING A SURVEY. CONTACT RESIDENTIAL LAND SERVICES, PLLC TO OBTAIN THEIR SEALED SURVEY.



Six Forks Place III Ste. 230
 353 E. Six Forks Road
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 919.594.1626

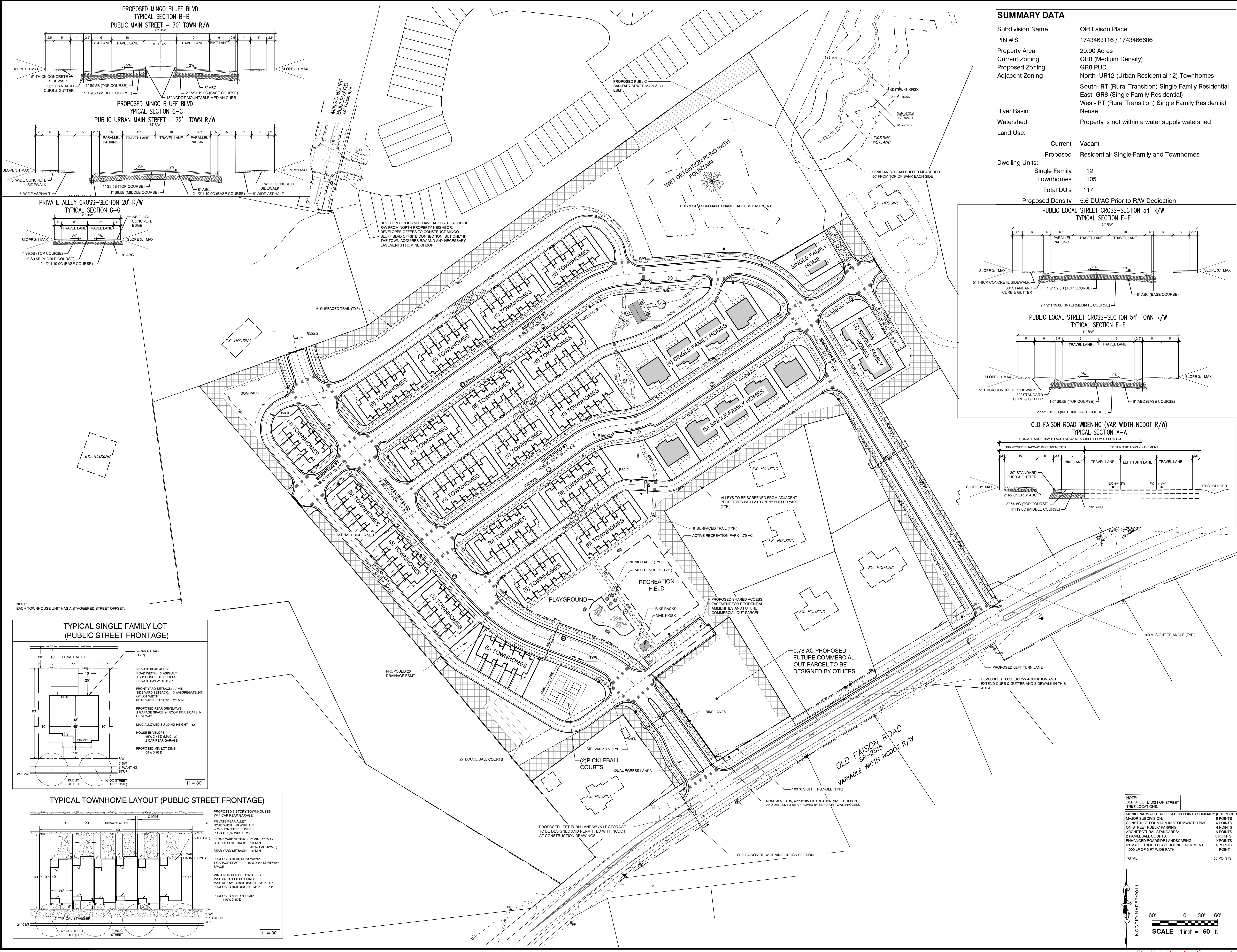


| REVISIONS: | | | |
|------------|----------|--------------------------|----|
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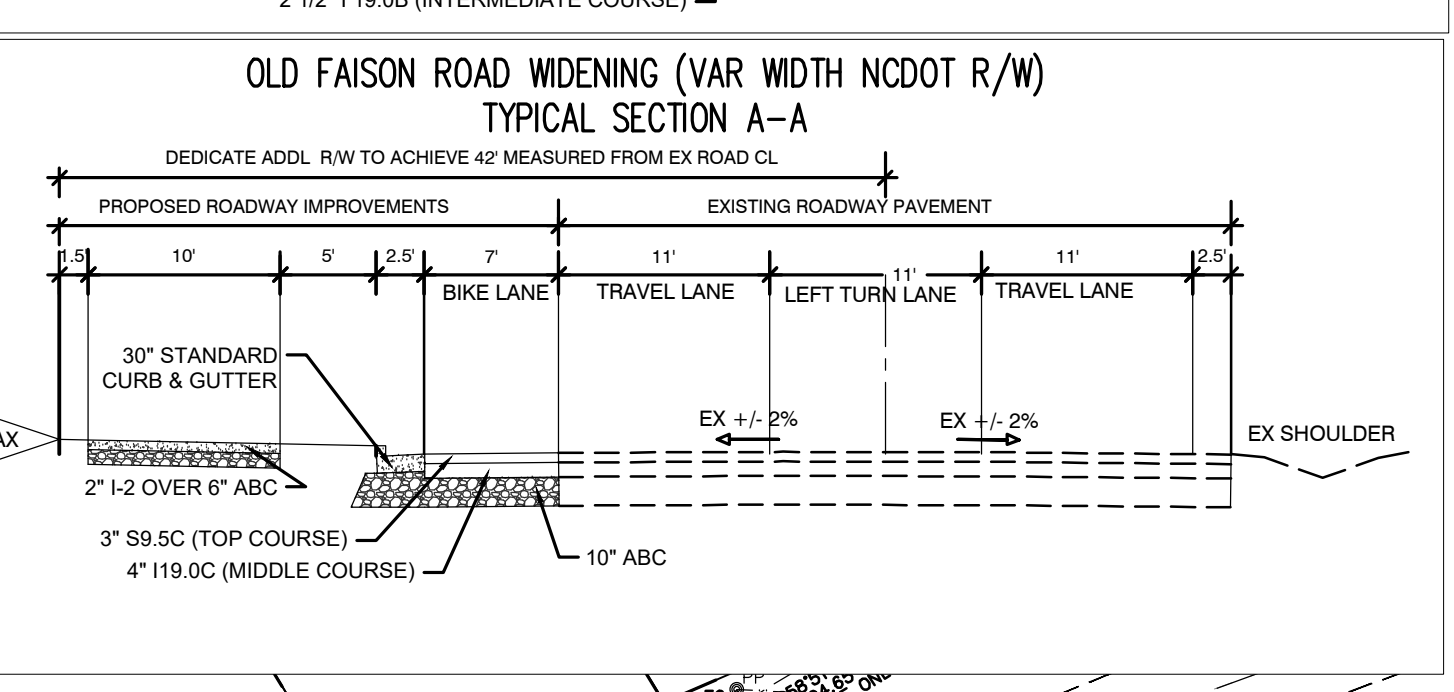
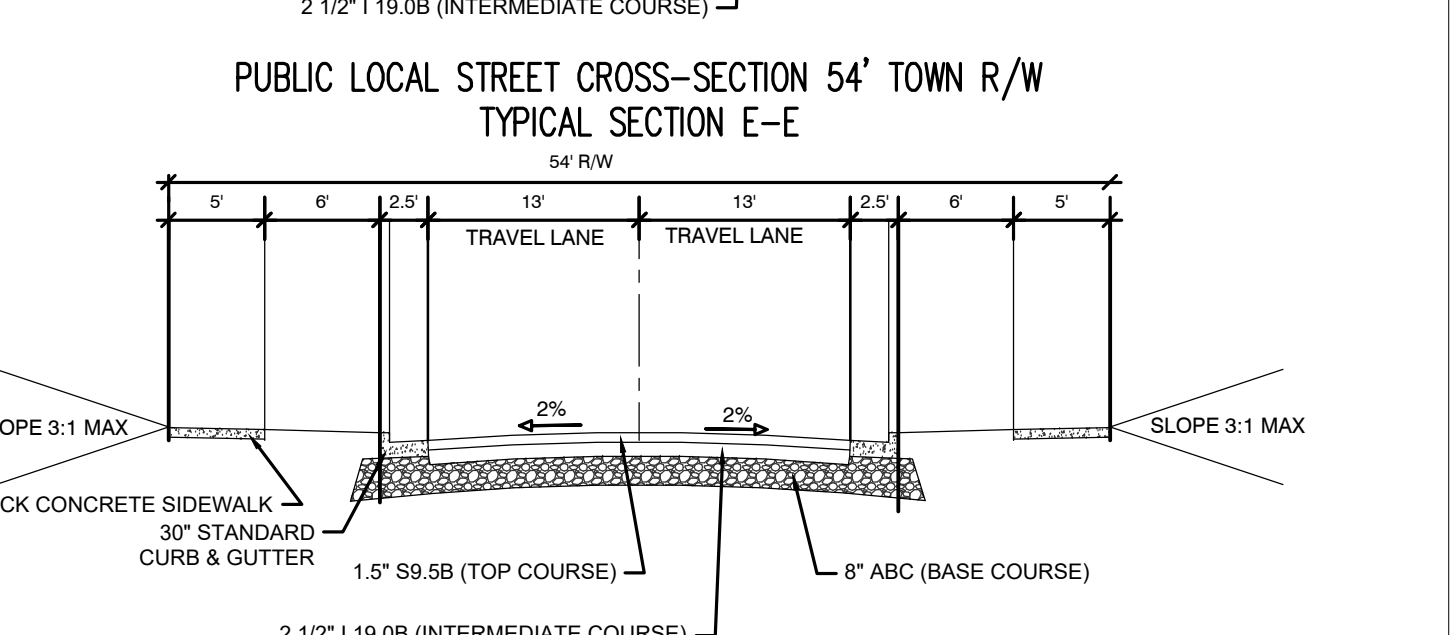
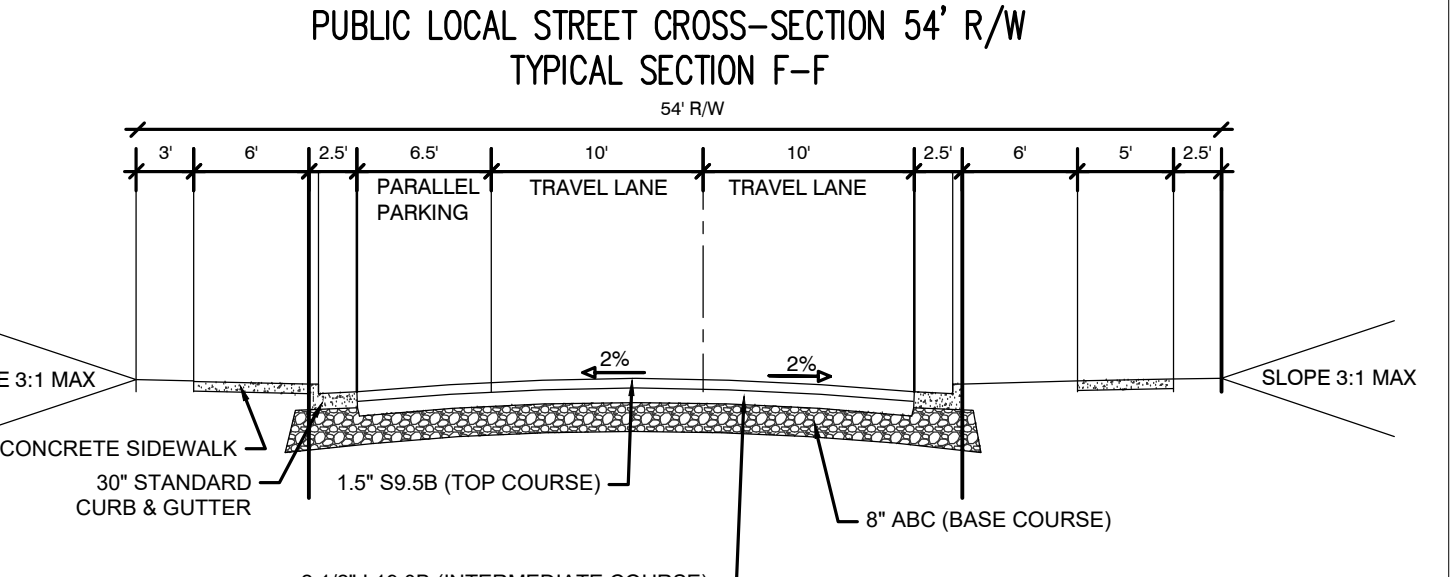
ASHBURY & THE HOLDING COMPANY, LLC
OLD FAISON PLACE
 CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

EXISTING CONDITIONS

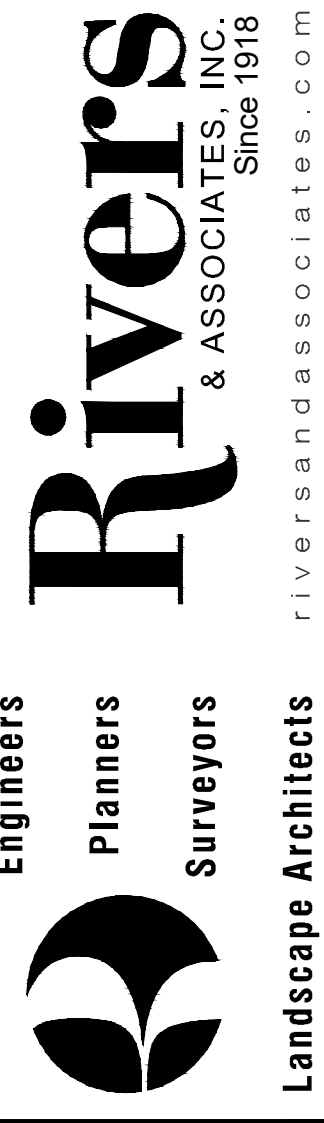
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 DRAWN BY: TAH
 CHECKED BY: SJB
 PROJECT No: 2022113
 DRAWING No: W-4104
 SCALE: AS SHOWN
 SHEET No: **C1.21**



| SUMMARY DATA | |
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| PIN #S | 1743463116 / 1743466006 |
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| River Basin | Neuse |
| Watershed | Property is not within a water supply watershed |
| Land Use: | Current Vacant Proposed Residential- Single-Family and Townhomes |
| Dwelling Units: | Single Family 12 Townhomes 105 Total DU's 117 |
| Proposed Density | 5.6 DU/AC Prior to R/W Dedication |



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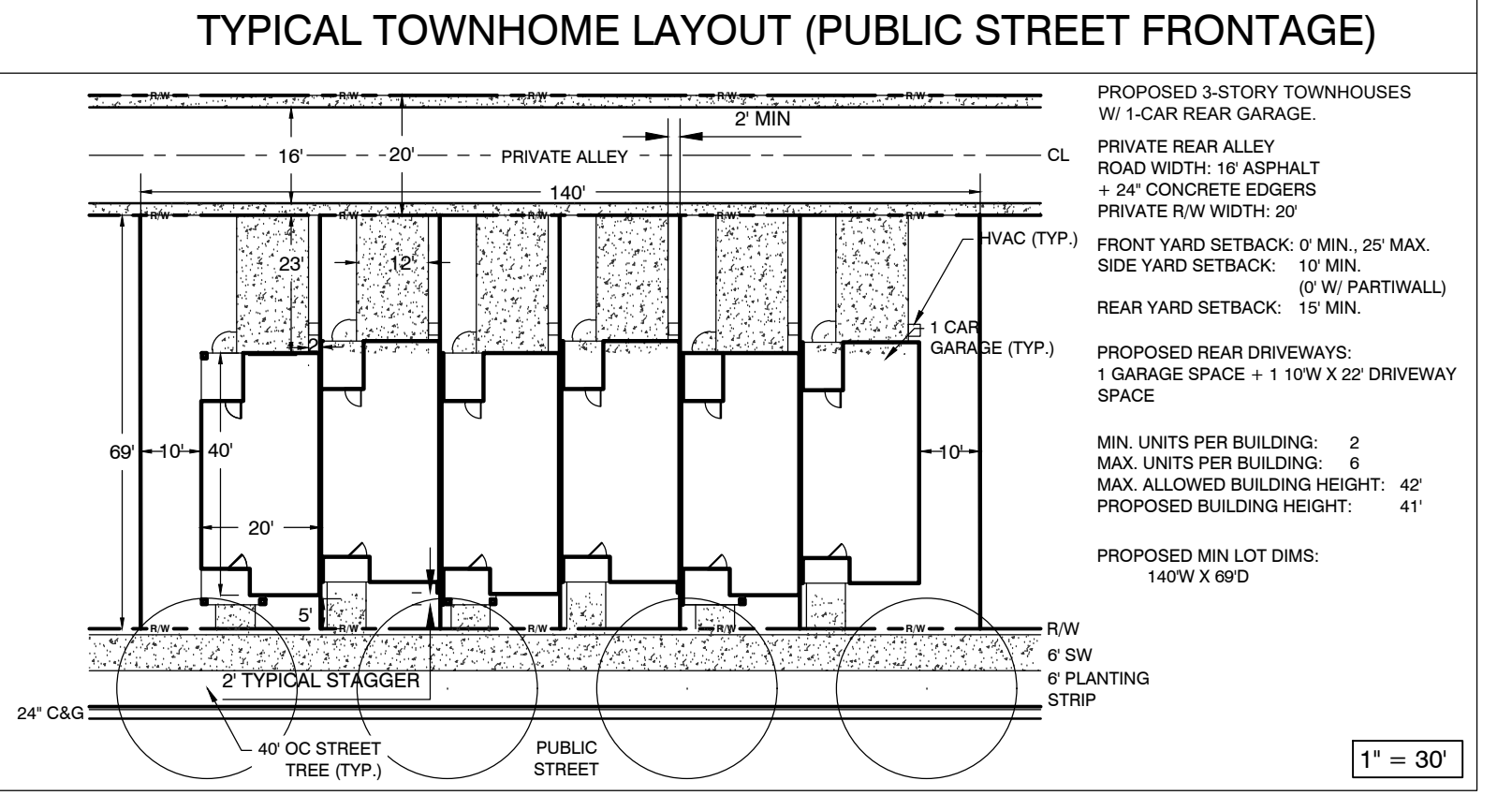
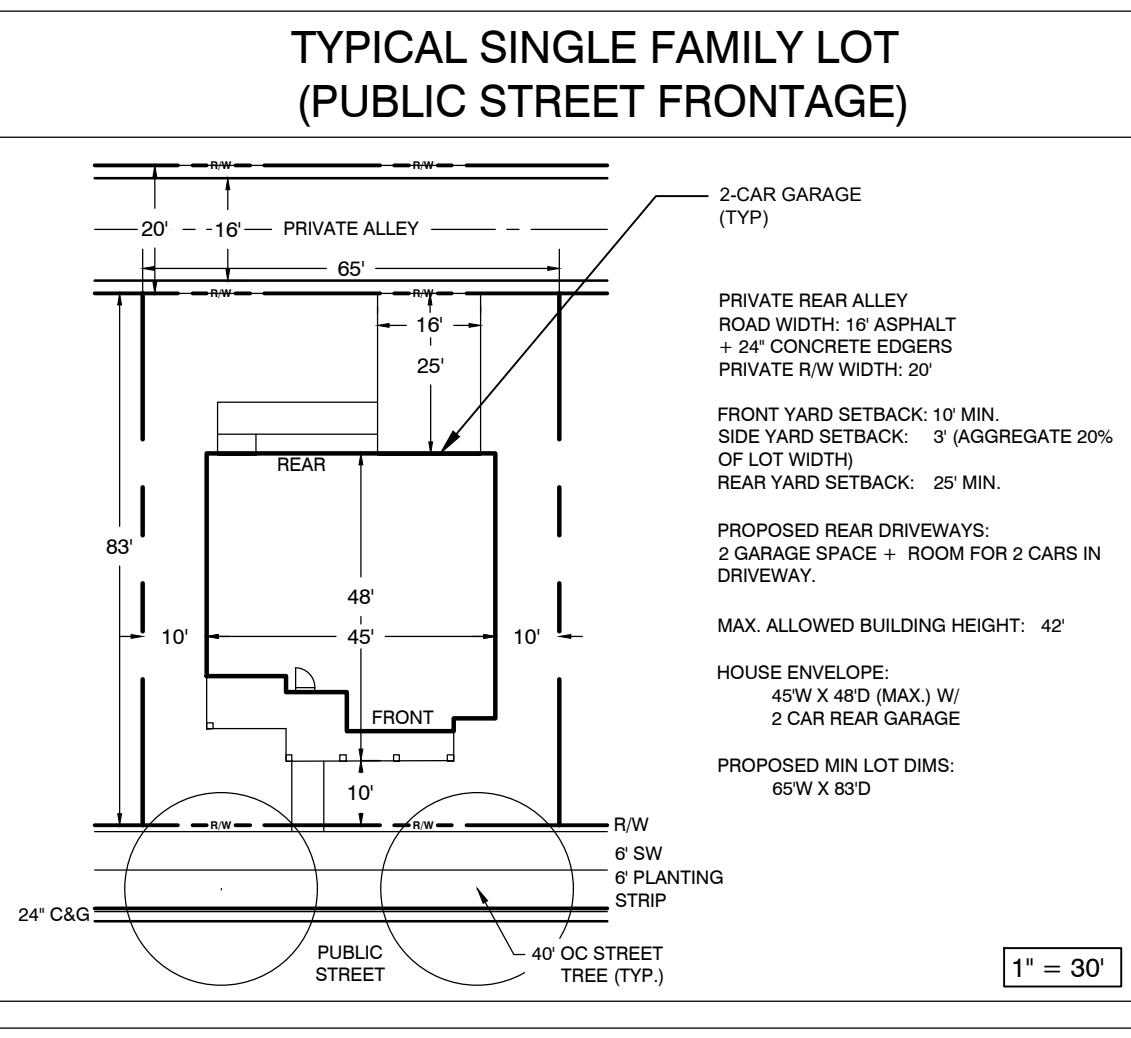
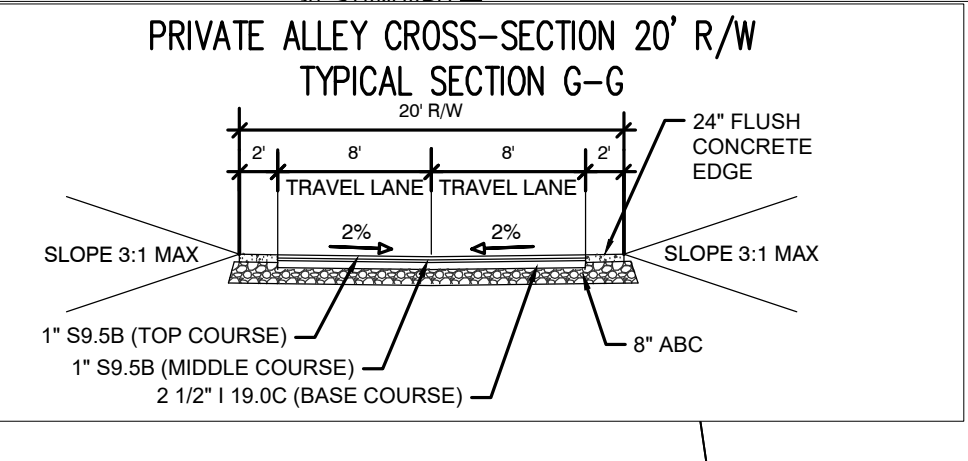


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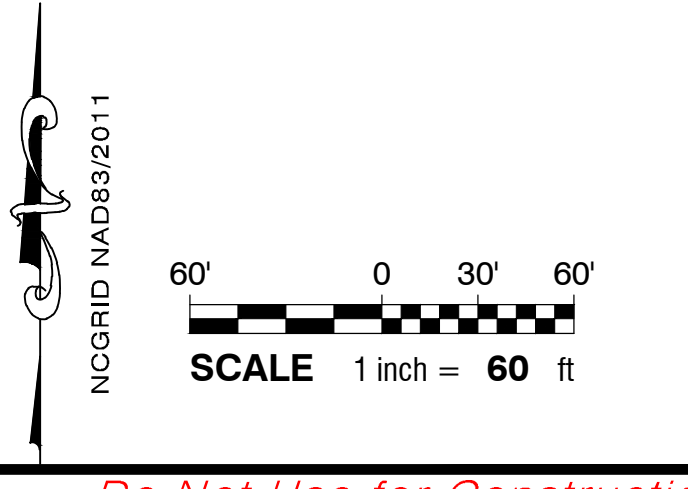
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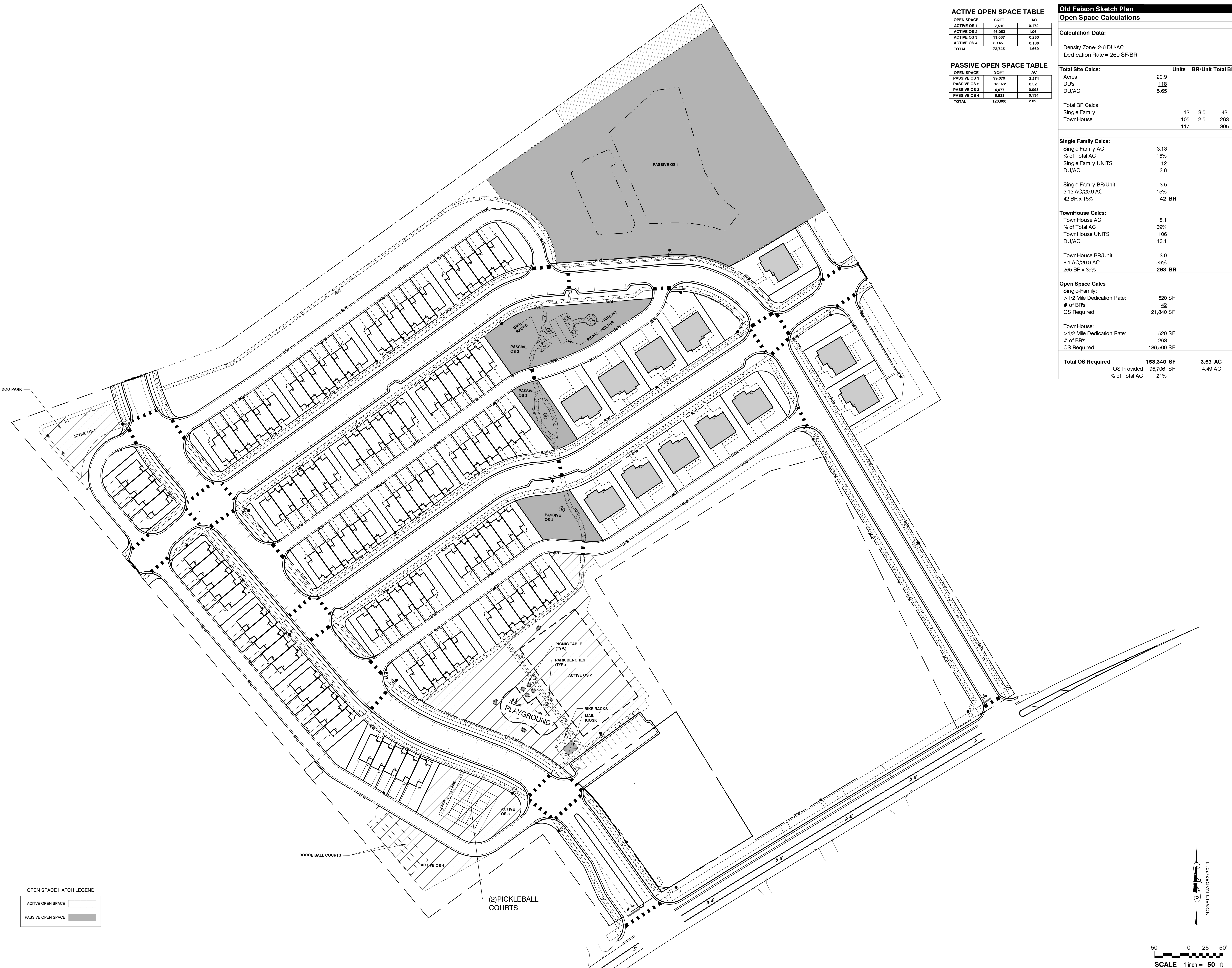
ASHBURY & THE HOLDING COMPANY, LLC
OLD FAISON PLACE
CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

DESIGNED BY: CS
DRAWN BY: TAH
CHECKED BY: SJB
PROJECT No: 2022113
DRAWING No: W-4104
SCALE: AS SHOWN
SHEET No:
C2.01



| MUNICIPAL WATER ALLOCATION POINTS SUMMARY (PROPOSED) | |
|--|-----------|
| MAJOR SUBDIVISION: | 15 POINTS |
| CONSTRUCT FOUNTAIN IN STORMWATER BMP: | 4 POINTS |
| ON-STREET PUBLIC PARKING: | 4 POINTS |
| ARCHITECTURAL STANDARDS: | 15 POINTS |
| 2 PICKLEBALL COURTS: | 5 POINTS |
| ENHANCED ROADSIDE LANDSCAPING: | 2 POINTS |
| IPEMA CERTIFIED PLAYGROUND EQUIPMENT: | 4 POINTS |
| 1,000 LF OF 6-FT WIDE PATH: | 1 POINT |
| TOTAL: | 50 POINTS |





OPEN SPACE HATCH LEGEND

| | |
|--------------------|--|
| ACTIVE OPEN SPACE | |
| PASSIVE OPEN SPACE | |

ACTIVE OPEN SPACE TABLE

| OPEN SPACE | SQFT | AC |
|--------------|---------------|--------------|
| ACTIVE OS 1 | 7,510 | 0.172 |
| ACTIVE OS 2 | 46,053 | 1.06 |
| ACTIVE OS 3 | 11,037 | 0.253 |
| ACTIVE OS 4 | 8,145 | 0.185 |
| TOTAL | 72,745 | 1.669 |

PASSIVE OPEN SPACE TABLE

| OPEN SPACE | SQFT | AC |
|--------------|----------------|-------------|
| PASSIVE OS 1 | 99,079 | 2.274 |
| PASSIVE OS 2 | 13,972 | 0.32 |
| PASSIVE OS 3 | 4,077 | 0.093 |
| PASSIVE OS 4 | 5,833 | 0.134 |
| TOTAL | 123,000 | 2.82 |

**Old Faison Sketch Plan
Open Space Calculations**

Calculation Data:
Density Zone- 2-6 DU/AC
Dedication Rate = 260 SF/BR

| Total Site Calcs: | Units | BR/Unit | Total BR |
|------------------------------|-------------------|----------------|----------|
| Acres | 20.9 | | |
| DUs | 118 | | |
| DU/AC | 5.65 | | |
| Total BR Calcs: | | | |
| Single Family | 12 | 3.5 | 42 |
| TownHouse | 105 | 2.5 | 263 |
| | 117 | | 305 |
| Single Family Calcs: | | | |
| Single Family AC | 3.13 | | |
| % of Total AC | 15% | | |
| Single Family UNITS | 12 | | |
| DU/AC | 3.8 | | |
| Single Family BR/Unit | | | |
| 3.13 AC/20.9 AC | 3.5 | | |
| 15% | | | |
| 42 BR x 15% | 42 BR | | |
| TownHouse Calcs: | | | |
| TownHouse AC | 8.1 | | |
| % of Total AC | 39% | | |
| TownHouse UNITS | 106 | | |
| DU/AC | 13.1 | | |
| TownHouse BR/Unit | | | |
| 8.1 AC/20.9 AC | 3.0 | | |
| 39% | | | |
| 265 BR x 39% | 263 BR | | |
| Open Space Calcs | | | |
| Single-Family: | | | |
| >1/2 Mile Dedication Rate: | 520 SF | | |
| # of BRs | 42 | | |
| OS Required | 21,840 SF | | |
| TownHouse: | | | |
| >1/2 Mile Dedication Rate: | 520 SF | | |
| # of BRs | 263 | | |
| OS Required | 136,500 SF | | |
| Total OS Required | 158,340 SF | 3.63 AC | |
| OS Provided | 195,706 SF | 4.49 AC | |
| % of Total AC | 21% | | |

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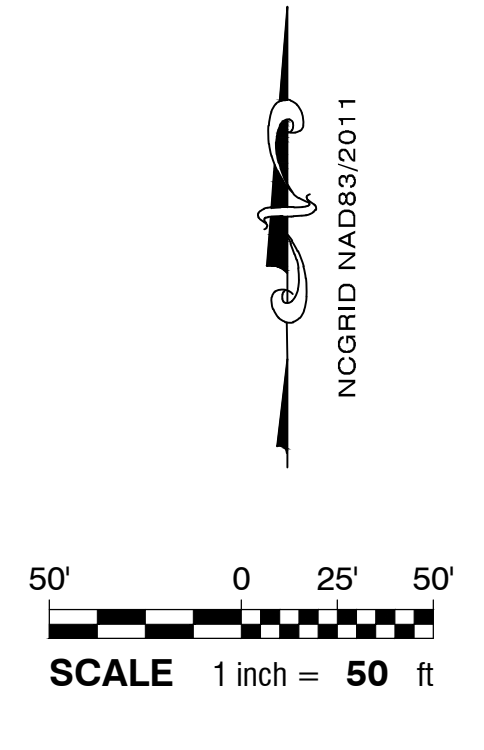
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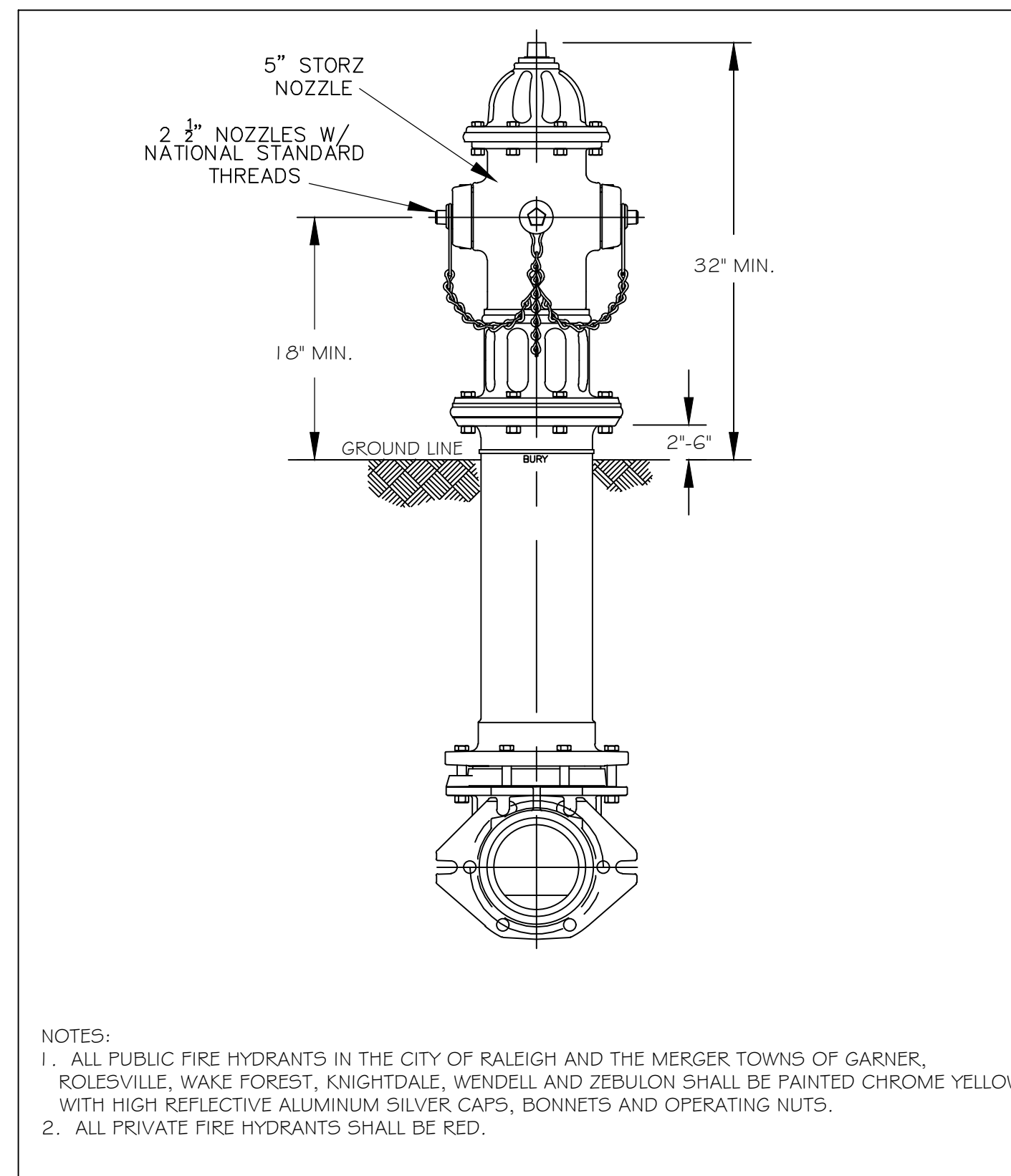
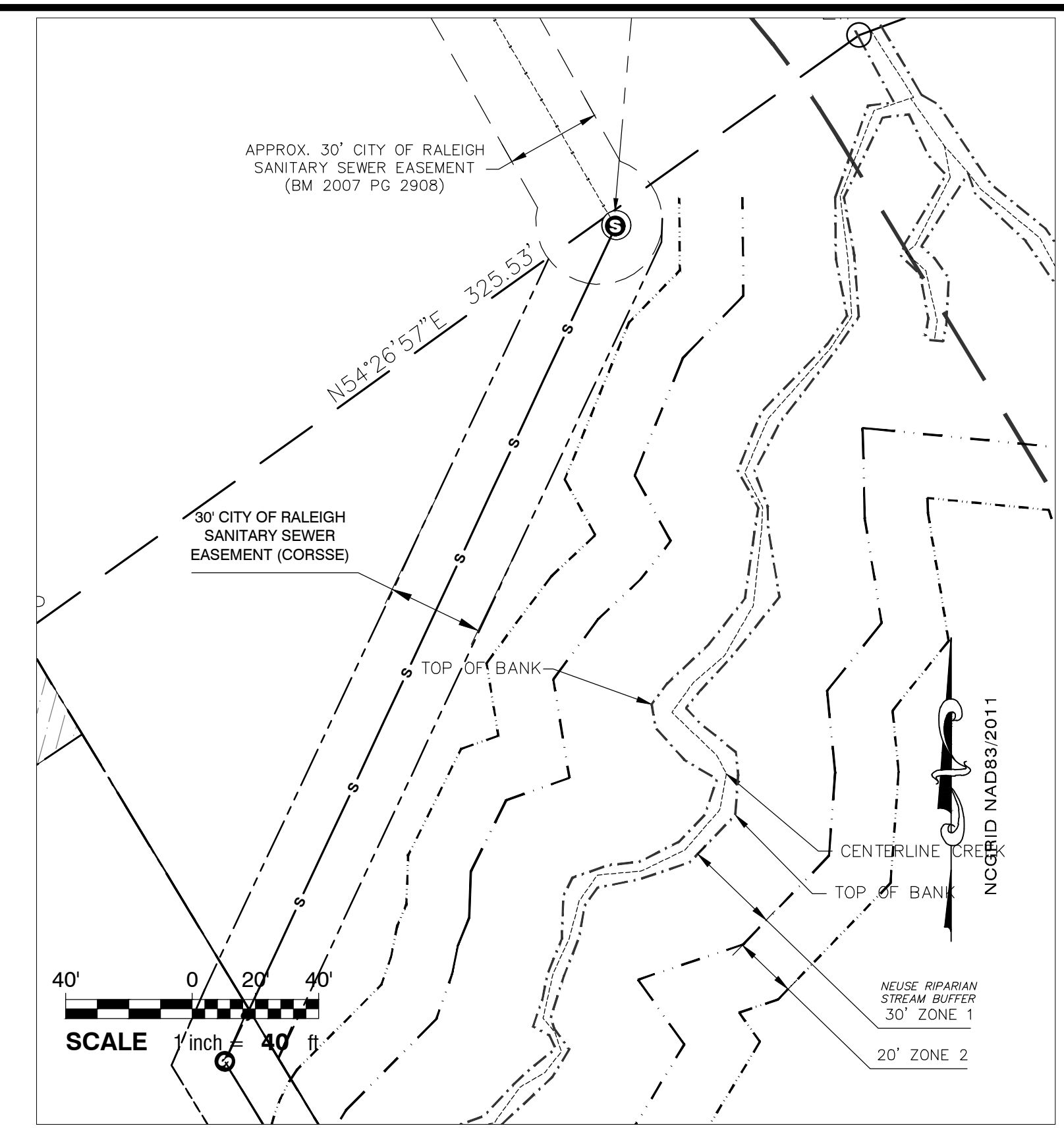
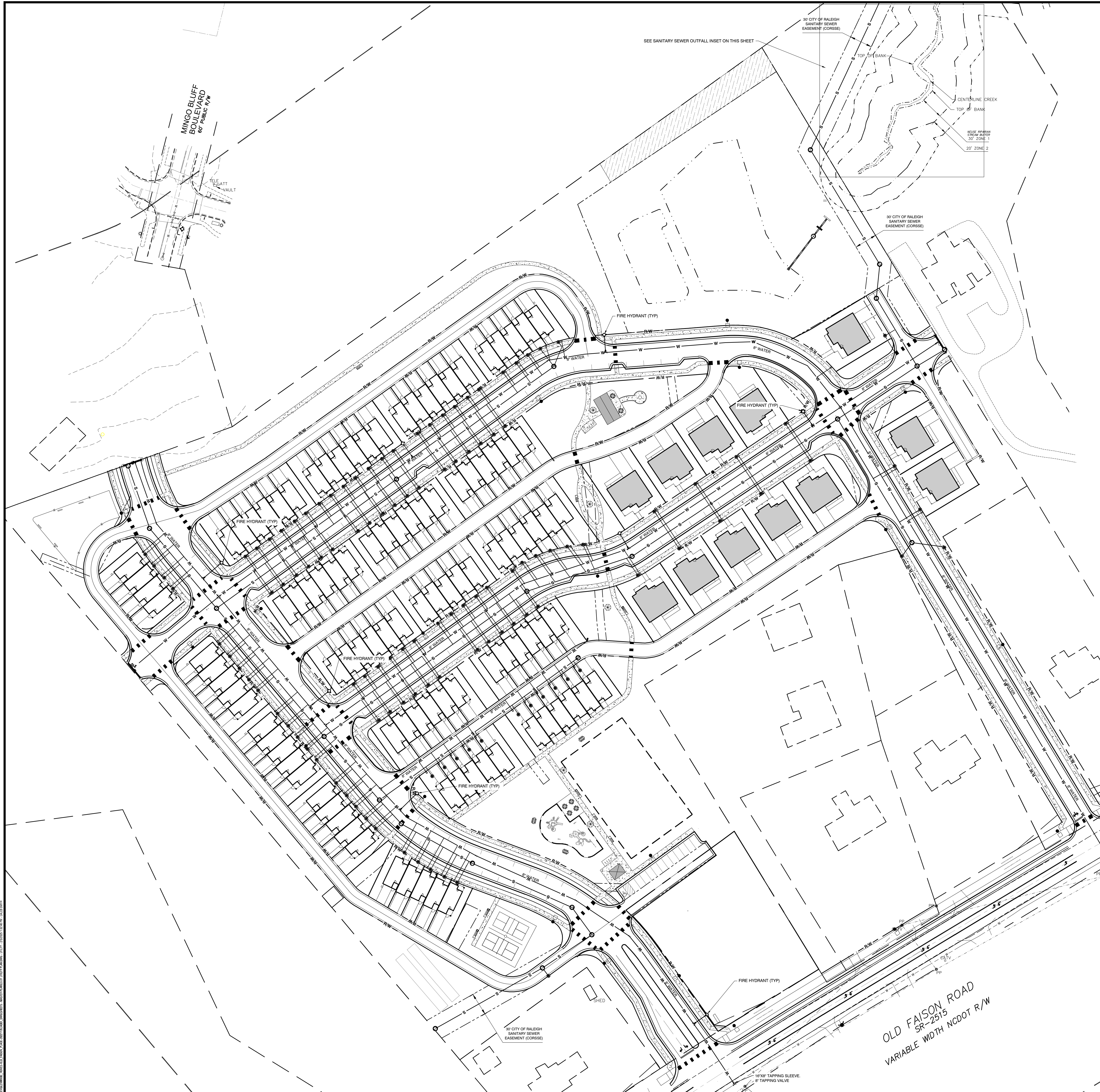
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| 1 | 10/07/25 | | MASTER PLAN SUBMITTAL #2 |
| 2 | 10/21/24 | | MASTER PLAN SUBMITTAL #1 |
| 3 | 1/17/24 | | SKETCH PLAN SUBMITTAL #2 |
| 4 | 5/22/23 | | SKETCH PLAN SUBMITTAL #1 |

ASHBURY & THE HOLDING COMPANY, LLC
OLD FAISON PLACE
CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA

OPEN SPACE PLAN

DATE: _____
DESIGNED BY: CS
DRAWN BY: TAH
CHECKED BY: SJB
PROJECT No: 2022113
DRAWING No: W-4104
SCALE: AS SHOWN
SHEET No: **C2.11**





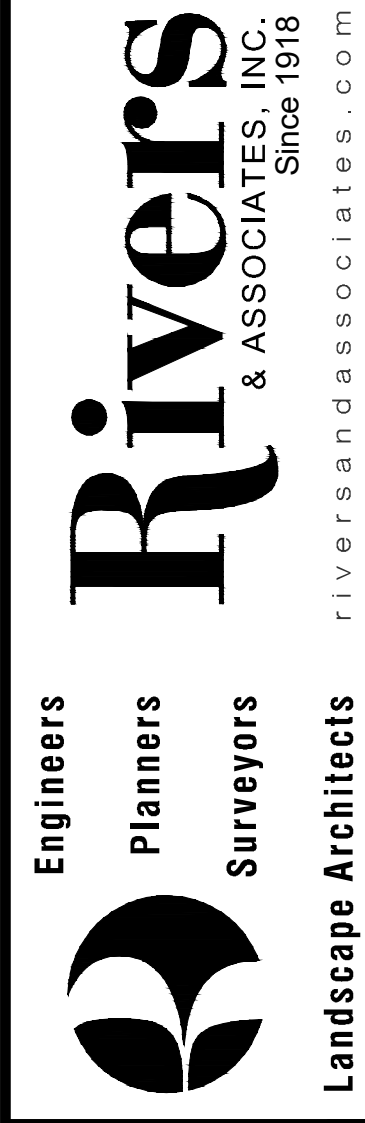
NOTES:
 1. ALL PUBLIC FIRE HYDRANTS IN THE CITY OF RALEIGH AND THE MERGER TOWNS OF GARNER, ROLESVILLE, WAKE FOREST, KNIGHTDALE, WENDELL AND ZEBULON SHALL BE PAINTED CHROME YELLOW WITH HIGH REFLECTIVE ALUMINUM SILVER CAPS, BONNETS AND OPERATING NUTS.
 2. ALL PRIVATE FIRE HYDRANTS SHALL BE RED.

CITY OF RALEIGH
 DEPARTMENT OF PUBLIC UTILITIES
 RALEIGH, GARNER, KNIGHTDALE, ROLESVILLE,
 WAKE FOREST, WENDELL & ZEBULON

STANDARD FIRE HYDRANT WITH 5\"/>

| DWG. NO. | REVISIONS | DATE | REVISIONS | DATE |
|----------|-----------|---------|-----------|------|
| W-5 | MAB | 6-30-16 | | |
| | KAT | 9-15-17 | | |

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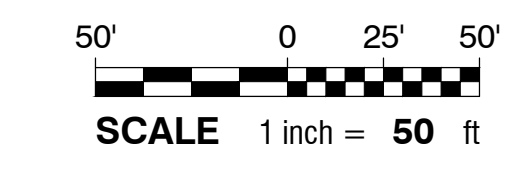


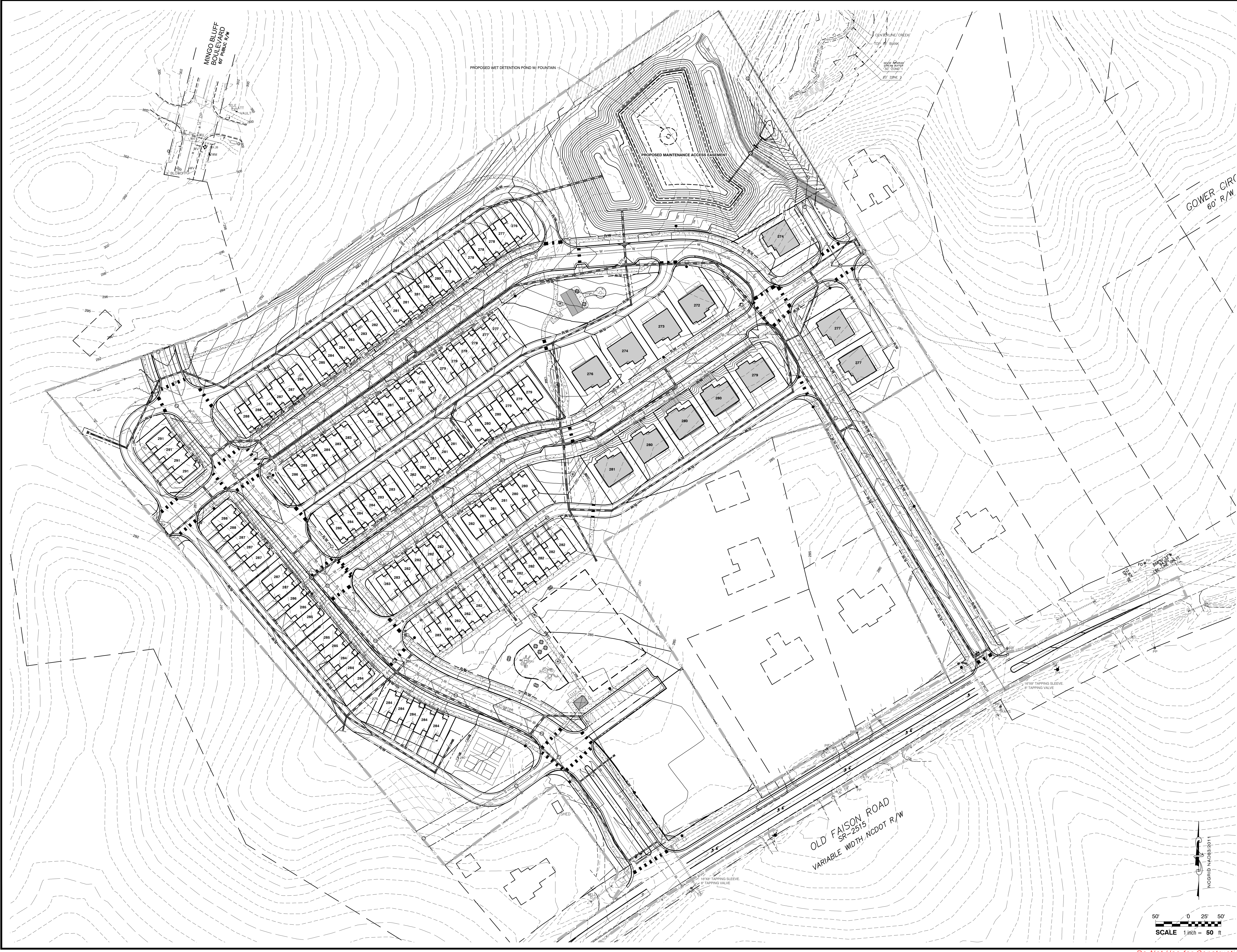
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ASHBURY & THE HOLDING COMPANY, LLC
OLD FAISON PLACE
 CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
PRELIMINARY UTILITY PLAN

DESIGNED BY: CS
 DRAWN BY: TAH
 CHECKED BY: SJB
 PROJECT No: 2022113
 DRAWING No: W-4104
 SCALE: AS SHOWN
C3.01





MINGO BLUFF
BOULEVARD
60' PUBLIC R/W

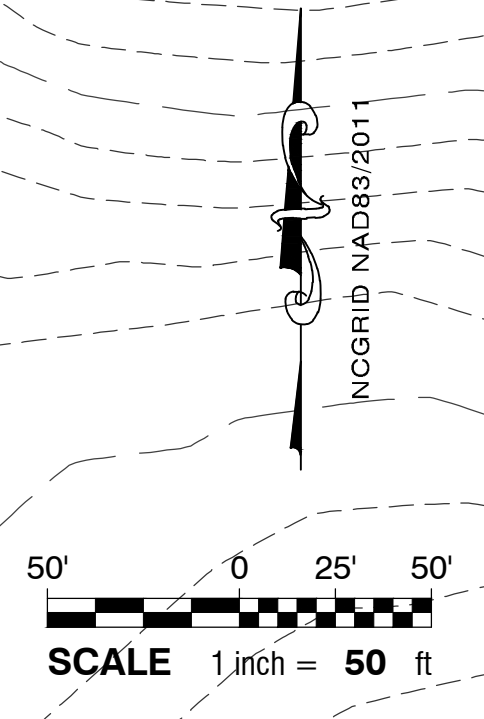
PROPOSED WET DETENTION POND W/ FOUNTAIN

PROPOSED MAINTENANCE ACCESS EASEMENT

CENTERLINE/CREEK
TOP OF BANK
10' ZONE 1
20' ZONE 2

GOWER CIRC
60' R/W

OLD FAISON ROAD
SR-2515
VARIABLE WIDTH NCDOT R/W



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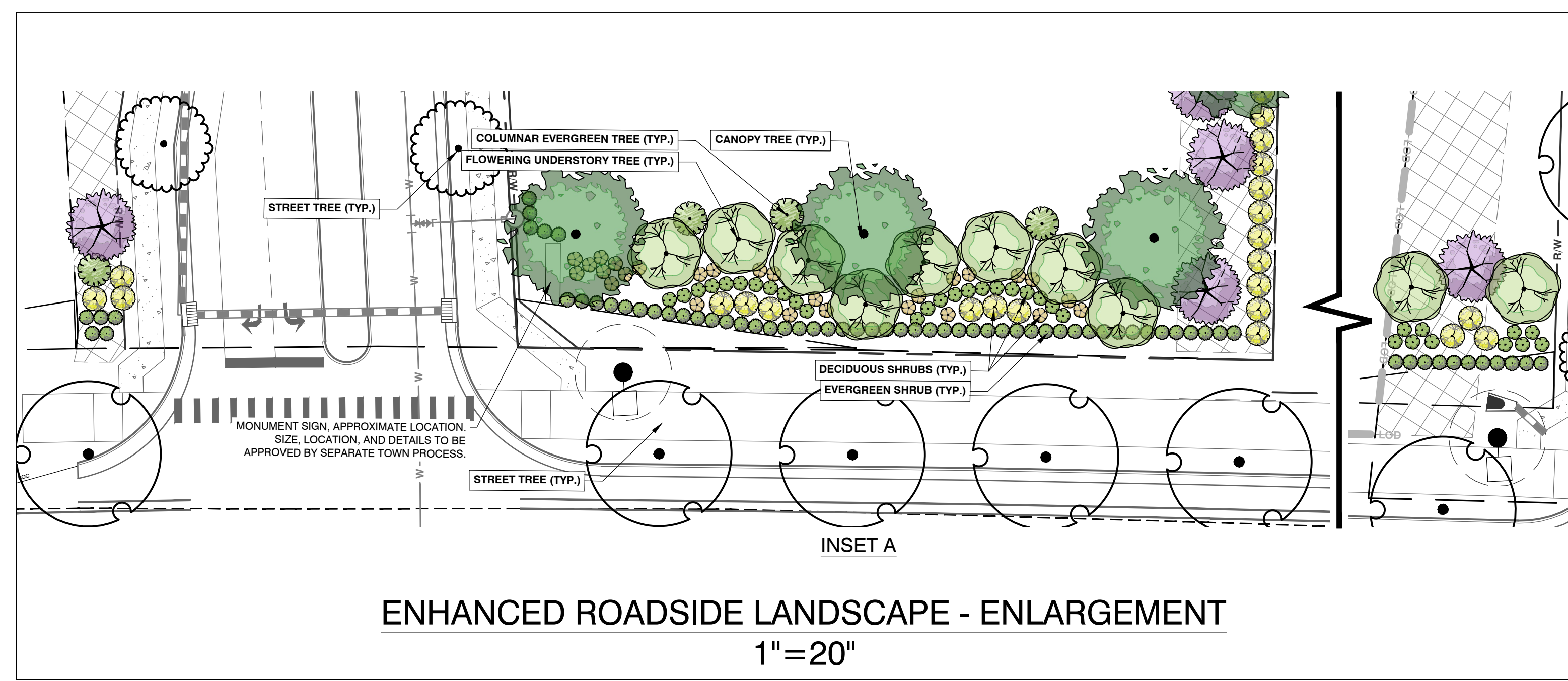
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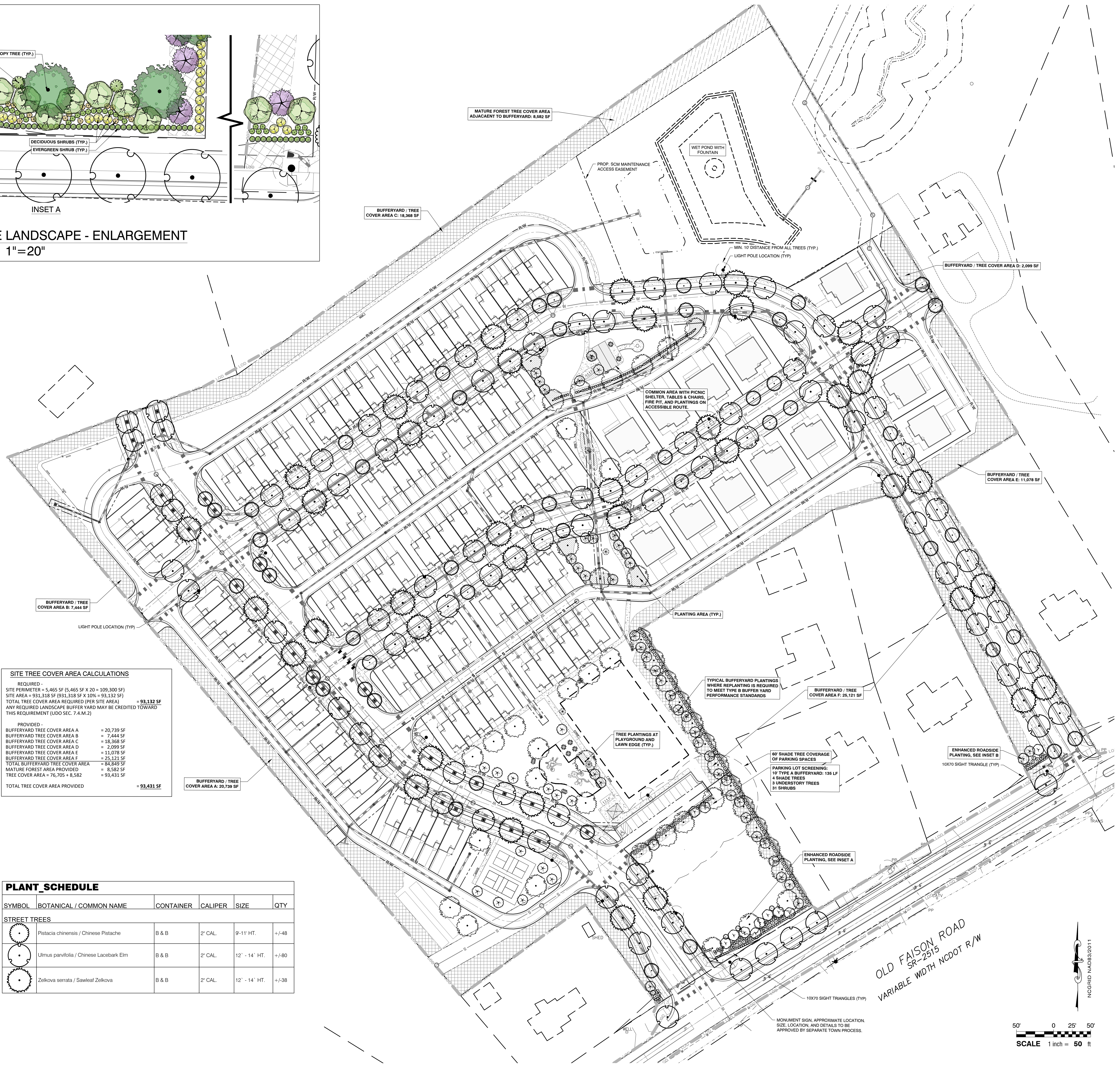
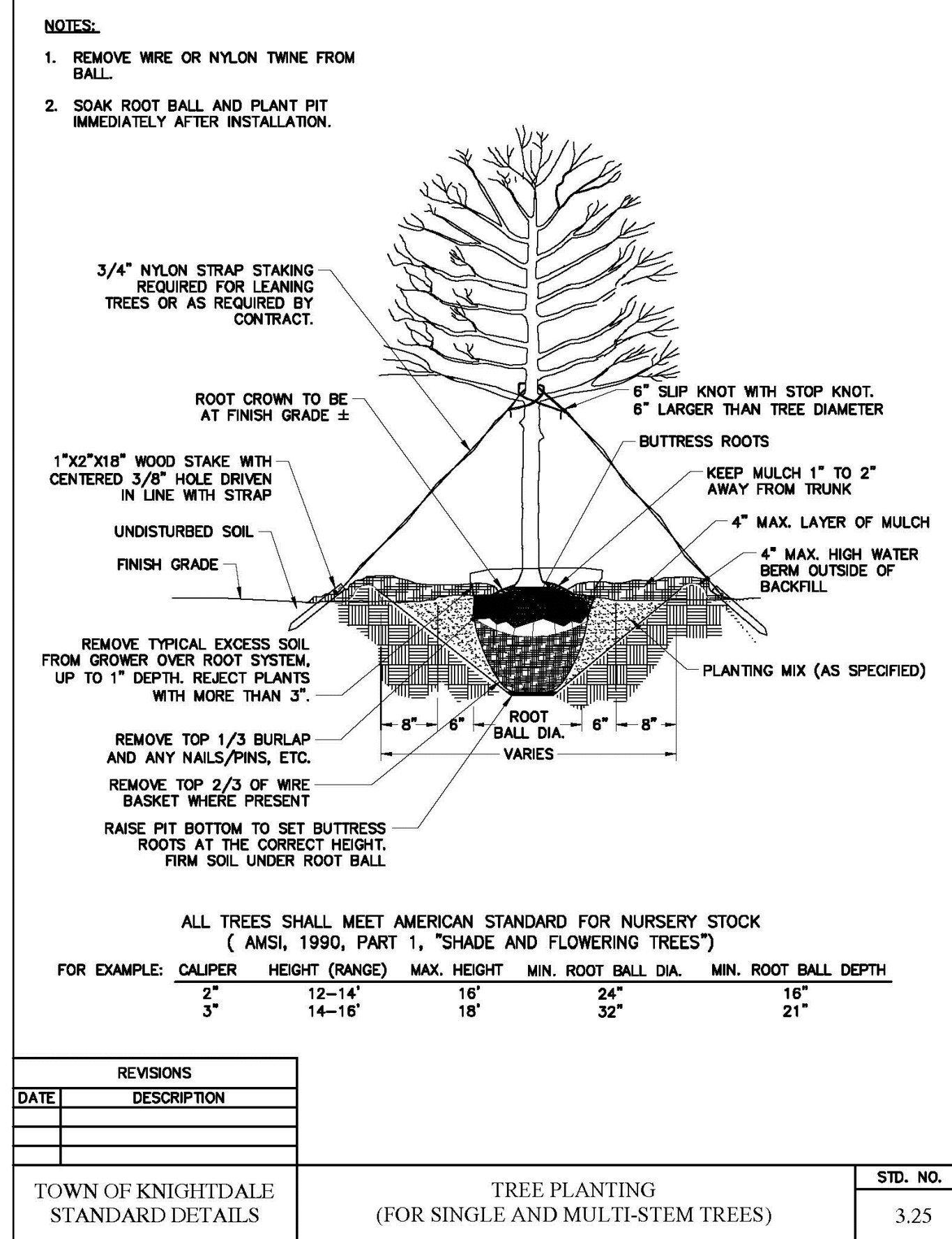
ASHBURY & THE HOLDING COMPANY, LLC
OLD FAISON PLACE
CITY OF KNIGHTDALE - WAKE COUNTY - NORTH CAROLINA
**PRELIMINARY STORMWATER
MANAGEMENT PLAN**

DATE:
DESIGNED BY: CS
DRAWN BY: TAH
CHECKED BY: SJB
PROJECT No: 2022113
DRAWING No: W-4104
SCALE: AS SHOWN
SHEET No:

C4.41



ENHANCED ROADSIDE LANDSCAPE - ENLARGEMENT
1" = 20"



SITE TREE COVER AREA CALCULATIONS

REQUIRED -
 SITE PERIMETER = 5,465 SF (5,465 SF X 20 = 109,300 SF)
 SITE AREA = 931,318 SF (931,318 SF X 10% = 93,132 SF)
 TOTAL TREE COVER AREA REQUIRED (PER SITE AREA) = 93,132 SF
 ANY REQUIRED LANDSCAPE BUFFERYARD MAY BE CREDITED TOWARD THIS REQUIREMENT (UDC SEC. 7.4.M.2)

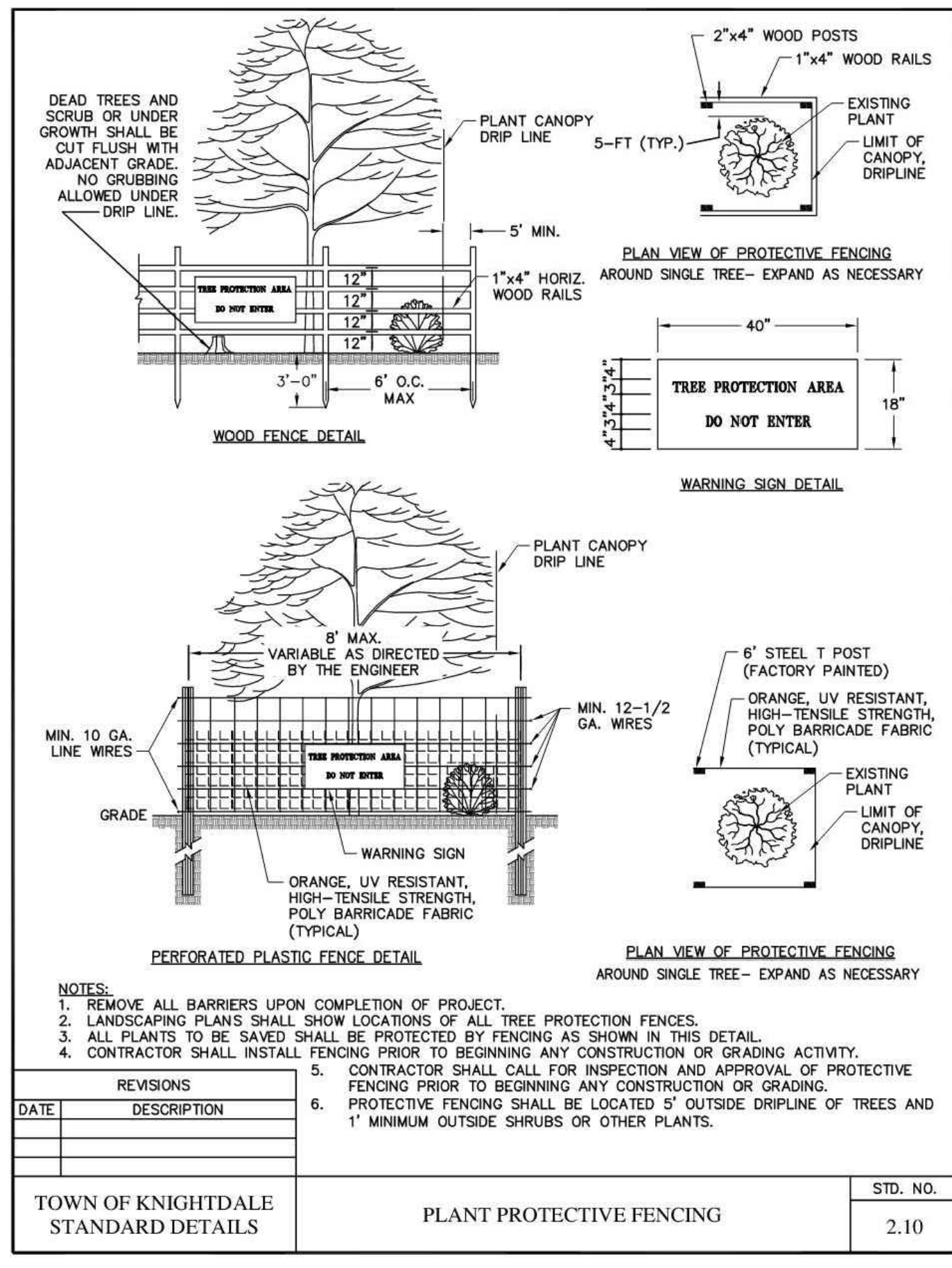
PROVIDED -
 BUFFERYARD TREE COVER AREA A = 20,739 SF
 BUFFERYARD TREE COVER AREA B = 7,444 SF
 BUFFERYARD TREE COVER AREA C = 18,368 SF
 BUFFERYARD TREE COVER AREA D = 2,099 SF
 BUFFERYARD TREE COVER AREA E = 11,078 SF
 BUFFERYARD TREE COVER AREA F = 25,121 SF
 TOTAL BUFFERYARD TREE COVER AREA = 84,849 SF
 MATURE FOREST AREA PROVIDED = 8,582 SF
 TREE COVER AREA = 76,705 + 8,582 = 93,431 SF

TOTAL TREE COVER AREA PROVIDED = 93,431 SF

PLANT SCHEDULE

| SYMBOL | BOTANICAL / COMMON NAME | CONTAINER | CALIPER | SIZE | QTY |
|--------|---|-----------|---------|---------------|-------|
| | Pistacia chinensis / Chinese Pistache | B & B | 2" CAL. | 9'-11" HT. | +/-48 |
| | Ulmus parvifolia / Chinese Lacebark Elm | B & B | 2" CAL. | 12' - 14' HT. | +/-80 |
| | Zelkova serrata / Sawtooth Zelkova | B & B | 2" CAL. | 12' - 14' HT. | +/-38 |

STREET TREES



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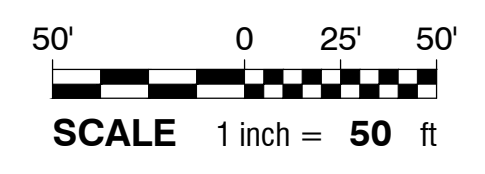
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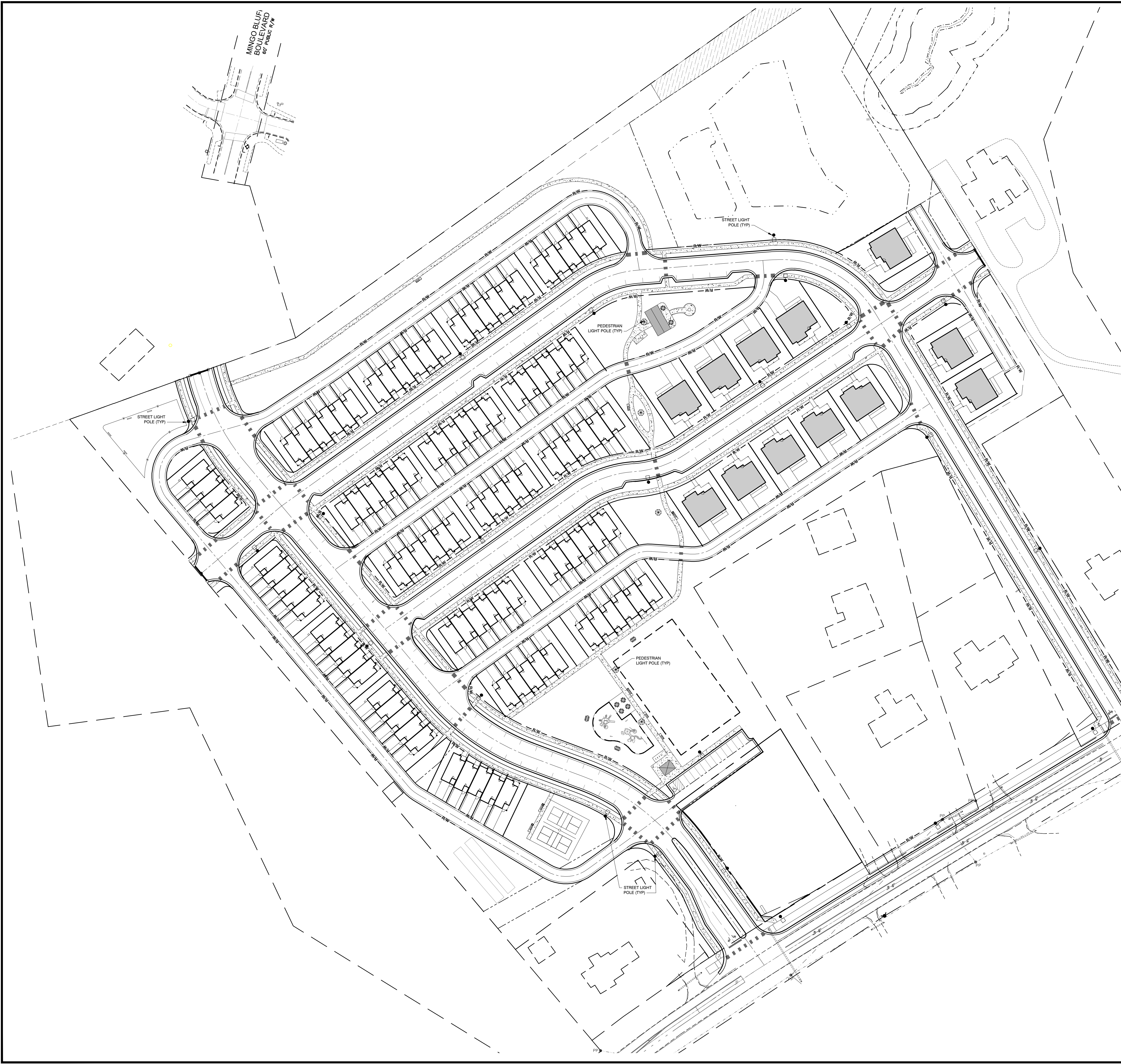
LANDSCAPE PLAN

DESIGNED BY: SBF
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 PROJECT No: 2022113
 DRAWING No: W-4104
 SCALE: AS SHOWN
 SHEET No:

L1.01



Do Not Use for Construction - [Barcode]



MINCO BLUFF
BOULEVARD
60' PUBLIC R/W

Outdoor Lighting



ROADWAY LED
(Meets Dark Sky Criteria)

| | |
|----------------------------|---|
| LED (Light-emitting diode) | 110 150 220 280 watts |
| Mounting height | 20', 25', 35' |
| Color | Black Gray |
| Pole | Fiberglass Metal Wood |
| Applications | Neighborhoods Roadways Shopping centers |

Light source: LED (white)
Wattage: 110 | 150 | 220 | 280 watts
Light pattern:IESNA Type III | Type IV (forward throw)
IESNA cutoff classification: 02/UG3
BUG rating:
Type II = 83UG3 (110W), 83UG3 (150W), 83UG4 (220W/280W)
Type IV = 83UG3 (150W), 83UG4 (220W), 83UG5 (280W)
Color temperature: 3,000K | 4,000K

| POLE AVAILABLE | MOUNTING HEIGHT | COLOR |
|----------------------------|-----------------|-------------------------------|
| Fiberglass | 25', 30', 35' | Gray, Black (additional cost) |
| Wood | 25', 30', 35' | Standard |
| Metal (special conditions) | 25', 30', 35' | Galvanized |

| FEATURES | BENEFITS |
|--|--|
| Turnkey operation | Provides hassle-free installation and service |
| Little or no installation cost | Frees up capital for other projects |
| Design services by lighting professionals included | Meets industry standards and lighting ordinances |
| Maintenance, electricity & warranty included | Eliminates high and unexpected repair bills |
| One low monthly cost on your electric bill | Convenience and savings for you |

For additional information, contact us at DUKEDesign@duke-energy.com



Outdoor Lighting



OPEN MONTICELLO LED
(Meets Dark Sky Criteria)

| | |
|----------------------------|---|
| LED (Light-emitting diode) | 50 watts |
| Mounting height | 12' - 17' |
| Color | Black |
| Pole | Aluminum Fiberglass Concrete Decorative aluminum |
| Applications | Neighborhoods Parks Streets Businesses |

Light source: LED (white)
Wattage: 50 watts
Lumens: 3,970
Light pattern: IESNA Type III
IESNA cutoff classification: Full-cutoff
BUG rating: 01/UG1
Color temperature: 3,000K

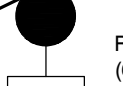
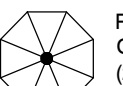
| POLE AVAILABLE | MOUNTING HEIGHT | COLOR |
|---------------------|-----------------|-------|
| Aluminum | 12', 15', 17' | Black |
| Fiberglass | 15' | Black |
| Fluted concrete | 13' | Black |
| Decorative aluminum | 12', 16' | Black |

| FEATURES | BENEFITS |
|--|--|
| Turnkey operation | Provides hassle-free installation and service |
| Little or no installation cost | Frees up capital for other projects |
| Design services by lighting professionals included | Meets industry standards and lighting ordinances |
| Maintenance, electricity & warranty included | Eliminates high and unexpected repair bills |
| One low monthly cost on your electric bill | Convenience and savings for you |

For additional information, contact us at DUKEDesign@duke-energy.com



LIGHTING LEGEND

-  ROADWAY LED LIGHTS
(6,000 LUMENS LED 75 ROADWAY LIGHT)
ALUMINUM POLE - HEIGHT 30'
-  PEDESTRIAN LIGHT POLE
OPEN MONTICELLO LED LIGHTS
(2,000 LUMENS LED 75 ROADWAY LIGHT)
ALUMINUM POLE - HEIGHT 6'

LIGHTING NOTES

1. ALL FIXTURES SHALL HAVE A FULL CUTOFF CLASSIFICATION OR BE FULLY SHIELDED.
 2. ALL POLE-MOUNTED LED SHALL NOT EXCEED 37' IN HEIGHT.
 3. ALL LIGHT POLES SHALL MEET THE TOWN'S MINIMUM STANDARDS OF A FIBERGLASS POLE WITH A FULLY SHIELDED, ARM-MOUNTED LED.
 4. RESIDENTIAL ROADS SHALL HAVE LIGHT POLES SPACED A MAXIMUM OF 250' AND ARTERIAL STREETS SPACED AT 150' MAXIMUM.
 5. LOCAL STREETS SHALL MEET A 400 LUMEN MINIMUM.
- THIS PLAN IS PRELIMINARY. FINAL LIGHTING PLAN TO BE DESIGNED BY LIGHTING PROFESSIONAL.



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355 E. Six Forks Road
Raleigh, NC 27609
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|-----|-------------|------|----|
| | | | |
| | | | |
| | | | |

ASHBURY & THE HOLDING COMPANY, LLC
OLDE FAISON PLACE
CITY OF RINGDLEDALE - WAKE COUNTY - NORTH CAROLINA

PRELIMINARY LIGHTING PLAN

DATE: _____

DESIGNED BY: CDS
DRAWN BY: TAH
CHECKED BY: SJB
PROJECT No. 2022113
DRAWING No. W-4104
SCALE: AS SHOWN
SHEET No. **SL1.01**

NGGRID NAD83/2011



Architectural Features

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Brick Veneer on Front Elevation
- Mix of Lap & Board & Batten Siding
- Dormer
- Composite Roof Shingles
- Wrapped Porch Columns w/ Brackets

Denmark '1' - Front Elevation

Knightdale, NC

09.26.2024



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Architectural Features

- Covered Front Porches
- Brick Veneer on Front Elevation
- Composite Roof Shingles
- Variety of Window Fenestrations
- Mix of Lap & Board & Batten Siding
- Wrapped Porch Columns
- 12/12 Roof Pitch Front Gable

Denmark '2' - Front Elevation

Knightdale, NC

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FIBER CEMENT SHINGLE SIDING

8-12

8-12

12/9

8-12

COMPOSITE ROOF SHINGLES

VINYL WINDOWS

FIBER CEMENT LAP SIDING

BRICK ROWLOCK

BRICK VENEER

Architectural Features

- Covered Front Porches
- Brick Veneer on Front Elevation
- Composite Roof Shingles
- Variety of Window Fenestrations
- Mix of Lap & Shingle Siding
- Wrapped Porch Columns
- 9/12 Roof Pitch Front Gable

Denmark '3' - Front Elevation

Knightdale, NC

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Architectural Features

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Stone Veneer on Front Elevation
- Mix of Lap, Board & Batten, Shingle Siding
- Composite Roof Shingles
- Tapered Porch Columns

Denmark '4' - Front Elevation

Knightdale, NC

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Architectural Features

- Covered Front Porches
- Brick Veneer on Front Elevation
- Composite Roof Shingles
- Variety of Window Fenestrations
- Mix of Lap & Shingle Siding
- Wrapped Porch Columns
- 9/12 Roof Pitch Front Gable

Denmark '5' - Front Elevation

Knightdale, NC

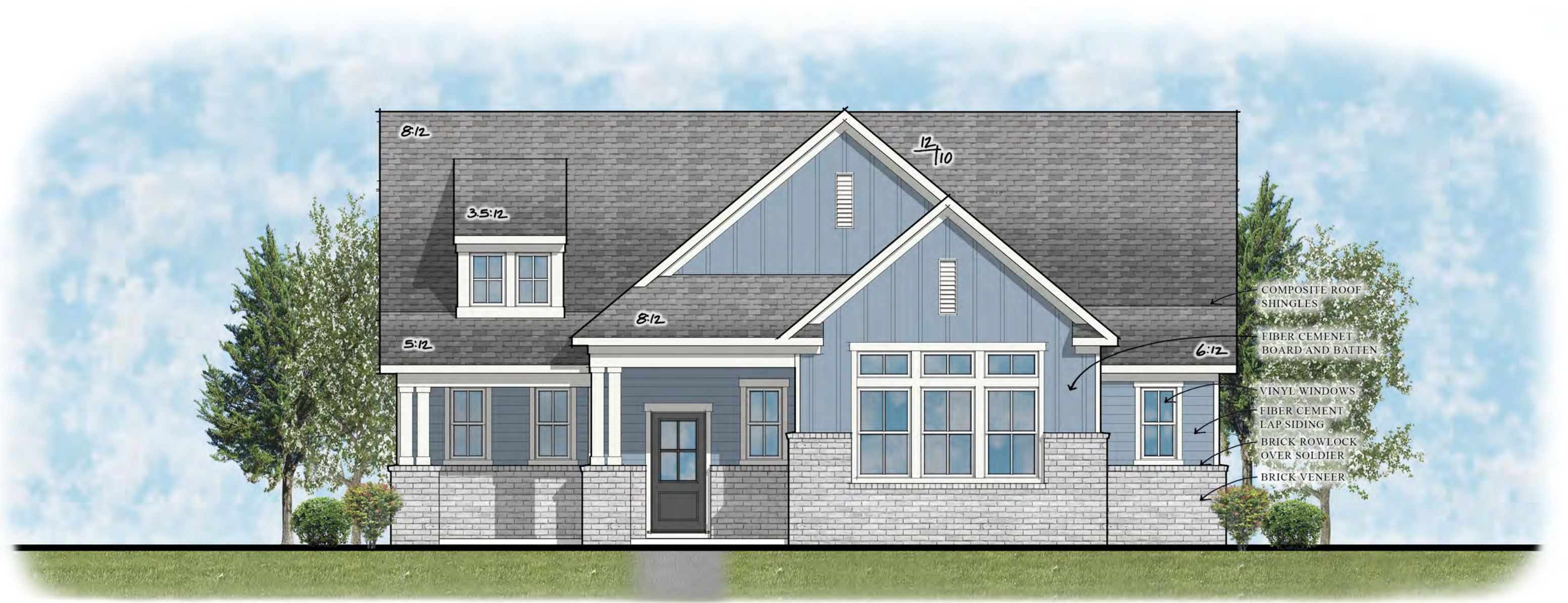
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- COMPOSITE ROOF SHINGLES
- FIBER CEMENT BOARD AND BATTEN
- VINYL WINDOWS
- FIBER CEMENT LAP SIDING
- BRICK ROWLOCK OVER SOLDIER
- BRICK VENEER

Architectural Features

- Covered Front Porches
- Variety of Window Fenestrations
- 10/12 Roof Pitch Front Gable
- Brick Veneer on Front Elevation
- Mix of Lap & Shingle Siding
- Dormer
- Composite Roof Shingles
- Wrapped Porch Columns

Denmark '6' - Front Elevation

Knightdale, NC

09.26.2024



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Architectural Features

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Brick & Stone Veneer on Front Elevation
- Mix of Lap, Board & Batten & Shingle Siding
- Composite Roof Shingles
- Wrapped Porch Columns



6-Plex - Front Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

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6-Plex - Rear Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

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6-Plex - Sides Elevations

20' 3-Story Rear Load Townhomes - Knightdale, NC

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Architectural Features

- Covered Front Porches
- Variety of Window Fenestrations
- 12/12 Roof Pitch Front Gable
- Brick & Stone Veneer on Front Elevation
- Mix of Lap, Board & Batten & Shingle Siding
- Composite Roof Shingles
- Wrapped Porch Columns



5-Plex - Front Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

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5-Plex - Rear Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

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5-Plex - Sides Elevations

20' 3-Story Rear Load Townhomes - Knightdale, NC

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Architectural Features

- Covered Front Porches
- Variety of Window Fenestrations
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- Brick & Stone Veneer on Front Elevation
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- Composite Roof Shingles
- Wrapped Porch Columns

3-Plex - Front Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

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3-Plex - Rear Elevation

20' 3-Story Rear Load Townhomes - Knightdale, NC

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3-Plex - Sides Elevations

20' 3-Story Rear Load Townhomes - Knightdale, NC

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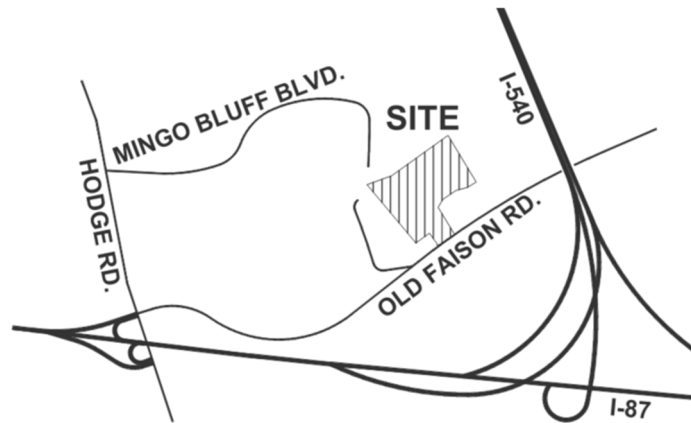
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OLD FAISON PLACE

A MASTERPLANNED RESIDENTIAL COMMUNITY IN KNIGHTDALE BY GLENWOOD HOMES



INTRODUCTION:

This development is located on approximately 21 acres off of Old Faison Road in Knightdale. Existing zoning is GR8 Medium Density. Proposed zoning is GR8 PUD. The project includes 12 proposed single family residential homes and 103 townhouses for a total of 115 residential units.

VISION STATEMENT:

Glenwood Homes was founded on the principal of quality homes for every lifestyle. We are passionate about building homes that have functional floor plans for today's life choices. We bring these homes to our homebuyers at a price that demonstrates value and the best quality possible. Our team has a wealth of knowledge in the North Carolina market and together has over 80 years of experience in building communities that will stand the test of time.

Our vision for this project in Knightdale is to create a vibrant, sustainable community that embodies quality and elegance. Drawing on our rich history of crafting attractive residential developments, we aim to blend innovative design with a commitment to environmental stewardship, fostering a neighborhood that not only enhances the beauty of the area but also promotes a strong sense of community. Our goal is to provide future residents with not just homes, but a lifestyle defined by comfort, accessibility, and connection.

UDO COMPLIANCE:

This project has been designed to comply with the Town of Knightdale Unified Development Ordinance, including but not limited to the zoning standards, allowable uses, buffers, landscaping, stormwater, utilities, lighting, roadway, parking, and open space requirements.

COMPREHENSIVE PLAN:

The Comprehensive Plan describes how the Town's population has grown substantially from 1,884 people in 1990 to 20,971 in 2023. The Town takes pride in its' expanding population, and this project will help the Town to continue to grow. The Plan indicates that the median home value in Knightdale is \$364,693. The proposed townhouses and single family houses in this development are expected to have a similar price point, and will complement the real estate value of the area. The Comprehensive Plan indicates that the Town has a shortage of townhouses: Only 6% of all residential units in Knightdale are townhouses. This project has a significant number of proposed townhouse units, and will help the Town to achieve a more balanced mix of residential housing types in the Town. The Comprehensive Plan indicates that the economy is an important factor to the Town. This project will create hundreds of new job opportunities with the construction of this development, and the additional residents will boost the available work force of the community. A hallmark of the Comprehensive plan is to provide comprehensive and connected open spaces. This project includes a connected open space corridor, including pickleball and tennis courts, multi-use field, playground, walking trail, landscaped areas, benches, fire pits, dog park, and a stormwater pond with a fountain. The Plan indicates that the Town intends for this property to be a "Secondary Growth Area", and is located next to a "trail-oriented development activity center". This project is proposing an internal walking trail. A wide pedestrian sidepath is intended to be constructed along Old Faison Road per the Town standards. The Plan indicates this land as a "future mixed-use neighborhood". However, this project is not proposing any commercial/retail uses, as the developer specializes in residential construction, and does not feel that there is a demand for commercial/retail uses at this location. The size, shape, and topography of this property provides limited buildable area, and does not provide enough buildable land for additional uses. This project qualifies as a "mixed density neighborhood", according to page 77 of the Comprehensive Plan. The project includes a grid street network with parallel parking along some streets, as well as multiple stub streets to adjacent properties, which is a goal of the Plan.

DESIGN GUIDELINES:

This project is designed to comply with the following design guidelines and others.

- Town of Knightdale UDO
- City of Raleigh Public Utilities Handbook
- NCDOT road design standards (Old Faison Rd)
- NCDEQ Stormwater BMP Design Manual
- NCDENR Sedimentation & Erosion Control Manual

DIMENSIONAL STANDARDS:

Refer to the Site Plan sheet, which shows the dimensions. The internal roads are designed per Town of Knightdale dimensional standards. The Old Faison Road widening is designed per NCDOT and Town dimensional standards. The townhouse and single-family residential lots are designed per Town of Knightdale dimensional standards.

TRANSPORTATION ANALYSIS:

A Traffic Impact Analysis report was prepared by DRMP traffic engineers and submitted to the Town. The report is included again with this Master Plan submittal. Refer to the report for additional information.

- The Town has asked the developer to extend and connect to existing Mingo Bluff Blvd to the north. As stated on the plans, the developer is willing to construct the road extension, but only if the Town is able to acquire the necessary road R/W and additional easements from the neighboring property owner to the north. Our project cannot legally perform work on the neighbor's property, and the Town must acquire the land before a road connection can be built.
- The Town requested that the developer construct a roundabout at our main entrance along Old Faison Road. The TIA indicates that a roundabout is not warranted. According to the TIA, a single eastbound left turn lane is needed along Old Faison Rd, as shown on the plans. The developer is not proposing to construct a roundabout, due to cost, and hardships of acquiring significant land from multiple adjacent residential properties.
- The Town asked the developer to perform a widening along the north shoulder for our property frontage, as well as the neighbor's property gap. The developer has agreed to do this, if the additional R/W can be obtained from the neighbors, as shown on the plans.
- The plans show that the south side of Old Faison Rd will be widened where needed to support the required turn lane and tapers. The developer is not proposing to do a full ultimate road widening on the neighbor's south road frontage, as that will be the responsibility of the property owners on the south side of Old Faison Rd when their property is improved.
- The Town asked the developer to construct a median in Old Faison Rd. This is not feasible, due to multiple existing driveways on both sides of the road, as the median would inhibit their driveway access.

- The Town asked the developer to construct a 10' sidepath along the north shoulder of Old Faison Road. The sidepath is shown on the plans.
- The proposed road network includes (2) road intersections with Old Faison Road, creating a looped road network and improved vehicular circulation for residents and emergency vehicles.
- The internal roads are designed based on the Town's design standards, and as discussed with Planning staff. The project is designed to provide on-street parallel parking in portions of the development. Residential properties are designed with individual driveway access on rear alleys per the Town's standards. A partial median is proposed on Mingo Bluff Blvd near the main entrance, as requested by the Town. It is not practical to construct additional medians due to the proximity of road intersections and driveways.
- Multiple road stubouts to neighboring properties are shown on the plans, which can be extended by potential future neighboring developments.

RECREATIONAL OPEN SPACE:

The plans show the following recreational open space types:

- (2) pickleball courts
- Tennis court
- Playground
- Multi-use field
- Walking trail
- Dog part
- (2) fire pits with hardscape & landscape areas
- (2) covered pavilions
- Picnic tables
- Stormwater wet detention pond with fountain

WATER ALLOCATION POINTS:

This project meets the Town's standards for water allocation points as follows:

- | | |
|---|-----------|
| • Major Subdivision: | 15 points |
| • Construct Fountain in Stormwater Pond: | 4 points |
| • On-Street Public Parking: | 4 points |
| • Architectural Standards: | 15 points |
| • Pickleball and Tennis Courts: | 5 points |
| • Enhanced Roadside Landscaping (Old Faison): | 2 points |
| • IPEMA Certified Playground Equipment: | 4 points |
| • 1,000 LF of 6-ft Wide Path: | 1 point |
| • Total: | 50 points |